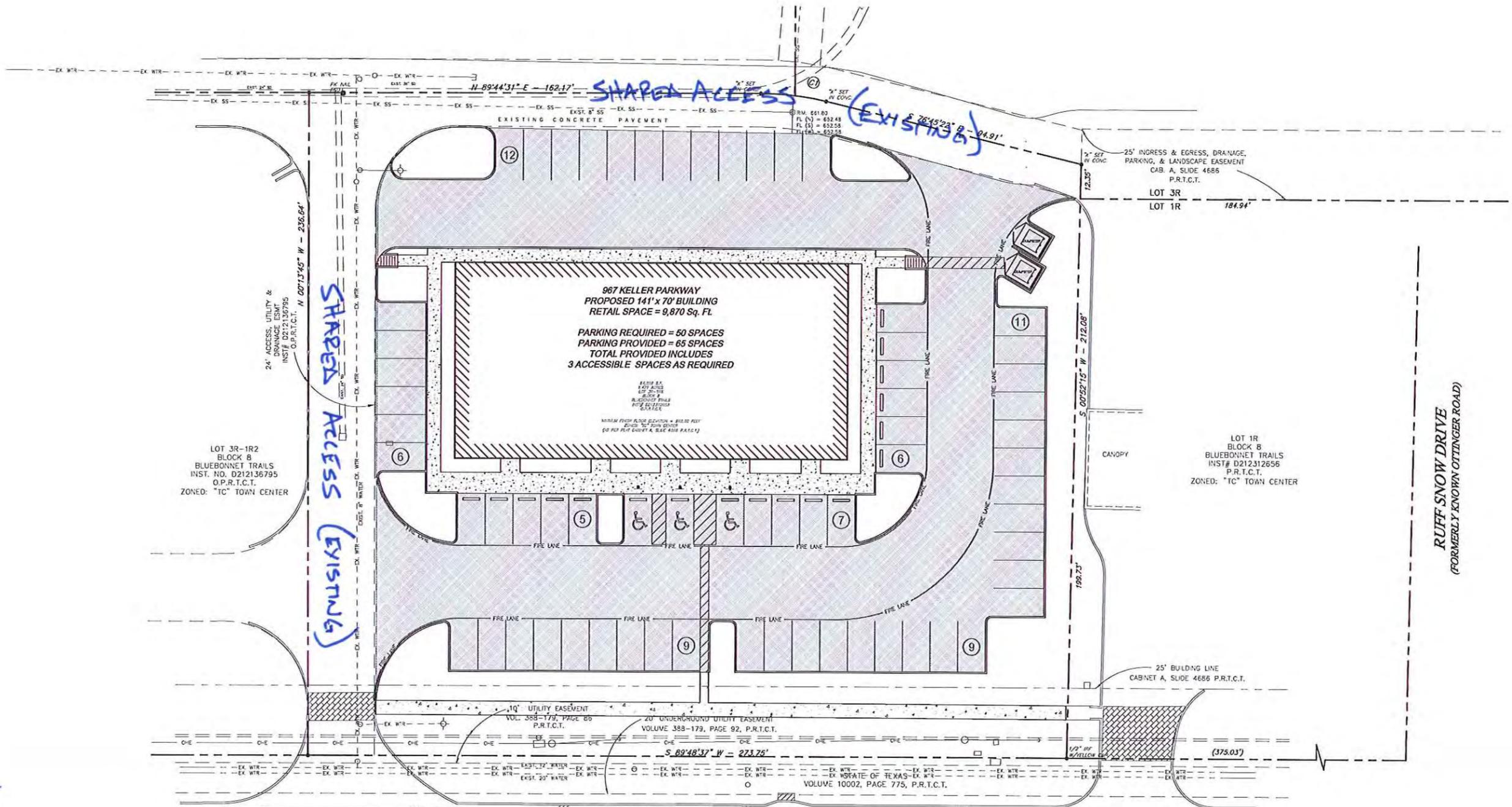


Exhibit "A"



Exhibit "A"



LOT 3R-1R2
BLOCK 8
BLUEBONNET TRAILS
INST. NO. D212136795
O.P.R.T.C.T.
ZONED: "TC" TOWN CENTER

LOT 1R
BLOCK 8
BLUEBONNET TRAILS
INST. # D212312656
P.R.T.C.T.
ZONED: "TC" TOWN CENTER

9870 SF.
GENERAL RETAIL
ITE CODE 820

KELLER PARKWAY - FM 1709
(FORMERLY KNOWN AS PRICE STREET)
(VARIABLE WIDTH R.O.W.)

EXISTING ASPHALT PAVEMENT

RUFF SNOW DRIVE
(FORMERLY KNOWN OTTINGER ROAD)



SITE NOTES:

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF SLOPED PAVING, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING ENTRANCE LOCATIONS, TOTAL NUMBER, LOCATIONS, SIZES AND OUTFALLS OF ROOF DOWNSPOUTS.
- ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
- ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- ALL CURB RADII SHOWN ARE TO FACE OF CURB.
- ALL PAVING DIMENSIONS ARE TO FACE OF CURB, WHERE APPLICABLE OR TO THE EDGE OF PAVEMENT WHEN NO CURB IS PROPOSED, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS.
- CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
- CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS, SPECIFICATIONS AND GEOTECHNICAL REPORT.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- ALL A.D.A. ACCESSIBLE ROUTES SHALL BE A.D.A. COMPLIANT (MAXIMUM 2% CROSS SLOPE, 5% LONGITUDINAL SLOPE).
- ALL PAVEMENT MARKING PAINT SHALL BE COLOR WHITE. PAINT SHALL BE APPLIED IN TWO COATS TO A CLEAN, DRY SURFACE USING TEMPLATE OR STRIPING MACHINE. STRIPES SHALL BE 4" WIDE UNLESS OTHERWISE INDICATED.
- CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
- FOR SITE UTILITIES, SEE UTILITY PLAN.
- ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE CITY OF KELLER REQUIREMENTS AND SPECIFICATIONS.

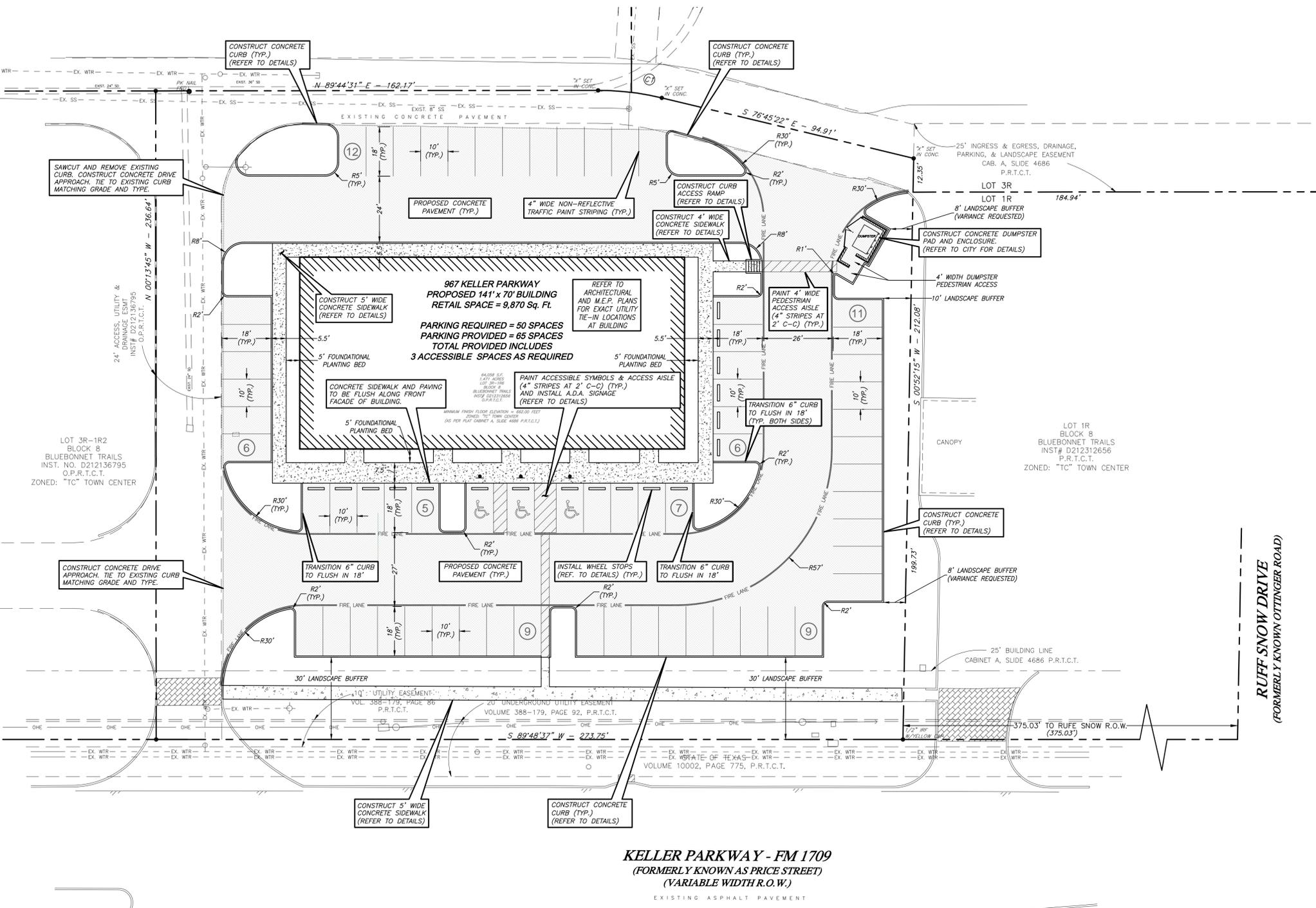
REVISIONS	DESCRIPTION	DATE

BALLARD & BRAUGHTON ENGINEERING
 CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE - LAND PLANNING
 3815 OLD BULLARD ROAD TYLER, TEXAS 75701 TEL: 903.531.9800 FAX: 903.531.9839
 FIRM REGISTRATION # F-6097

KWLee PROPERTIES, LP.
 KELLER, TEXAS

SITE PLAN

DRAWN BY:	LAW
CHECKED BY:	KSB
ISSUE DATE:	JANUARY 2017
BBE JOB NO.:	16-022
DRAWING NUMBER:	SP-1



LEGEND

	PROPOSED CONCRETE SIDEWALK
	PROPOSED CONCRETE PAVEMENT

PARKING

PROPOSED 9,870 S.F. RETAIL BUILDING

PARKING:

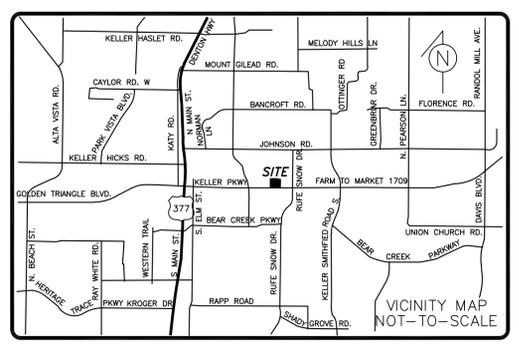
RETAIL: 1/200
 PARKING REQUIRED:.....50 SPACES
 PARKING PROVIDED:.....65 SPACES

TOTAL INCLUDES 3 ACCESSIBLE PARKING SPACES AS REQUIRED.

SITE PLAN INFORMATION

LOT AREA: 64,058 S.F. / 1.471 ACRES
 BUILDING AREA: 9,870 S.F. / 0.23 ACRES
 LOT 3R-1R6 - ZONED "TC" TOWN CENTER

KELLER PARKWAY - FM 1709
 (FORMERLY KNOWN AS PRICE STREET)
 (VARIABLE WIDTH R.O.W.)



PLANS SUBJECT TO REVIEW AND APPROVAL BY JURISDICTIONAL ENTITIES

***** STOP! CALL BEFORE YOU DIG! *****
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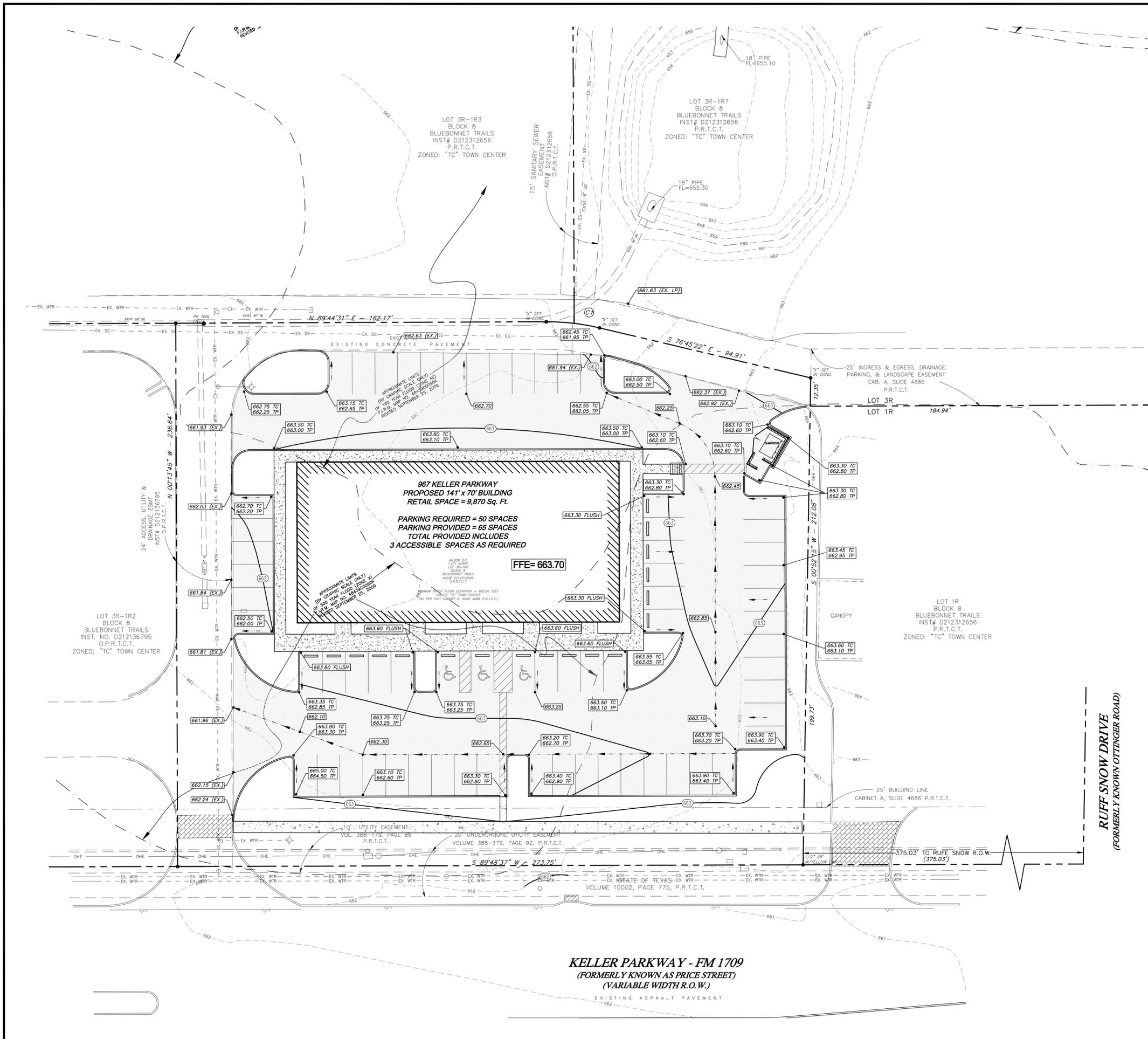
**** NOTICE TO CONTRACTORS ****
 Topographic information provided by BLUE SKY SURVEYING & MAPPING CORPORATION, Registered Professional Land Surveyors, Dallas, Texas. The contractor shall notify the engineer and owner immediately, in writing, of any discrepancies or omissions to the topographic information. The contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The contractor(s) shall notify the owner and engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the contractor. Additionally, the contractor(s) shall notify the owner and engineer if any errors or discrepancies are found on the construction documents (plans), which negatively impact the project. Engineer and owner shall be indemnified of problems and/or cost which may result from contractor's failure to notify engineer and owner.

SITE PLAN OF A PROPOSED RETAIL DEVELOPMENT
 PART OF LOT 3 - BLOCK 8
 BLUEBONNET TRAILS ADDITION
 IN THE CITY OF KELLER, TARRANT COUNTY, TEXAS
 1.471 ACRES
 CURRENT ZONING: "TC" - TOWN CENTER

APPLICANT/OWNER: KWLee PROPERTIES, LP.
 ADDRESS: 3000 ALTAMESA BLVD., SUITE 300
 FORTH WORTH, TX. 76133
 PHONE: 817.921.9200
 FAX: 817.921.1771
 CONTACT: MIKE MELLINGER

PLAN PREPARER: BALLARD & BRAUGHTON ENGINEERING
 ADDRESS: 3815 OLD BULLARD RD. - TYLER, TX. 75701
 PHONE: 903.531.9800 FAX: 903.531.9839
 CONTACT: KEVIN BRAUGHTON or LUCAS WOOD

DATE OF PREPARATION: DECEMBER 9, 2016
 DATE OF REVISIONS: JANUARY 5, 2017



GRAPHIC SCALE



GRADING NOTES :

1. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL PLANS AND SPECIFICATIONS.
2. ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH FIT & CONTINUOUS GRADE WITH EXISTING.
3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
6. EXISTING GRADE CONTOURS INTERVAL SHOWN AT ONE FOOT (1').
7. PROPOSED GRADE CONTOURS INTERVAL SHOWN AT ONE FOOT (1').
8. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
9. FOR LOCATION OF ALL UTILITY ENTRANCES, SEE ARCHITECTURAL PLANS AND SPECIFICATIONS.
10. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY & GAS CO. FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
11. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
12. ALL SPOT GRADES ARE TO FINISHED PAVEMENT UNLESS OTHERWISE NOTED.
13. ALL A.D.A. ACCESSIBLE ROUTES SHALL BE A.D.A. COMPLIANT (MAXIMUM 2% CROSS SLOPE, 5% LONGITUDINAL SLOPE).

LEGEND	
	PROPOSED 1' CONTOUR
	PROPOSED 5' CONTOUR
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED SPOT GRADE HIGH POINT
	PROPOSED SPOT GRADE LOW POINT
	PROPOSED SPOT GRADE FLUSH AT PAVEMENT AND SIDEWALK
	PROPOSED TOP OF CURB
	PROPOSED TOP OF PAVEMENT

PLANS SUBJECT TO REVIEW AND APPROVAL BY JURISDICTIONAL ENTITIES

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KELLER PARKWAY - FM 1709
 (FORMERLY KNOWN AS PRICE STREET)
 (VARIABLE WIDTH R.O.W.)



STATE OF TEXAS
 BRIAN A. BALLARD
 86856
 LICENSED PROFESSIONAL ENGINEER
 B. Ballard
 1/11/17

REVISIONS	DESCRIPTION	DATE



BALLARD & BRAUGHTON
 CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE - LAND PLANNING
 3815 OLD BALLARD ROAD TYLER, TEXAS 75701 TEL: 902-531-5800 FAX: 902-531-5839
 FIRM REGISTRATION # F-8997

KWLee PROPERTIES, LP.
 KELLER, TEXAS

GRADING PLAN

DRAWN BY:
 LAW

CHECKED BY:
 KSB

ISSUE DATE:
 JANUARY 2017

BBE JOB NO:
 16-022

DRAWING NUMBER:
SP-3

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY
KEVIN S. BRAUGHTON
 R.L.A. NO. 1869 ON
 01/11/2017
 THE ORIGINAL SIGNED AND SEALED DOCUMENT IS KEPT ON FILE AT THE OFFICE OF BALLARD AND BRAUGHTON ENGINEERING, PLLC, 3815 OLD BULLARD ROAD, TYLER, TX 75701



GENERAL NOTES:

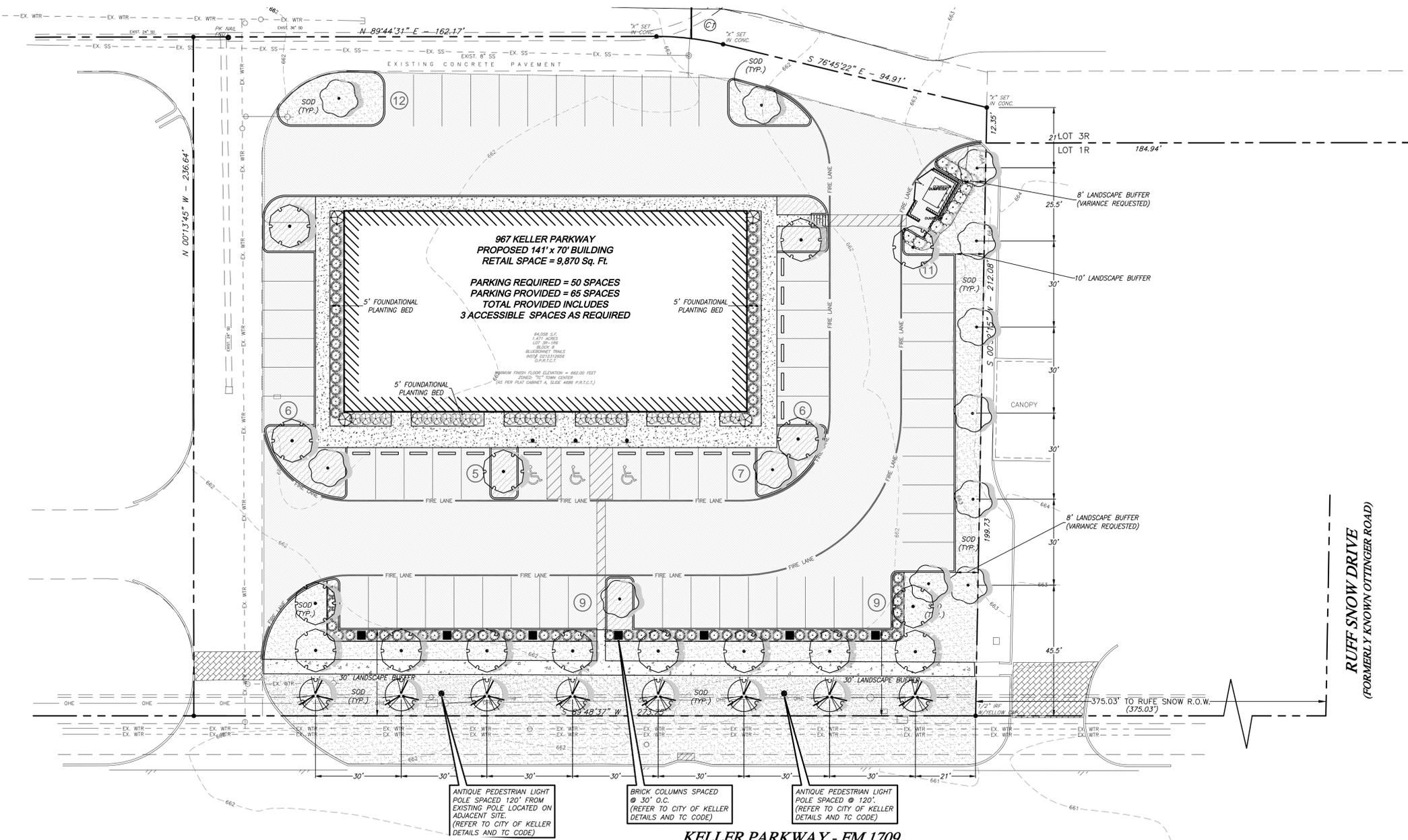
- REFER TO SITEWORK SPECIFICATIONS FOR ALL INFORMATION NEEDED FOR LANDSCAPE WORK.
- NO SUBSTITUTIONS UNLESS APPROVED BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
- QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE CONTRACTOR, PLANTS SHALL BE INSTALLED AS SHOWN ON THE PLANS.
- NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES OR ANY CONDITION WHICH MAY PROHIBIT THE INSTALLATION AS SHOWN.
- VERIFY AND LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS. PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION, EXCEPT THOSE OCCUPIED BY BUILDINGS, STRUCTURES, OR PAVING SHALL BE GRADED SMOOTH AND FOUR (4") INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL AS SPECIFIED. THE AREA SHALL THEN BE SEED, FERTILIZED AND WATERED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- ALL LANDSCAPED AREAS WILL BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC SYSTEM. DISTURBED AREAS NOT COVERED BY THE PERMANENT IRRIGATION SYSTEM SHALL BE WATERED BY THE CONTRACTOR UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.
- THE PERMANENT IRRIGATION SYSTEM MUST BE PROTECTED BY EITHER A PRESSURE VACUUM BREAKER, A REDUCED PRESSURE PRINCIPAL BACK FLOW DEVICE OR A DOUBLE CHECK BACK FLOW DEVICE AND INSTALLED PER APPLICABLE CODES.
- ALL TREES AND SHRUBS SHALL BE INSTALLED PER PLANTING DETAILS.
- SPACING SHOWN FOR SHRUBS IS AN AVERAGE AND MAY VARY BASED UPON LAYOUT AND DESIGN.
- TREES SHALL BE PLANTED AT LEAST FIVE (5') FEET FROM ANY UTILITY LINE OR SIDEWALK AND TO THE OUTSIDE OF UTILITY EASEMENTS WITH A CLEAR TEN (10') FEET AROUND FIRE HYDRANTS. WHEN POSSIBLE SHRUBS SHALL NOT BE PLANTED WITHIN THIRTY-SIX (36') OF PAVED EDGES AND UTILITY APERTURENANCE.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH CITY REGULATIONS IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH SIMILAR VARIETY AND SIZE IF DAMAGED OR REMOVED. CONTRACTOR CROWN PLANT MATERIAL IS PREFERRED, HOWEVER BALL AND BURLAP MATERIAL MAY BE SUBSTITUTED AS INDICATED IN THE PLANT MATERIAL LIST.
- ALL LANDSCAPED AREAS WILL BE IRRIGATED AND DETAILED IRRIGATION PLANS WILL BE SUBMITTED WITH CONSTRUCTION PLANS.

DATE	DESCRIPTION
01/05/17	ADDRESS CITY COMMENTS FROM FIRST SITE PLAN SUBMITTAL REVIEW.

BALLARD & BRAUGHTON
 LANDSCAPE ARCHITECTS
 CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE - LAND PLANNING
 3815 OLD BULLARD ROAD TYLER, TEXAS 75701 TEL: 903-531-9800 FAX: 903-531-9839
 FIRM REGISTRATION # F-6097

KWlee PROPERTIES, LP.
 KELLER, TEXAS
 LANDSCAPE PLAN

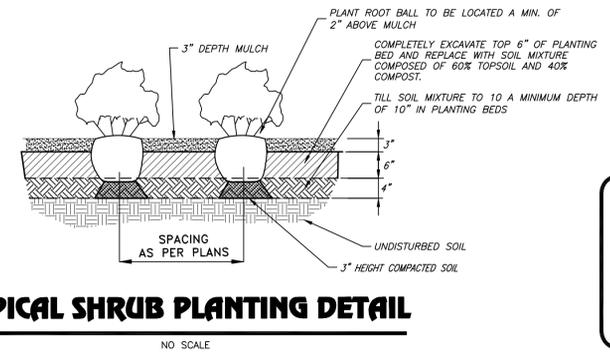
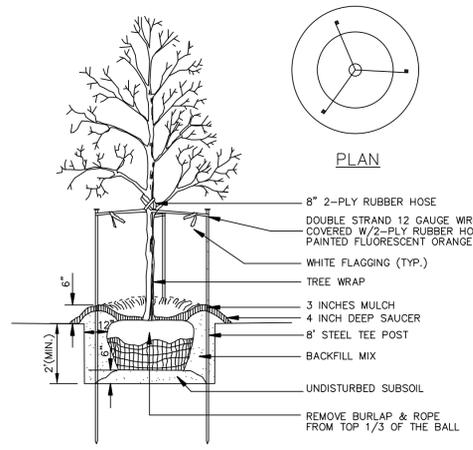
DRAWN BY: LAW
 CHECKED BY: KSB
 ISSUE DATE: JANUARY 2017
 BBE JOB NO: 16-022
 DRAWING NUMBER: L-1



PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	IV	8	Yaupon Holly / Ilex vomitoria - Tree Form	B # B	1.5' Cal	6'-8'
	Q5	16	Shumard Red Oak / Quercus shumardii	B # B	2.5' Cal	8'-10'
	UC	12	Cedar Elm / Ulmus crassifolia	B # B	2.5' Cal	8'-10'
SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	BU	83	Dwarf Burford Chinese Holly / Ilex comuta 'Burfordii' nan	3 gal		
	N5	4	Nellie Stevens Holly / Ilex x 'Nellie R Stevens'	7 gal		
	MC	12	Wax Myrtle / Myrica cerifera	5 gal		
	KO-R	28	Knock Out Rose - Red / Rosa shrub 'Radrazz' TM	3 gal		
GROUND COVERS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	SPACING	
	CD	12,298 sf	Bermuda Grass / Cynodon dactylon	sod	N/A	
	SB	2,411 sf	shrub bed / shrub bed mulch	mulch	N/A	
	TA	809	Asian Jasmine / Trachelospermum asiaticum	flat	18" o.c.	

REQUIREMENT	PROVIDED
Foundation planting a minimum of five feet (5') in width shall be provided at the fronts and sides of buildings.	AS SHOWN ON PLAN AND PLANT SCHEDULE
Parking lots shall be 100% screened with shrubs or berms adjacent to all public streets.	TREES ALONG KELLER PARKWAY PER TC REQ.
No more than twelve (12) consecutive parking spaces shall be allowed without the interruption of a nine foot by twelve foot landscaped island and all parking rows ending with a landscape island.	SEE LANDSCAPE ISLANDS ON PLAN MEETING REQUIREMENT
Required 15% of parking area landscaped.	16% OF SITE IS LANDSCAPED
For large parking lots with several rows of parking spaces, a minimum ten-foot (10') wide continuous landscaped island shall be provided at various locations.	NOT APPLICABLE
Parking lots shall be 100% screened with shrubs or berms adjacent to all public streets.	SHRUBS ALONG KELLER PARKWAY PER TC REQ.
Minimum thirty-foot (30') landscape buffer adjacent to all thoroughfares with four (4) or more lanes as classified on the current Comprehensive Thoroughfare Plan Buffers along other Rights-of-Way with Minimum four inch (4") caliper canopy trees spaced twenty-five feet (25') and two (2) ornamental trees per fifty linear feet (50') of frontage planted in clusters or linear arrangement.	TREES ALONG KELLER PARKWAY PER TC REQ.
Minimum fifteen-foot (15') landscape buffer adjacent to all other public streets with minimum three inch (3") caliper canopy trees spaced thirty feet (30') on center in a straight line.	NOT APPLICABLE
Minimum thirty-foot (30') landscape buffer adjacent to all properties with residential uses or zoning or when residential zoning or uses are across the street from the side or rear yard of a non-residential or multi-family development with minimum three inch (3") caliper canopy trees spaced thirty feet (30') on center in a straight line.	NOT APPLICABLE
Minimum ten-foot (10') landscape buffer adjacent to side and rear property lines when adjacent to non-residential uses or zoning with minimum three inch (3") caliper canopy trees spaced thirty feet (30') on center in a straight line.	TREES ALONG WEST PROPERTY LINE - VARIABLE WIDTH FROM 8' TO 10' FROM B.O.C. TO P.L. (VARIANCE REQUESTED)



PLANS SUBJECT TO REVIEW AND APPROVAL BY JURISDICTIONAL ENTITIES

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4500 Burrow Drive
North Little Rock, AR 72116
Phone: 501-758-7443
Fax: 501-753-7309
www.taggarch.com

SCHEMATIC DESIGN

RETAIL CENTER

KELLER, TEXAS

KWLee PROPERTIES

PROJECT NAME _____

SEAL _____

REVISIONS _____

NO.	DESCRIPTION	DATE

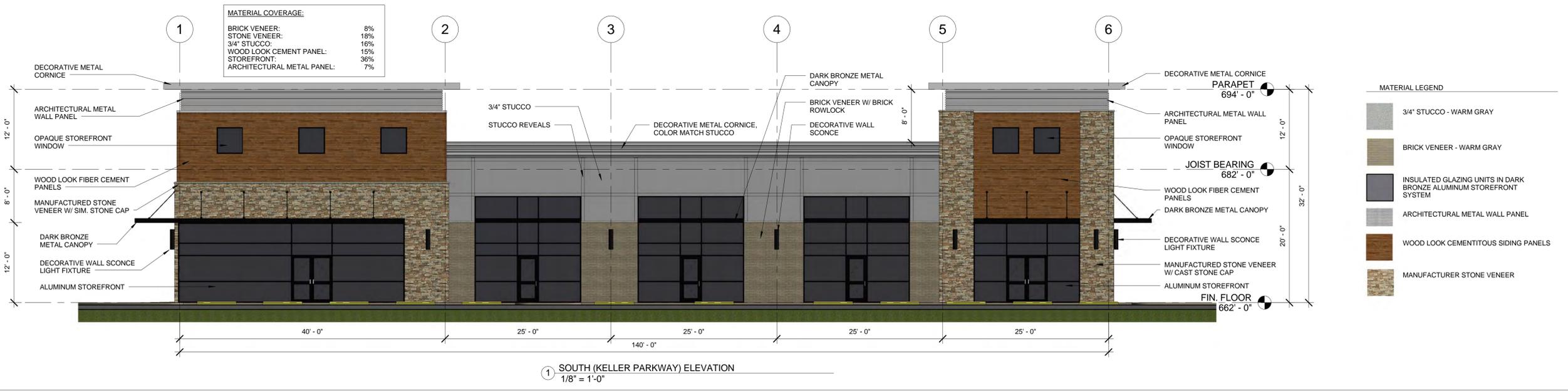
PROPOSED ELEVATIONS

SHEET NAME _____

DATE 01.05.2017

PROJECT NUMBER Project Number

SHEET NUMBER **A201**



MATERIAL LEGEND

- 3/4" STUCCO - WARM GRAY
- BRICK VENEER - WARM GRAY
- INSULATED GLAZING UNITS IN DARK BRONZE ALUMINUM STOREFRONT SYSTEM
- ARCHITECTURAL METAL WALL PANEL
- WOOD LOOK CEMENTITIOUS SIDING PANELS
- MANUFACTURER STONE VENEER

Exhibit "A"



NE PERSPECTIVE



NW PERSPECTIVE



SE PERSPECTIVE



SW PERSPECTIVE

PROPOSED RETAIL CENTER
KELLER, TX

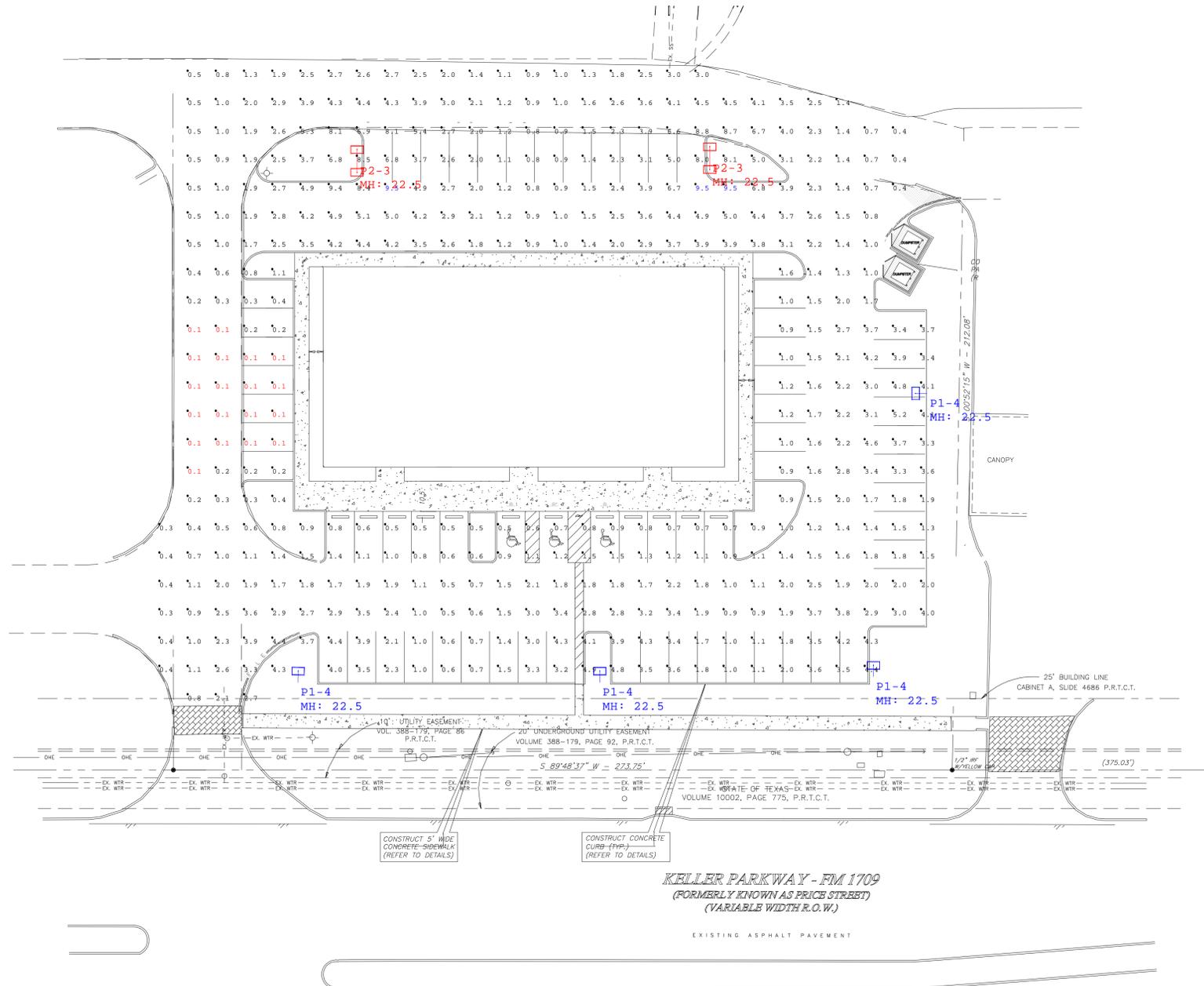
01.05.2017

CURRENCE
& GRAY
ARCHITECTS, PLLC

Luminaire Schedule							
Symbol	Qty	Label	LLF	Description	Lum. Lumens	Lum. Watts	Total Watts
	4	P1-4	0.900	CREE OSQ-A-xx-3ME-T-57K-ULxxxxx w_OSQ-BLSLF MOUNTED ON 20' POLE WITH 2.5' MAX BASE	17159	166	664
	2	P2-3	0.900	CREE OSQ-A-xx-3ME-T-57K-ULxxxxx w_OSQ-BLSLF MOUNTED ON 20' POLE WITH 2.5' MAX BASE	17629	166	664

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT	2.25	9.5	0.1	22.50	95.00

FIXTURE IMAGE OF
TYPES P1-4 AND P2-3



#	Date	Comments
Revisions		

Drawn By: Jarod Thompson
Checked By: Paul James
Date: 1/24/2017
Scale: NTS

KELLER SITE
 SITE LIGHTING CALCULATION
 REVISED WITH 20' POLES