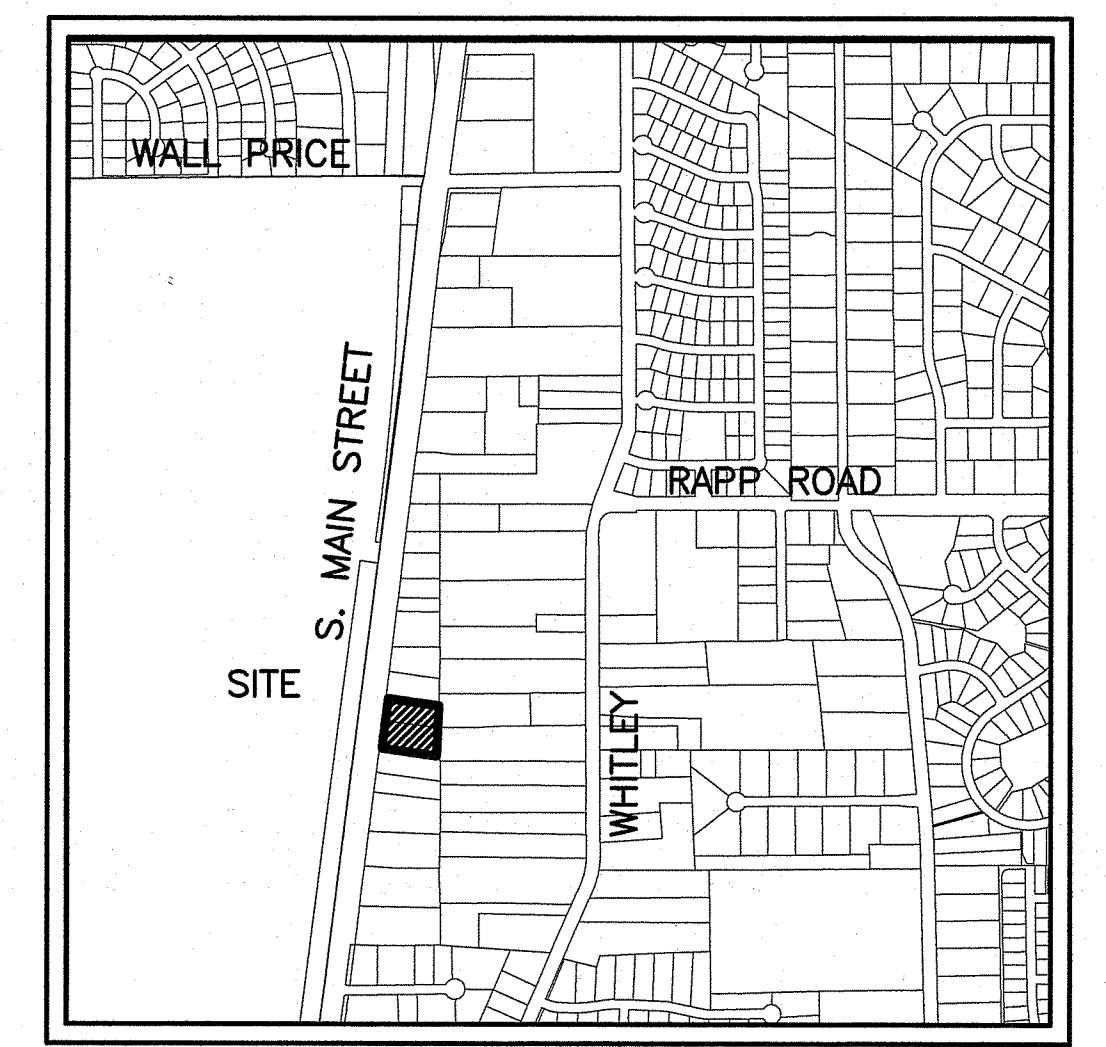
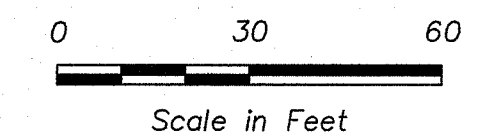
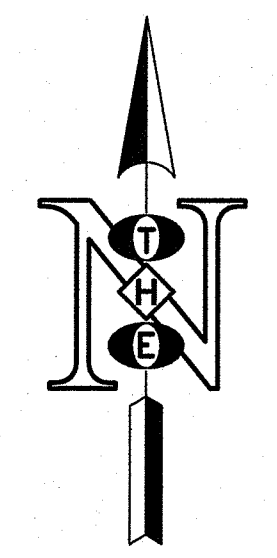
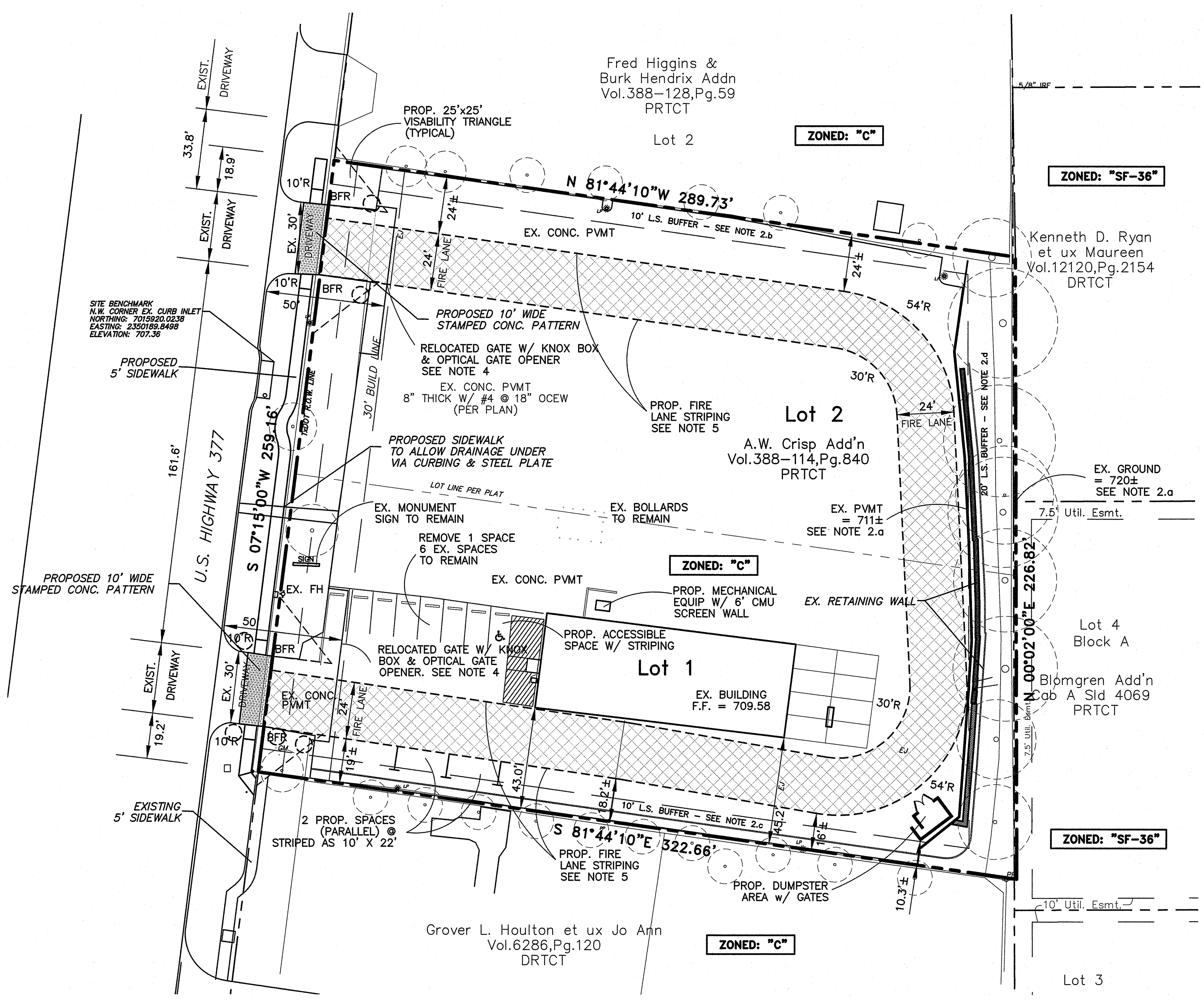


No.	REVISIONS/ SUBMISSIONS	Date



VICINITY MAP  
SCALE: 1"=1000'



**NOTE:**

- ALL SIGNAGE FOR LOTS 1 & 2 SHALL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE AT THE TIME OF SIGN PERMIT REVIEW.
- VARIANCES BEING REQUESTED:
  - ALLOW FOR THE ELIMINATION OF THE REQUIRED SCREENING WALL ALONG THE EASTERN PROPERTY LINE. THE GRADE DIFFERENTIAL BETWEEN THE DEVELOPED PARKING AREA AND THE ADJOINING TRACTS IS ADEQUATE TO PROVIDE SCREENING OF LIGHT/NOISE. FURTHER, THE EXISTING TREE LINE ALONG THE COMMON LOT LINE WOULD BE ADVERSELY AFFECTED BY THE SCREENING WALL.
  - A VARIANCE IS BEING REQUESTED TO THE LANDSCAPING REQUIREMENTS ALONG THE NORTH PROPERTY LINE. AS THE PAVING IS ESTABLISHED, THERE IS NOT ADEQUATE SPACE FOR THE PLANTING OF TREES ALONG THE PERIMETER AND REQUEST THAT THE BUFFER BE REMOVED ON THE NORTH.
  - A VARIANCE IS BEING REQUESTED TO THE LANDSCAPING REQUIREMENTS ALONG THE SOUTH PROPERTY LINE. AS THE PAVING IS ESTABLISHED, THERE IS NOT ADEQUATE SPACE FOR THE PLANTING OF TREES ALONG THE PERIMETER AND REQUEST THAT THE BUFFER BE REMOVED ON THE SOUTH.
  - A VARIANCE IS BEING REQUESTED TO THE LANDSCAPING REQUIREMENTS ALONG THE EAST PROPERTY LINE. AS THE PAVING IS ESTABLISHED, THERE IS NOT ADEQUATE SPACE FOR THE PLANTING OF TREES ALONG THE EAST AND REQUEST THAT THE 30'-FT BUFFER BE REDUCED TO 20'-FT.
  - AS THE BUILDING IS EXISTING AND HAS CONCRETE PAVING ON ALL SIDES, A VARIANCE IS BEING REQUESTED TO THE LANDSCAPING REQUIREMENTS REGARDING THE 5'-FT FOUNDATION PLANTINGS TO REMOVE THE FOUNDATION PLANTINGS.
  - AS THE PARKING IS EXISTING AND HAS CONCRETE PAVING ON ALL SIDES, A VARIANCE IS BEING REQUESTED TO THE LANDSCAPING REQUIREMENTS REGARDING THE PLANTING OF TREES AT THE END OF PARKING STALLS AND REMOVE THE PARKING ISLAND PLANTINGS.
- ALL PROPOSED SITE LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF KELLER. PHOTOMETRIC PLAN WILL BE REQUIRED AT TIME OF THE SITE PLAN APPROVAL FOR LOT 1 & 2.
- THE EXISTING GATES SHALL BE RELOCATED TO BE 50' FROM THE BACK OF CURB ON S. MAIN STREET. THE RELOCATED GATES SHALL PROVIDE EMERGENCY ACCESS TO THE SITE IN ACCORDANCE WITH 2018 IFC SECTIONS 503.6.1.1 THROUGH 503.6.1.6 AS AMENDED AND ADOPTED BY THE CITY OF KELLER AND VIA THE FOLLOWING:
  - AN OPTICALLY ACTIVATED GATE OPENING SYSTEM COMPATIBLE WITH THE 3M OPTICOM TRAFFIC PREEMPTION SYSTEM;
  - A KNOX KS-2 KEY SWITCH; AND,
  - FAIL-SAFE MANUAL BACKUP OR AUTOMATIC RELEASE IN THE EVENT OF FAILURE OF THE ELECTRICAL OR MECHANICAL SYSTEM.
- THE FIRE LANE DELINEATION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF KELLER REQUIREMENTS.

**SITE DATA SUMMARY TABLE**

	SITE PLAN FOR LOTS 1 & 2
ZONING	"C" COMMERCIAL
PROPOSED USE	OFFICE/WAREHOUSE - SALES
TRACT AREA	79,336 SF / 1.821 ACRES
EX. BUILDING SQUARE FOOTAGE	4,200± SF TOTAL
EX. BUILDING SQUARE FOOTAGE - OFFICE	1,760± SF
EX. BUILDING SQUARE FOOTAGE - WAREHOUSE	2,440± SF
PARKING REQUIRED - OFFICE	6
PARKING REQUIRED - WAREHOUSE	2
PARKING REQUIRED - TOTAL	8
PARKING PROVIDED - TOTAL	8
HANDICAP PARKING REQUIRED	1
HANDICAP PARKING PROVIDED	1

PARKING REQUIREMENTS  
 1 SPACE PER 350 SF - OFFICE  
 1 SPACE PER 2000 SF - WAREHOUSE

**LEGEND**

- EXIST. TREE TO BE PROTECTED
- EXIST. TREE/SHRUB TO BE REMOVED SEE LANDSCAPE PLAN

**NOTE**

The Contractor is to protect the existing trees during the construction of the proposed improvements.

**OWNER/APPLICANT**  
 WOODALL PROPERTIES, LLC  
 4305 E. BELKNAP STREET  
 HALTOM CITY, TEXAS 76117  
 TEL(817)222-3515  
 CONTACT: CHRIS@WOODALL.COM  
 Dall2013@GMAIL.COM

**PREPARER/ENGINEER**  
 THOMAS HOOVER ENGINEERING, LLC  
 P.O. BOX 1808  
 KELLER, TX 76244  
 817/913-1350 PHONE  
 CONTACT: THOMAS HOOVER  
 tom.theng@yahoo.com

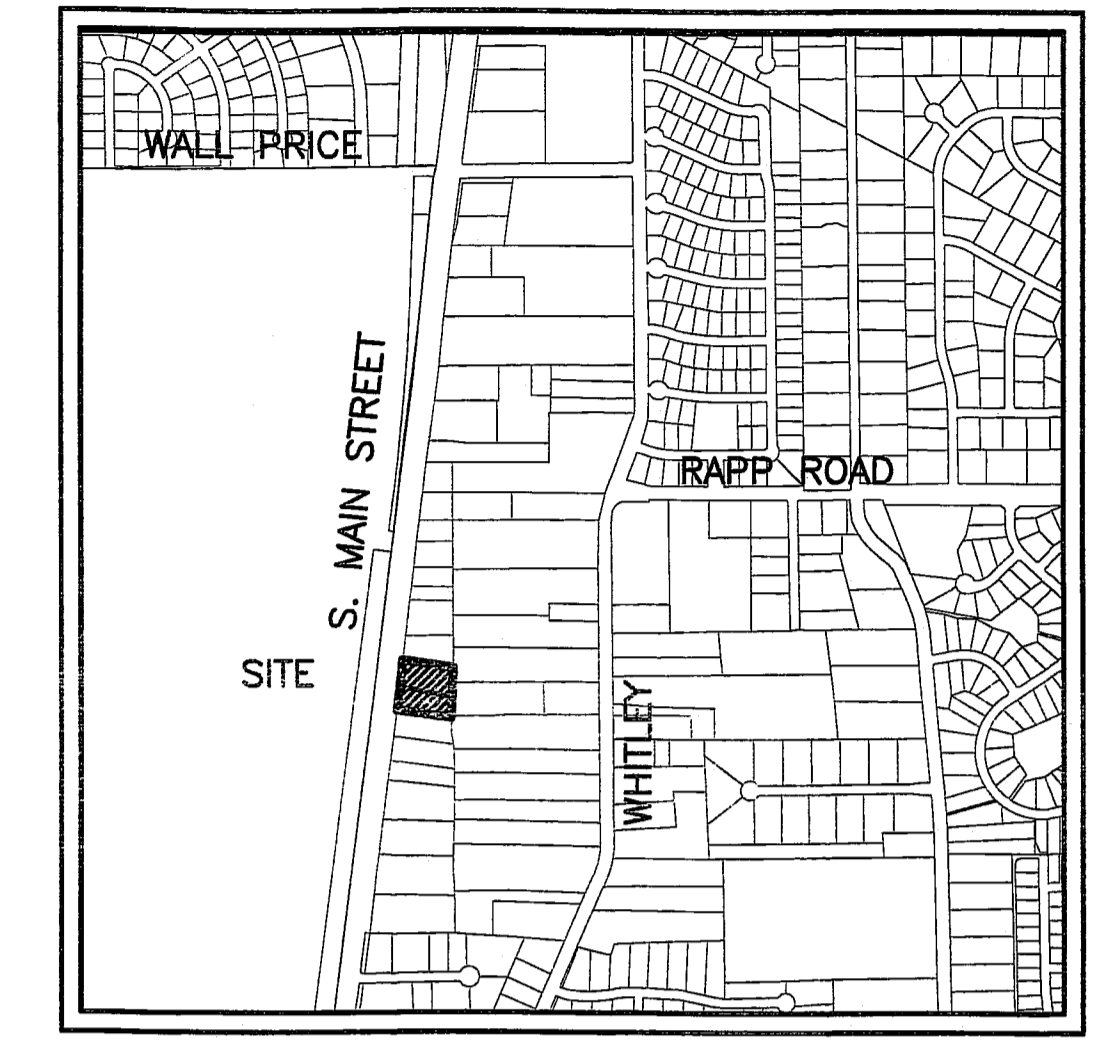
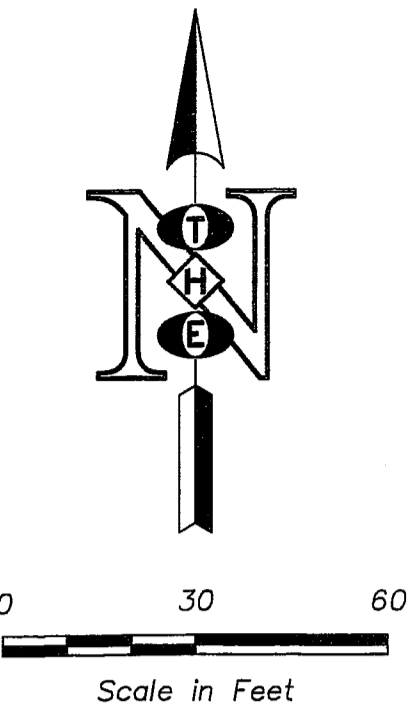
**THOMAS HOOVER ENGINEERING, LLC**  
 P.O. BOX 1808  
 KELLER, TEXAS 76244  
 (817) 913-1350 PHONE  
 T.B.P.E. FIRM REGISTRATION NO. 006009

**WOODALL PROPERTIES**  
 LOTS 1 & 2, BLOCK A  
 A.W. CRISP ADDITION  
 IN THE CITY OF KELLER,  
 TARRANT COUNTY, TEXAS.  
 1.82 ACRES OF LAND  
 CURRENT ZONING - "C"  
 1425 S. MAIN STREET

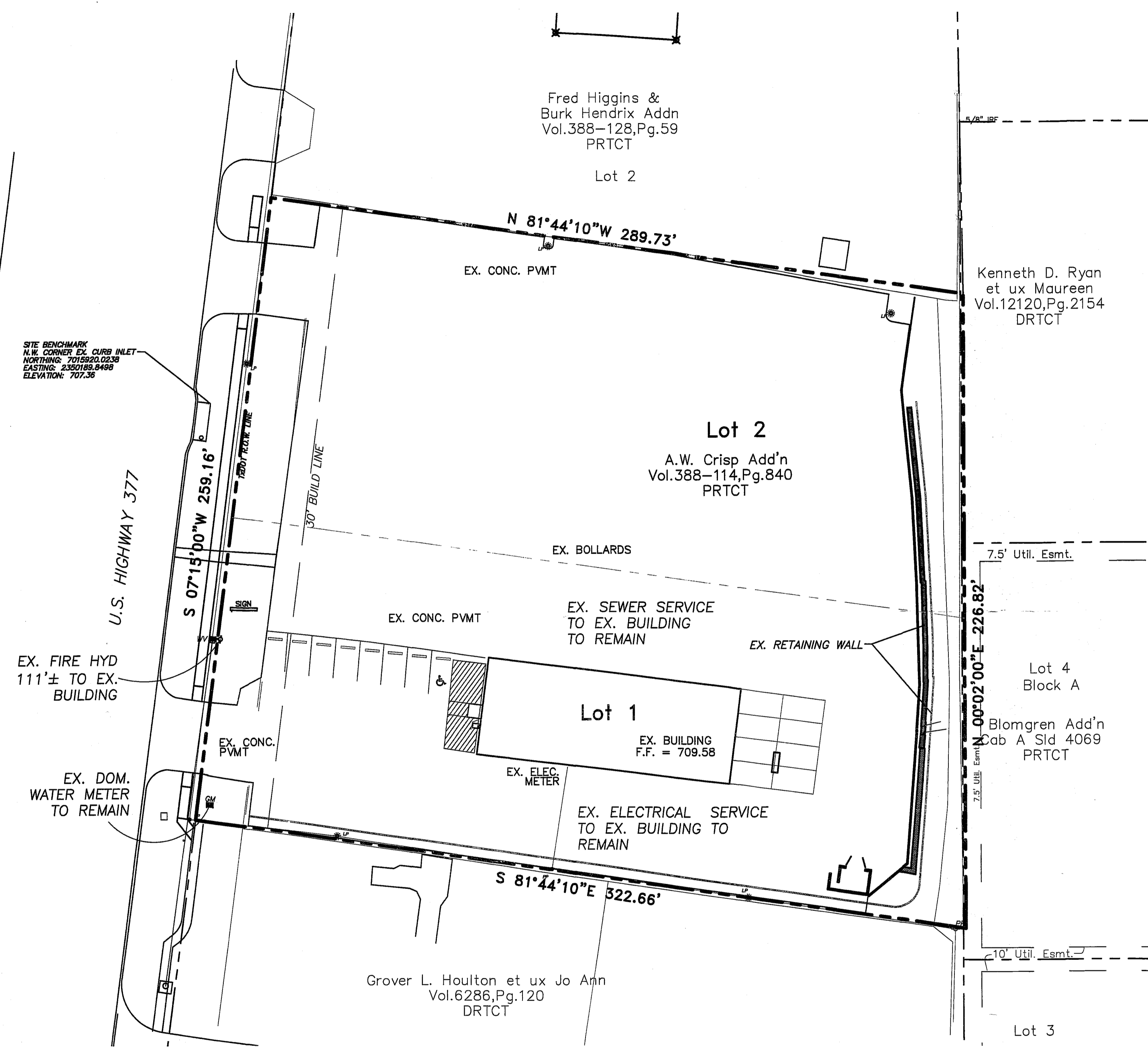
**SITE PLAN**

DESIGNED	TLH	SCALE	1"=30'	PROJECT NO.		SHEET	C-1
DRAWN	SDS	DATE	03-04-20			of	
CHECKED	TLH						

No.	REVISIONS/ SUBMISSIONS	Date



VICINITY MAP  
SCALE: 1"=1000'



**NOTE:**

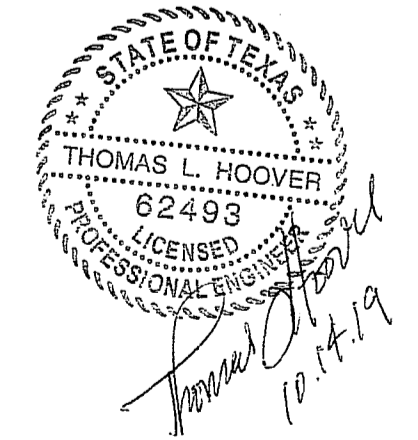
1. THERE ARE NO PROPOSED UTILITY IMPROVEMENTS REQUIRED FOR THE EXISTING BUILDING. ALL EXISTING SERVICES ARE TO REMAIN IN PLACE AND OPERATIONAL.
2. THE PROPOSED SIDEWALK ALONG THE TxDOT RIGHT-OF-WAY DOES NOT CONFLICT WITH THE EXISTING WATER METER.

**LEGEND**

- EXIST. TREE TO BE PROTECTED
- EXIST. TREE TO BE REMOVED

**NOTE**

The Contractor is to protect the existing trees during the construction of the proposed improvements.



**OWNER/APPLICANT**  
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HALTOM CITY, TEXAS 76117  
TEL(817)222-3515  
CONTACT: CHRIS'NNA WOODALL  
Dall2013@GMAIL.com

**PREPARER/ENGINEER**  
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tom.theng@yahoo.com

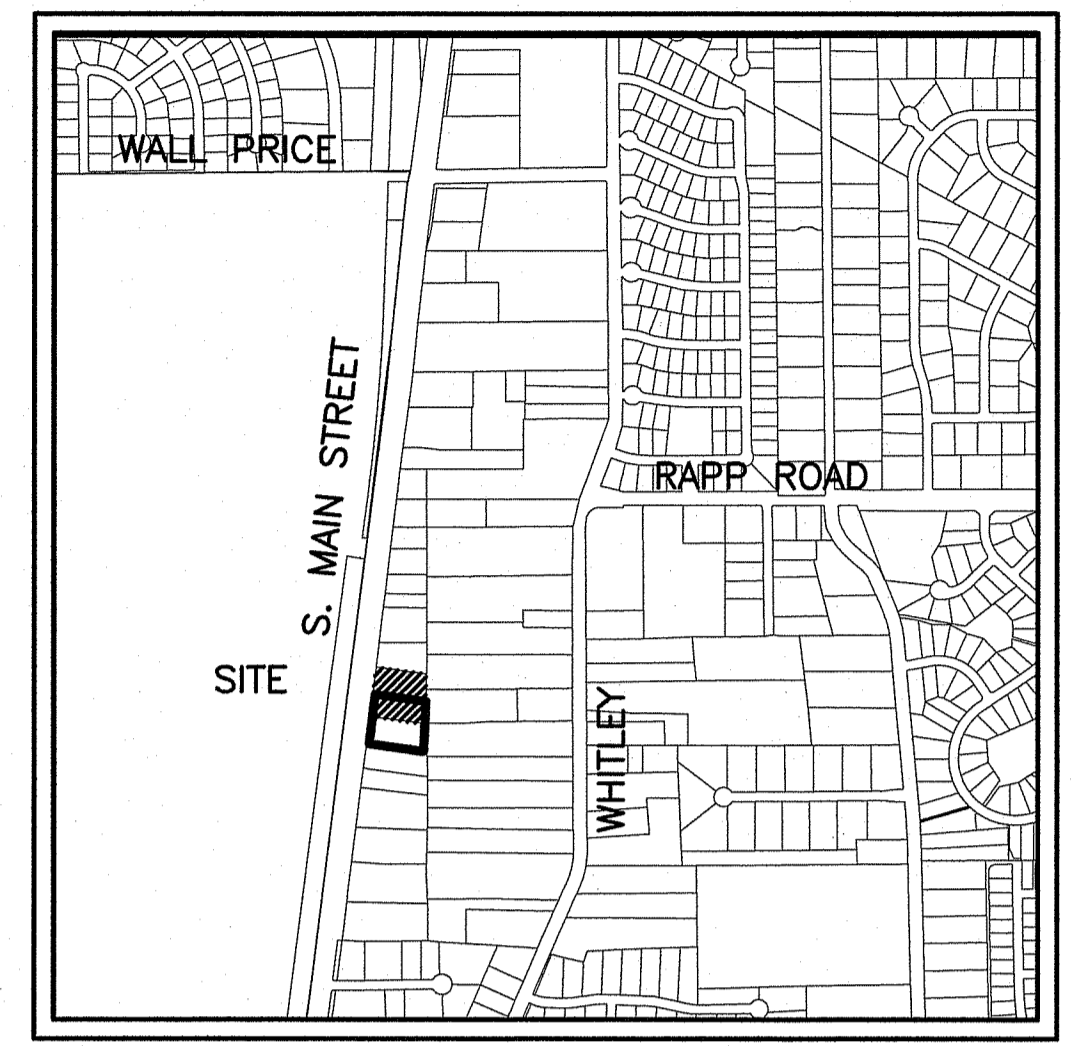
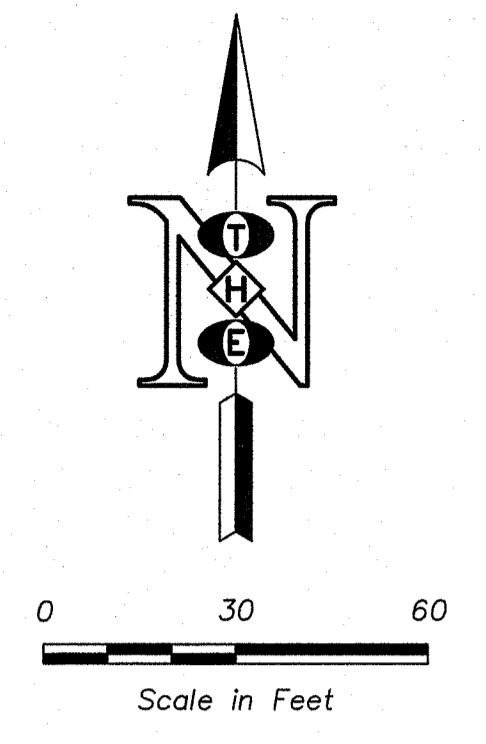
**THOMAS HOOVER ENGINEERING, LLC**  
P.O. BOX 1808  
KELLER, TEXAS 76244  
(817) 913-1350 PHONE  
T.B.P.E. FIRM REGISTRATION NO. 006009

**WOODALL PROPERTIES**  
**LOTS 1 & 2, BLOCK A**  
**A.W. CRISP ADDITION**  
**IN THE CITY OF KELLER,**  
**TARRANT COUNTY, TEXAS.**  
**1.82 ACRES OF LAND**  
**CURRENT ZONING - "C"**  
**1425 S. MAIN STREET**

<b>UTILITY PLAN</b>		PROJECT NO.	SHEET
DESIGNED TLH	SCALE 1"=30'		C-2 of
DRAWN SDS	DATE		
CHECKED TLH	10-11-19		



No.	REVISIONS/ SUBMISSIONS	Date





VICINITY MAP  
SCALE: 1"=1000'



SITE DATA SUMMARY TABLE	
	SITE PLAN FOR LOTS 1 & 2
ZONING	"C" COMMERCIAL
PROPOSED USE	OFFICE/WAREHOUSE - SALES
TRACT AREA	79,336 SF/ 1.821 ACRES
EX. BUILDING SQUARE FOOTAGE	4,200± SF
PARKING REQUIRED	7
PARKING PROVIDED	7
HANDICAP PARKING REQUIRED	1
HANDICAP PARKING PROVIDED	1

**LEGEND**

-  EXIST. TREE TO BE PROTECTED
-  EXIST. TREE TO BE REMOVED

**NOTE**

The Contractor is to protect the existing trees during the construction of the proposed improvements.

**OWNER/APPLICANT**  
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H	<b>THOMAS HOOVER ENGINEERING, LLC</b> P.O. BOX 1808 KELLER, TEXAS 76244 (817) 913-1350 PHONE T.B.P.E. FIRM REGISTRATION NO. 006009		
	<b>WOODALL PROPERTIES</b> <b>LOTS 1 &amp; 2, BLOCK A</b> <b>A.W. CRISP ADDITION</b> <b>IN THE CITY OF KELLER,</b> <b>TARRANT COUNTY, TEXAS.</b> <b>1.82 ACRES OF LAND</b> <b>CURRENT ZONING - "C"</b> <b>1425 S. MAIN STREET</b>		
<b>SITE PLAN - AERIAL</b>			
DESIGNED	TLH	SCALE	PROJECT NO.
DRAWN	SDS	1"=30'	SHEET
CHECKED	TLH	DATE	
		01-15-20	of



REVISIONS	BY
10-9-2019	SEB
11-5-2019	SEB
11-7-2019	SEB
1-15-2020	SEB

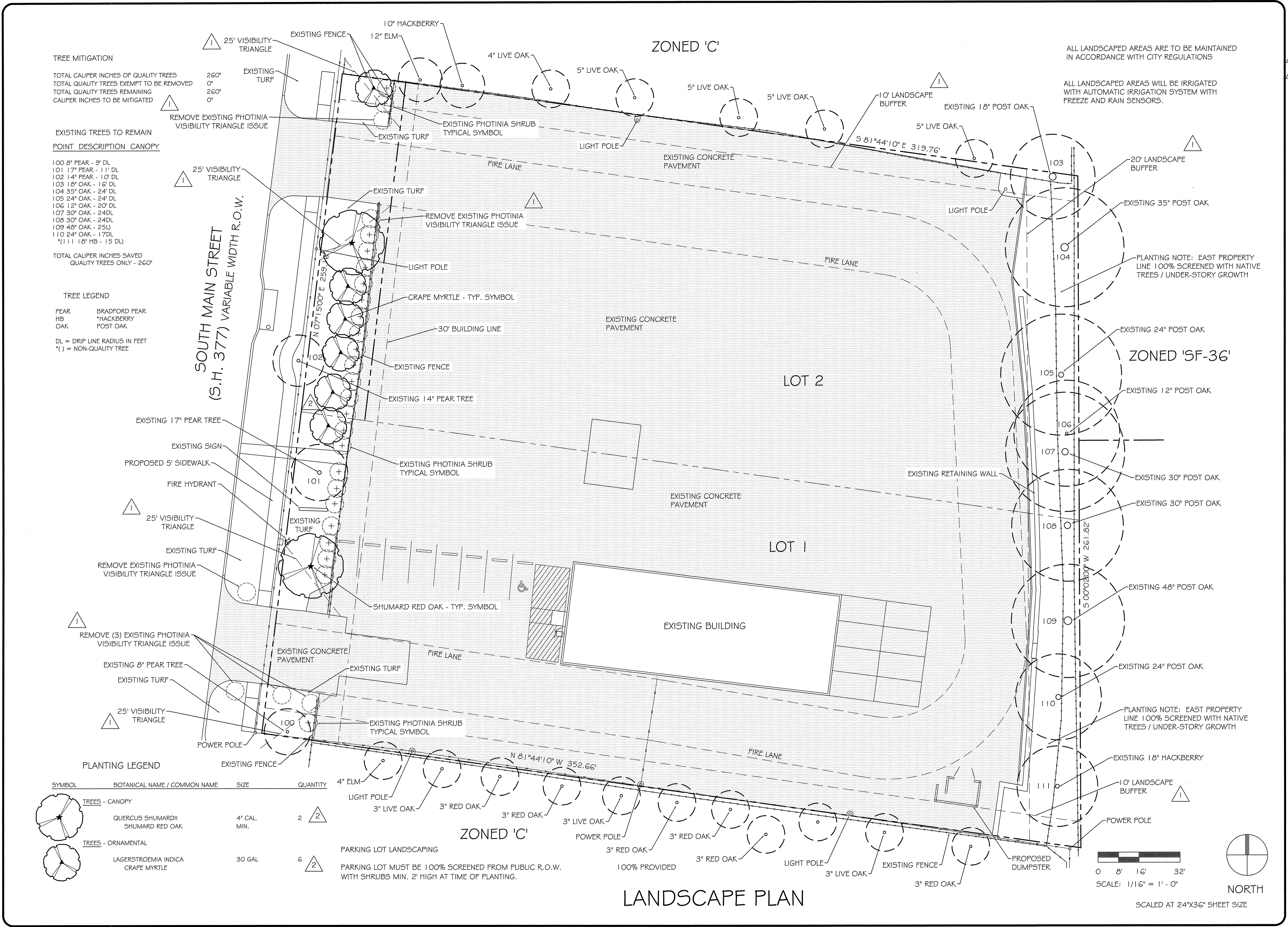
**beebe & associates p.c.**  
LANDSCAPE ARCHITECTURE  
3 Durango Drive  
Trophy Club, Texas 76262  
(817) 909-6666



ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF BEEBE & ASSOCIATES AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT. THEY ARE NOT TO BE USED FOR CONSTRUCTION, REPRODUCED OR REPRODUCED BY ANY MEANS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.

**WOODALL PROPERTIES**  
1425 S. MAIN STREET  
KELLER, TEXAS

DRAWN BY	SEB
CHECKED BY	SEB
DATE	10-7-2019
SCALE	1/16" = 1'-0"
JOB NUMBER	
SHEET NUMBER	L-1
OF	1



**TREE MITIGATION**  
TOTAL CALIPER INCHES OF QUALITY TREES  
TOTAL QUALITY TREES EXEMPT TO BE REMOVED  
TOTAL QUALITY TREES REMAINING  
CALIPER INCHES TO BE MITIGATED

**EXISTING TREES TO REMAIN**  
POINT DESCRIPTION CANOPY

- 100 8" PEAR - 9' DL
- 101 17" PEAR - 11' DL
- 102 14" PEAR - 10' DL
- 103 18" OAK - 16' DL
- 104 35" OAK - 24' DL
- 105 24" OAK - 24' DL
- 106 12" OAK - 20' DL
- 107 30" OAK - 24DL
- 108 30" OAK - 24DL
- 109 48" OAK - 25L
- 110 24" OAK - 17DL
- \*111 18" HB - 15 DL

TOTAL CALIPER INCHES SAVED  
QUALITY TREES ONLY - 260"

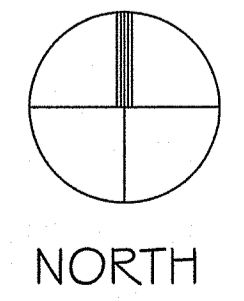
**TREE LEGEND**  
PEAR BRADFORD PEAR  
HB HACKBERRY  
OAK POST OAK  
DL = DRIP LINE RADIUS IN FEET  
(\*) = NON-QUALITY TREE

**PLANTING LEGEND**

SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	QUANTITY
<b>TREES - CANOPY</b>			
	QUERCUS SHUMARDII SHUMARD RED OAK	4" CAL. MIN.	2
<b>TREES - ORNAMENTAL</b>			
	LAGERSTROEMIA INDICA CRAPE MYRTLE	30 GAL	6

**PARKING LOT LANDSCAPING**  
PARKING LOT MUST BE 100% SCREENED FROM PUBLIC R.O.W.  
WITH SHRUBS MIN. 2' HIGH AT TIME OF PLANTING.

0 8' 16' 32'  
SCALE: 1/16" = 1'-0"

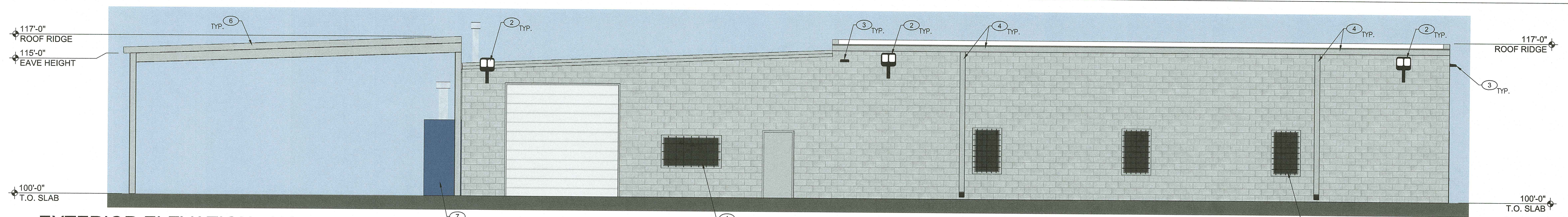


**LANDSCAPE PLAN**

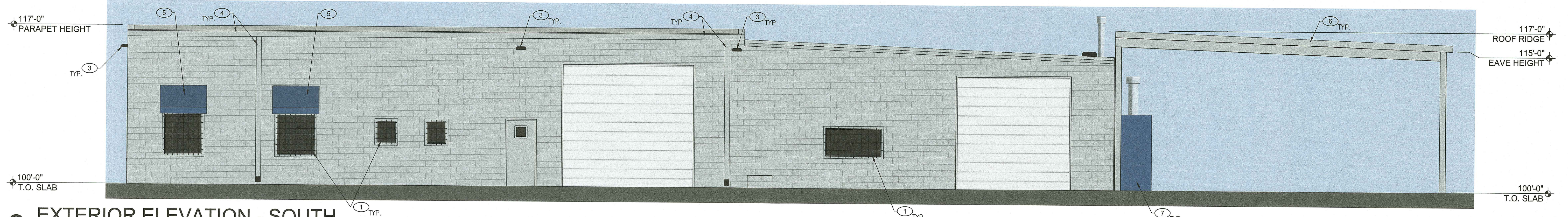
ALL LANDSCAPED AREAS ARE TO BE MAINTAINED  
IN ACCORDANCE WITH CITY REGULATIONS

ALL LANDSCAPED AREAS WILL BE IRRIGATED  
WITH AUTOMATIC IRRIGATION SYSTEM WITH  
FREEZE AND RAIN SENSORS.

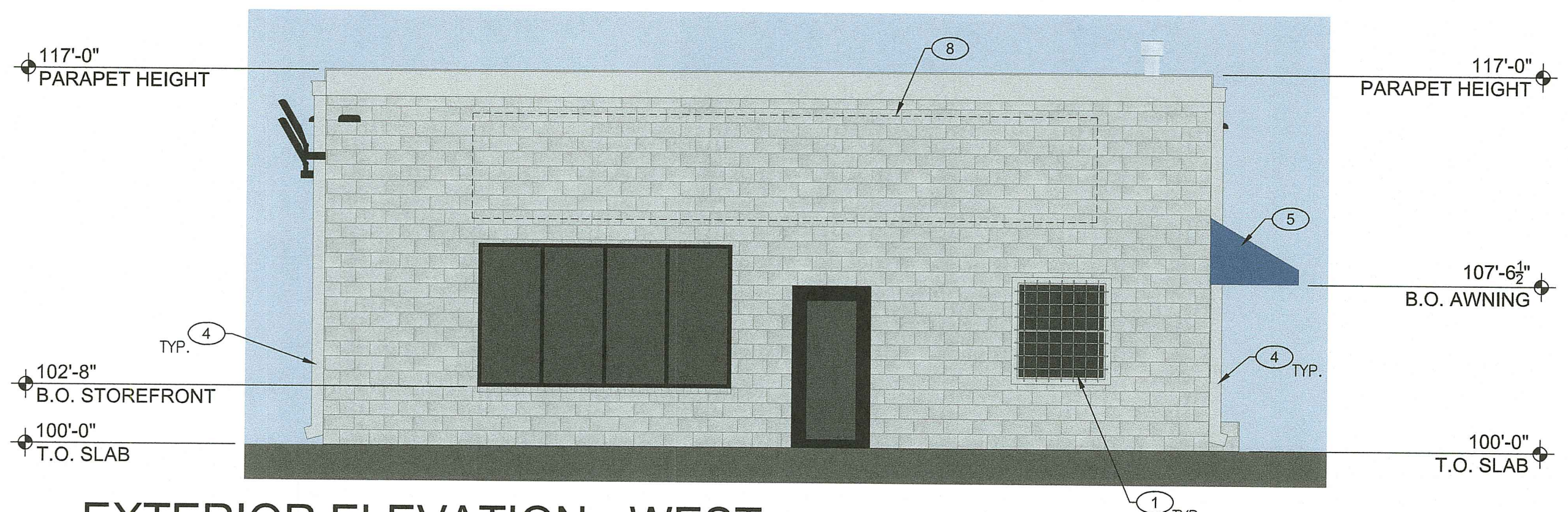




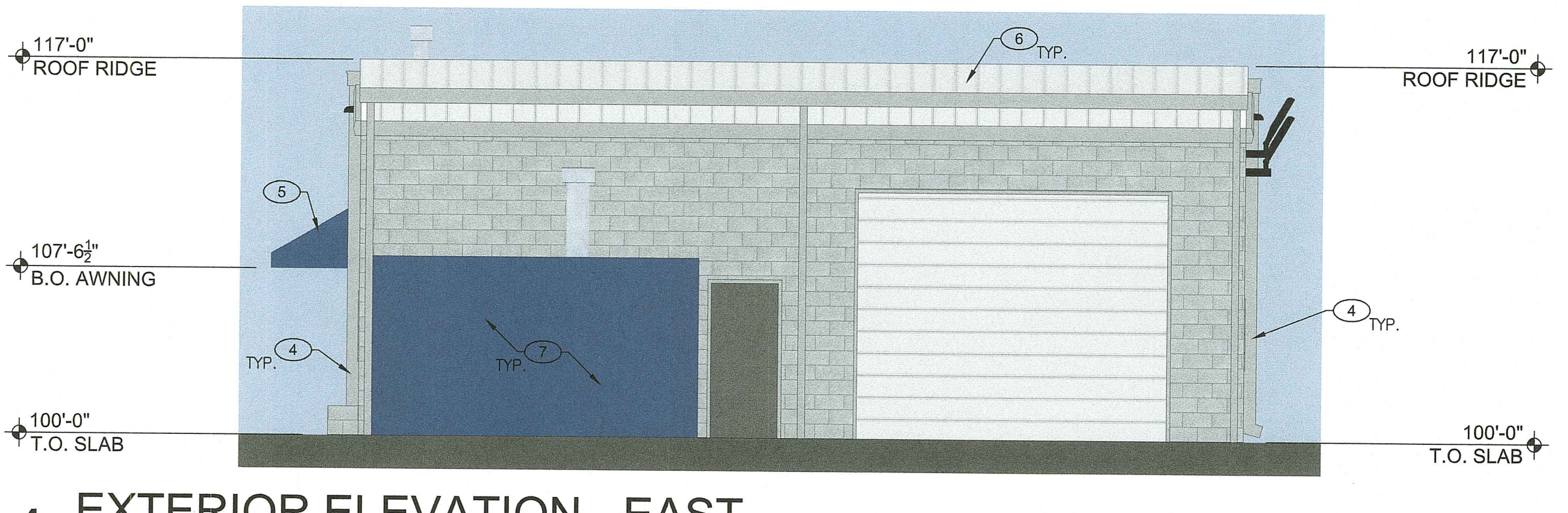
**1 EXTERIOR ELEVATION - NORTH**  
3/16" = 1'-0"



**2 EXTERIOR ELEVATION - SOUTH**  
3/16" = 1'-0"



**3 EXTERIOR ELEVATION - WEST**  
3/16" = 1'-0"



**4 EXTERIOR ELEVATION - EAST**  
3/16" = 1'-0"

**ELEVATIONS GENERAL NOTES**

- ELEVATIONS AS SHOWN ARE PER EXISTING CONDITIONS AS OF 10/3/2019. IT IS THE OWNER'S INTENTION FOR ALL EXISTING CONDITIONS AND FEATURES TO REMAIN WITH THE EXCEPTION OF REMOVING THE EXISTING ROOFTOP MECHANICAL EQUIPMENT.
- THE EXISTING BUILDING IS FULL CMU MASONRY, EXCEPT FOR THE STEEL FRAMED SHED ROOF TO THE EAST OF THE BUILDING.
- REFER TO SITE PLAN AND GRADING PLAN FOR FINISHED FLOOR ELEVATION AND ADDITIONAL BUILDING AND SITE INFORMATION.

**ELEVATIONS KEY NOTES**

- EXISTING PROTECTED WINDOW TO REMAIN, TYP.
- WALL MOUNTED AREA LIGHT. REF. PHOTOMETRIC PLAN AND NOTES.
- WALL MOUNTED BUILDING LIGHT. REF. PHOTOMETRIC PLAN AND NOTES.
- EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN, TYP.
- CANVAS AWNING WITH 48" PROJECTION, TYP.
- EXISTING STEEL BUILDING AND ROOF, OVER OPEN AREA.
- WOOD CABINET FOR WASH PUMP EQUIPMENT.
- DASHED AREA INDICATES ANTICIPATED BUILDING SIGNAGE AREA.

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WOODALL PROPERTIES  
LOTS 1 & 2, BLOCK A  
A.W. CRISP ADDITION  
IN THE CITY OF KELLER,  
TARRANT COUNTY, TEXAS.  
1.82 ACRES OF LAND  
CURRENT ZONING - "C"  
1425 S. MAIN STREET

BUILDING ELEVATIONS (COLOR)				
DESIGNED	BS	SCALE	AS NOTED	PROJECT NO.
DRAWN	BS	DATE	10-14-19	
CHECKED	LS			SHEET
				A-1



No.	REVISIONS/ SUBMISSIONS	Date

**PHOTOMETRIC PLAN KEY NOTES**

- EXISTING FENCE PREVENTING FULL ACCESS TO EAST PROPERTY LINE.
- EXISTING INACTIVE POLE LIGHT, UNLIT AT TIME OF MEASUREMENT.
- FIXTURE MOUNTED AT APPROX. 21 FT.

**PHOTMETRIC PLAN GENERAL NOTES**

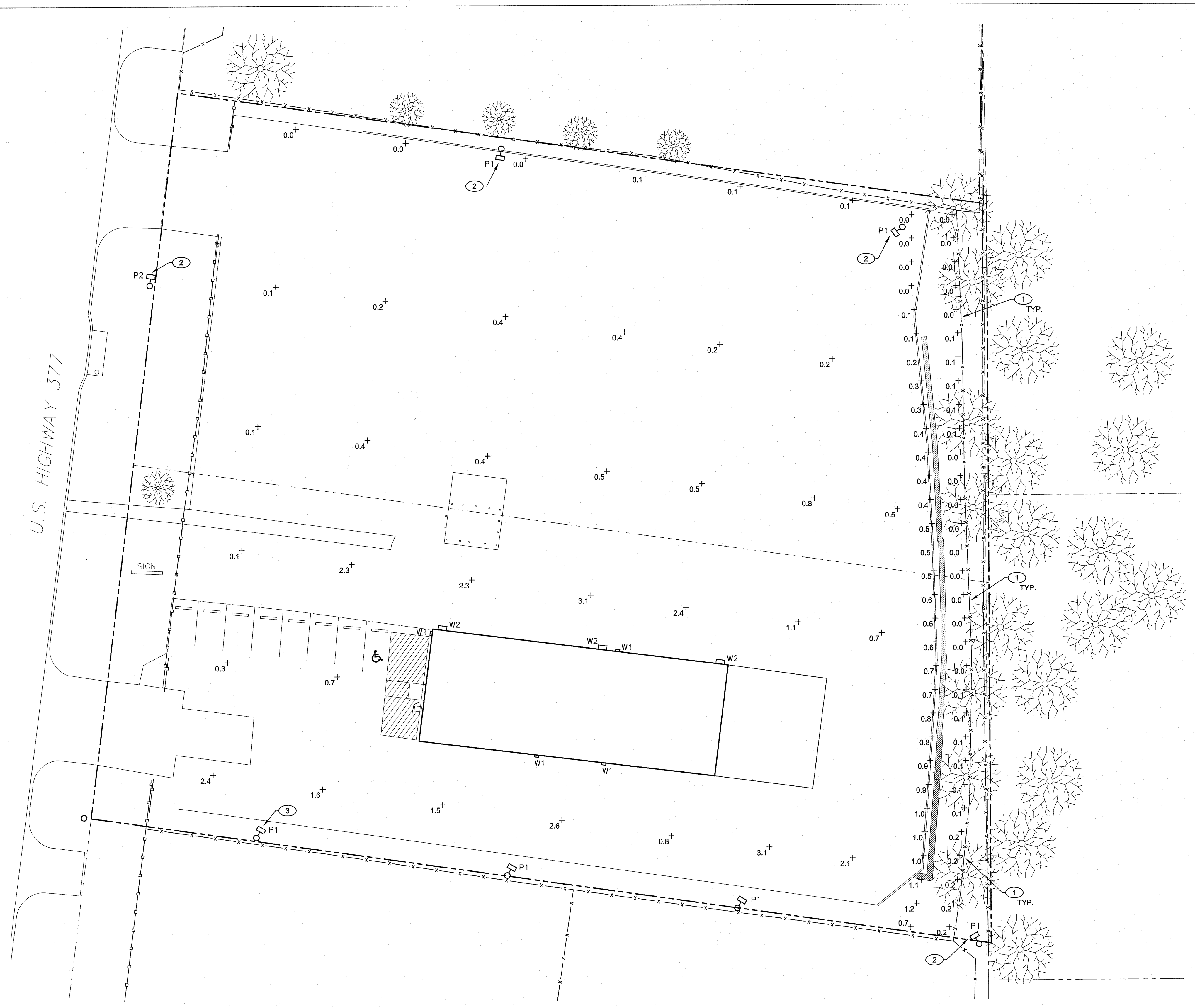
- NOTED FOOT-CANDLE VALUES ARE BASED ON SITE MEASUREMENTS TAKEN 10/3/2019, 8-9PM, USING A LIGHT METER TO DOCUMENT EXISTING SITE LIGHTING CONDITIONS AT THE TIME OF MEASUREMENT.
- AS REQUESTED BY THE CITY, SPECIAL CONSIDERATION WAS TAKEN TO MEASURE ALONG THE EAST PROPERTY LINE ADJOINING THE RESIDENTIAL ZONED LOTS. DUE TO AN EXISTING CHAIN LINK AND BARBED WIRE FENCE LOCATED INSIDE OF THE PROPERTY BOUNDARY AS NOTED ON THE DRAWING, WE WERE UNABLE TO ACCESS AND TAKE MEASUREMENTS EXACTLY AT THE PROPERTY LINE. IT IS NOTED HOWEVER THAT DUE TO THE ABUNDANT VEGETATION IN THE AREA BETWEEN THE RETAINING WALL AND PROPERTY LINE, NO SIGNIFICANT ILLUMINATION OR GLARE TRAVERSES THE PROPERTY LIMIT.
- AT THE TIME OF MEASUREMENT, MULTIPLE EXISTING POLE LIGHTS WERE NOTED AS UNLIT. PER THE OWNER THESE LIGHTS ARE NOT INTENDED TO BE USED. IN THE EVENT THESE FIXTURES ARE REPAIRED OR REPLACED, NEW PHOTOMETRIC DATA MAY BE REQUIRED.

**LUMINAIRE SCHEDULE**

MARK	SYMBOL	DESCRIPTION	MOUNTING TYPE	MOUNTING ELEVATION	QTY.	NOTES
P1	○□	POLE MOUNTED AREA LIGHT	POLE	~30'	6	REFER TO PLAN FOR NOTED LOCATIONS OF INACTIVE POLE LIGHTS.
P1	○□	POLE MOUNTED AREA LIGHT	POLE	~27'	1	TXDOT LIGHT, UNLIT AT TIME OF MEASUREMENT.
W1	□	WALL WASH LED LIGHT	WALL	~15'	4	
W2	□	WALL MOUNTED AREA LIGHT	WALL	~15'	3	

**STATISTICS**

SYMBOL	+
AVERAGE FOOT-CANDLES	0.5
MAXIMUM FOOT-CANDLES	3.1
MINIMUM FOOT-CANDLES	0.0
MAX. TO MIN. FC RATIO	3.1/0.0
AVG. TO MIN. FC RATIO	0.5/0.0



**1 PHOTOMETRIC PLAN**  
1" = 20'-0"

**THOMAS HOOVER ENGINEERING, LLC**  
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T.B.P.E. FIRM REGISTRATION NO. 006009

**WOODALL PROPERTIES**  
LOTS 1 & 2, BLOCK A  
A.W. CRISP ADDITION  
IN THE CITY OF KELLER,  
TARRANT COUNTY, TEXAS.  
1.82 ACRES OF LAND  
CURRENT ZONING - "C"  
1425 S. MAIN STREET

**PHOTOMETRIC PLAN**

DESIGNED	BS	SCALE	AS NOTED	PROJECT NO.	SHEET ES-1
DRAWN	BS	DATE	10-14-19		
CHECKED	LS				