

DETAILED SITE PLAN

# THE HERITAGE GROVE

IN THE CITY OF KELLER  
TARRANT COUNTY, TEXAS  
8660 CLARA LANE



CITY COUNCIL MEMBERS

MAYOR: ARMIN MIZANI  
COUNCIL - PLACE 1: SHANNON DUBBERLY  
COUNCIL - PLACE 2: GREG WILL  
COUNCIL - PLACE 3: KAREN BRENNAN  
COUNCIL - PLACE 4: TAG GREEN  
COUNCIL - PLACE 5: CHRIS WHATLEY  
MAYOR PRO TEM: ROSS MCMULLIN

DEVELOPER

CAMERON - SQRL, SANFORD LLC  
4512 LEGACY DRIVE UNIT 100, PLANO, TX 75024  
TEL. (617) 956 2285  
SEETHA@SUMAMONDE.COM

ENGINEER

OPTIMA DESIGN & ENGINEERING PLLC  
2808 WILDCREEK CT,KELLER TEXAS  
TEL. (817) 466-6503  
TEXAS FIRM REGISTRATION NO. F-23565  
EMAIL:P.ALIKHANI@OPTIMA ENGINEERING.COM

OWNER

CHARLES H. TALLEY  
8660 CLARA LANE, KELLER, TX, 76248

ITEMS CHANGED FROM PNZ

- 1- BOUNDARY AND AREA OF THE LOTS 1 TO 7
- 2- THE AREA OF THE POND BY ADDING A SIDEWALK EASEMENT AROUND IT
- 3- 10 FEET EASEMENT (LANDSCAPE AND SIDEWALK) ADDED AT THE BACK OF LOT 3 & 4 , IN THE RIGHT OF WAY OF CLARA LANE
- 4- STORM DRAINING EASEMENT
- 5- SEWER AND WATER LINE LOCATION
- 6- BOTH ACCESS DOORS IN SIDEWALK ARE ELIMINATED (NEAR THE ENTRANCE GATES)
- 7- LOCATION OF THE ACCESS DOOR TO THE POND
- 8- LOCATION OF THE DRIVE WAY IN LOTS 2,5 & 6

SHEET INDEX

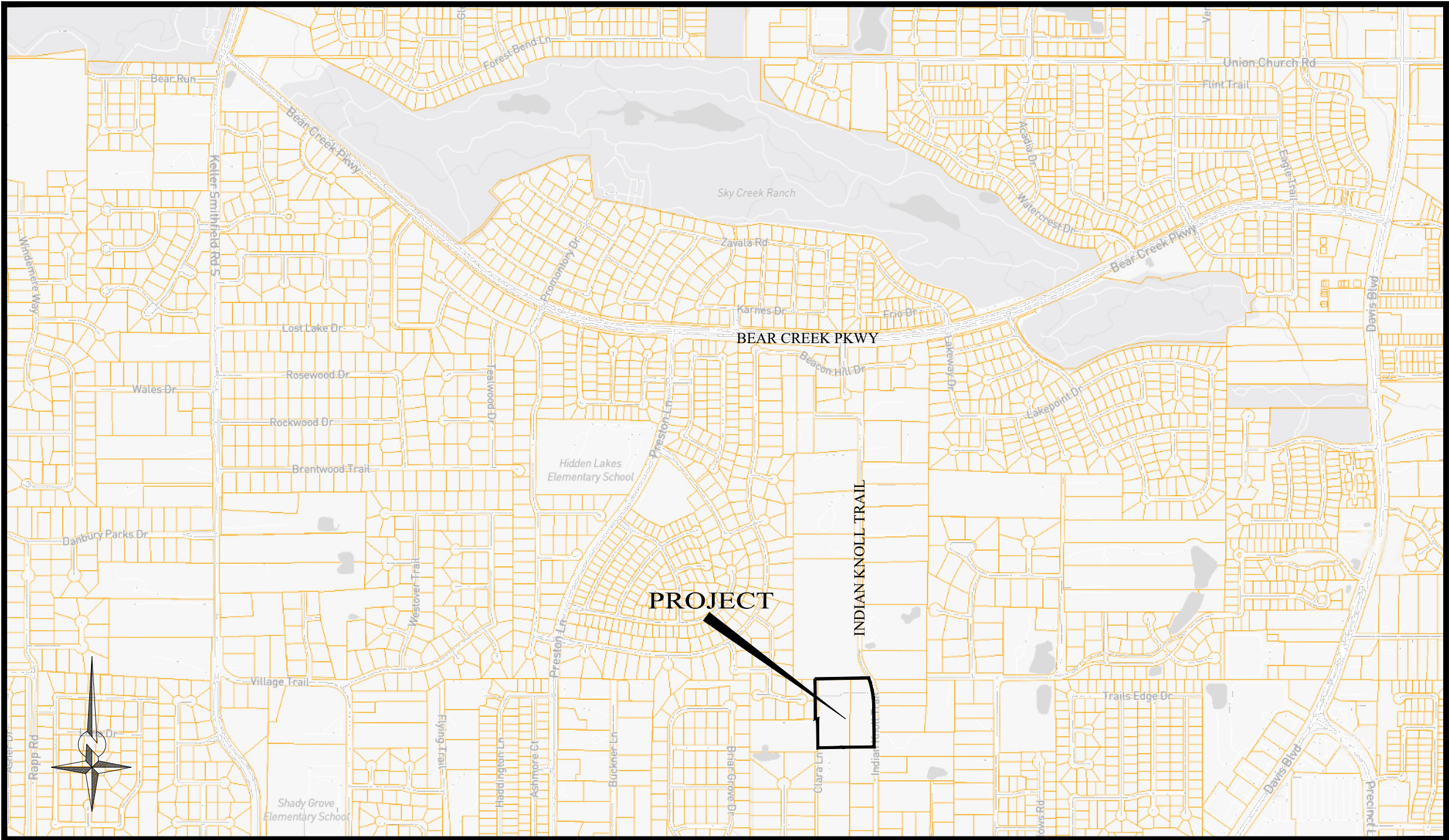
- 1. COVER SHEET
- 2. GENERAL NOTES
- 3. SURVEY
- 4. SITE PLAN
- 5. DIMENSION SITE PLAN
- 6. AERIAL PHOTO AND TREE PRESERVATION
- 7. WATER PLAN
- 8. SEWER PLAN
- 9. EXISTING DRAINAGE AREA MAP
- 10. PROPOSED DRAINAGE AREA MAP AND STORM SYSTEM
- 11. CONSTRUCTION DETAILS
- 12. CONSTRUCTION DETAILS
- 13. CONSTRUCTION DETAILS
- 14. CONSTRUCTION DETAILS

SURVEYOR

CBG SURVEYING TEXAS LLC  
1413 E. IH - 30, STE. 7 GARLAND, TX 75043  
TEL. (214) 349-9485  
TEXAS FIRM REGISTRATION NO. 10168800  
HTTPS://WWW.CBGTLCC.COM

SIGNATURE:

PRELIMINARY SITE EVALUATION APPROVED  
BY THE CITY OF KELLER CITY COUNCIL FOR  
THE PREPARATION OF A FINAL PLAT



LOCATION MAP  
SCALE: 1" = 1000'



8660 Clara Lane

Being a lot, tract or parcel of land situated in the Thomas Peck Survey, Abstract No. 1210, City of Keller, Tarrant County, Texas, same being a tract of land conveyed to Charles H. Talley and wife, Margaret Anne Talley, by deed recorded in Volume 4133, Page 346, Deed Records, Tarrant County, Texas, same being a tract of land conveyed to Charles Talley, by deed recorded in Volume 5300, Page 336, Deed Records, Tarrant County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8 inch iron rod found for corner, said corner being along the South line of that tract of land conveyed to Anthony James and Tessa James, by deed recorded in Instrument No. D220217942, Official Public Records, Tarrant County, Texas, said corner being the Northeast corner of Lot 51, Block A of Idlewood Estates, Phase 2, an addition to the City of Keller, Tarrant County, Texas, according to the plat thereof recorded in Cabinet A, Slide 4608, Plat Records, Tarrant County, Texas;

THENCE North 88 degrees 59 minutes 21 seconds East, along the South line of said James tract, a distance of 284.01 feet to a 5/8 inch iron rod found for corner, said corner being the Northwest corner of that tract of land conveyed to Charles Talley, by deed recorded in Volume 5300, Page 336, Deed Records, Tarrant County, Texas;

THENCE North 89 degrees 03 minutes 14 seconds East, along the South line of said James tract, passing a 1/2 inch iron rod found at 163.40 feet and continuing a total distance of 193.00 feet to a point for corner, said corner being in Indian Knoll Road (Public right of way);

THENCE South 17 degrees 14 minutes 53 seconds East, along said Indian Knoll Road, a distance of 43.68 feet to a point for corner, and being the beginning of a curve to the right, having a radius of 702.20 feet, a central angle of 16 degrees 48 minutes 00 seconds, a chord bearing of South 08 degrees 50 minutes 53 seconds East, a chord distance of 205.16 feet;

THENCE along said curve to the right, an arc length of 205.90 feet to a point for corner, said corner being along the West line of a tract of land conveyed to John and Sharon Barmore Trust, by deed recorded in Instrument No. D213076009, Official Public Records, Tarrant County, Texas;

THENCE South 00 degrees 26 minutes 53 seconds East, along the West line of said John and Sharon Barmore Trust tract, a distance of 367.79 feet to a point for corner;

THENCE South 89 degrees 17 minutes 57 seconds West, passing a 5/8 inch iron rod at 30.00 feet and continuing a total distance of 234.70 feet to a 5/8 inch iron rod found for corner, said corner being the Northeast corner of Lot 1, Block A of Ellis Addition, an addition to the City of Keller, Tarrant County, Texas, according to the plat thereof recorded in Instrument No. D214266568, Plat Records, Tarrant County, Texas;

THENCE South 88 degrees 52 minutes 38 seconds West, along the North line of said Ellis Addition, a distance of 284.83 feet to a point for corner, said corner being along the East line of Lot 1, Block A of Miller's Addition, an addition to the City of Keller, Tarrant County, Texas, according to the plat thereof recorded in Cabinet A, Slide 4851, Plat Records, Tarrant County, Texas;

THENCE North 00 degrees 27 minutes 20 seconds West, along the East line of said Miller's Addition, a distance of 612.49 feet to the POINT OF BEGINNING and containing 314,594 square feet or 7.22 acres of land.

SURVEYOR'S CERTIFICATE

The undersigned Registered Professional Land Surveyor hereby certifies to Charles Talley, in connection with the transaction described in G.F. \_\_\_\_\_ that, (a) this survey and the property description set forth hereon were prepared from an actual on-the-ground survey; (b) such survey was conducted by the Surveyor, or under his direction; (c) all monuments shown hereon actually existed on the date of the survey, and the location, size and type of material thereof are correctly shown; Use of this survey by any other parties and/or for other purposes shall be at User's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. The plat hereon is a correct and accurate representation of the property lines and dimensions are as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the boundaries the distances indicated and there are no visible and apparent encroachments or protrusions on the ground.

Executed this 11th day of September, 2023

Jonathan M. Quill  
Registered Professional Land Surveyor



ACCEPTED BY: \_\_\_\_\_

SIGNATURE DATE SIGNATURE DATE

NOTE: This survey is made in conjunction with the information provided by the client. CBG Surveying Texas, LLC has not researched the land title records for the existence of easements, restrictive covenants or other encumbrances.

NOTE: BEARINGS SHOWN ARE BASED ON NAD 83 TEXAS NORTH CENTRAL ZONE

NOTES: EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

NOTE: According to the F.I.R.M. in Map No. 48439C0090L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

ACCEPTED BY: \_\_\_\_\_

SIGNATURE DATE SIGNATURE DATE

| REVISIONS |    |          |
|-----------|----|----------|
| DATE      | BY | NOTES    |
| 9/21/2023 | TO | BOUNDARY |
|           |    |          |
|           |    |          |
|           |    |          |
|           |    |          |

| LEGEND                    |                                |
|---------------------------|--------------------------------|
| CM CONTROLLING MONUMENT   | PE POOL EQUIPMENT              |
| 1/2" IRON ROD FOUND       | COLUMN                         |
| 1/2" IRON ROD SET         | A/C AIR CONDITIONING           |
| 1" IRON PIPE FOUND        | FIRE HYDRANT                   |
| 5/8" ROD FOUND            | DES DES                        |
| FENCE POST CORNER         | CHP CHP                        |
| "X" FOUND / SET           | COVERED PORCH, DECK OR CARPORT |
| UNDERGROUND ELECTRIC      | OVERHEAD ELECTRIC SERVICE      |
| OVERHEAD ELECTRIC         | OVERHEAD POWER LINE            |
| POWER POLE                | CONCRETE PAVING                |
| POINT FOR CORNER          | DOUBLE SIDED WOOD FENCE        |
| GRAVEL/ROCK ROAD OR DRIVE |                                |

|                         |                   |
|-------------------------|-------------------|
| CBG SURVEYING TEXAS LLC |                   |
| 1413 E. IH-30, Ste. 7   | Garland, TX 75043 |
| P 214.349.2485          | F 214.349.2216    |
| Firm No. 10168800       | www.cbgtxllc.com  |
| SCALE                   | DATE              |
| 1" = 40'                | 9/11/2023         |
| JOB NO.                 | G.F. NO.          |
| 2314033                 | N/A               |
| DRAWN                   | TO                |

METES AND BOUNDS SURVEY

THOMAS PECK SURVEY, ABSTRACT NO. 1210

CITY OF KELLER, TARRANT COUNTY, TEXAS

8660 CLARA LANE



GENERAL NOTES:

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF KELLER STANDARDS AND SPECIFICATIONS.
2. UTILITY CONTRACTOR AND STREET CONTRACTOR ARE TO NOTIFY A CITY TECHNICAL CONSTRUCTION INSPECTOR, AT 817-743-4080, AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
3. ALL SANITARY SEWER PIPE SHALL BE SDR 35 PVC (ASTM D-3034).
4. ALL STORM DRAINAGE PIPE SHALL BE ASTM C-76, CLASS III REINFORCED CONCRETE, UNLESS NOTED OTHERWISE.
5. ALL WATER MAINS SHALL BE PVC AWWA-C900, DR18, CLASS 150.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF A MAXIMUM NUMBER OF PASSING FIELD DENSITY TESTS ON LIME AND CEMENT STABILIZED SUBGRADE EQUAL TO THE RATIO OF 1 PER 100 LINEAR FEET OF STREET AND ALL FAILING DENSITY TESTS AND REQUIRED MOISTURE-DENSITY CURVES.
7. ALL FILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD (ASTM D-698).
8. ROUTE WATER LINES AROUND STORM DRAIN INLETS WITH A MINIMUM OF 12" CLEARANCE OUT-TO-OUT.
9. "CURB RAMPS" ARE TO BE CONSTRUCTED ON ALL PERMANENT CURB RETURNS AT INTERSECTIONS OF ALL STREETS OR AS DIRECTED BY THE PUBLIC WORKS DEPARTMENT.
10. ALL CONSTRUCTION BARRICADING TO BE IN ACCORDANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATIONS CURRENT "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" GUIDELINES.
11. GATE VALVES SHALL CONFORM TO CURRENT ADOPTED VERSION OF SPECIFICATION ANSI/AWWA C509-87.
12. ALL ROCK RIPRAP TO BE PLACED ON FILTER FABRIC.
13. ALL EXPOSED CONCRETE PORTIONS OF BRIDGES, CULVERTS, WINGWALLS, AND HEADWALLS WILL REQUIRE A TWO-RUB FINISH IN ACCORDANCE WITH NCTCOG ITEM NO. 702.4.13.1, TYPE 1 WITH TWO-RUB FINISH.
14. MATERIAL DISPOSAL FOR CITY PROJECTS- THE CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS DIRECTOR IN WRITING OF PROPOSED MATERIAL DISPOSAL SITES TO BE UTILIZED WITHIN THE CITY OF KELLER. THE NOTIFICATION SHALL INCLUDE THE LEGAL LOT/BLOCK, ADDITION DESCRIPTION AND ADDRESS OF THE PROPOSED SITE. THE PUBLIC WORKS DIRECTOR SHALL BE NOTIFIED TWO (2) WEEKS IN ADVANCE OF ANY MATERIAL BEING DEPOSITED.
15. MATERIAL DISPOSAL FOR DEVELOPER PROJECTS- THE CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS DIRECTOR IN WRITING OF PROPOSED MATERIAL DISPOSAL SITES TO BE UTILIZED OUTSIDE OF THE PROJECT LIMITS AND INSIDE OF THE CITY OF KELLER. PROJECT LIMITS SHALL BE DEFINED AS PROPERTY OWNED BY THE DEVELOPER AND PART OF THE ADDITION BEING CONSTRUCTED. THE NOTIFICATION SHALL INCLUDE LEGAL LOT/BLOCK, ADDITION DESCRIPTION AND ADDRESS OF THE PROPOSED SITE. THE PUBLIC WORKS DIRECTOR SHALL BE NOTIFIED TWO (2) WEEKS IN ADVANCE OF ANY MATERIAL BEING DEPOSITED.



GENERAL NOTES

REVISION DATE:  
12/10/2010

SHEET: 1

NOTE:

1. ALL SETBACKS SHALL BE IN ACCORDANCE WITH THE ZONING DISTRICT, AS DESCRIBED IN THE KELLER UNIFIED DEVELOPMENT CODE.

NOTE:  
THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.

COPYRIGHT 2024  
THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

OPTIMA  
DESIGN & ENGINEERING PLLC

2808 WILDCREEK CT, KELLER TEXAS  
TEL. (817) 466-6503  
TEXAS FIRM REGISTRATION NO. F-23565  
EMAIL: P.ALIKHANI@OPTIMAENGINEERING.COM

| REVISION NO. | REVISION                         | REV. DATE  |
|--------------|----------------------------------|------------|
| 2            | UPDATE BASE ON THE CITY COMMENTS | 06.10.2025 |
|              |                                  |            |
|              |                                  |            |
|              |                                  |            |

DETAILED SITE PLAN

PROJECT:  
  
THE HERITAGE GROVE  
IN THE CITY OF KELLER  
  
8660 CLARA LANE, KELLER, TEXAS

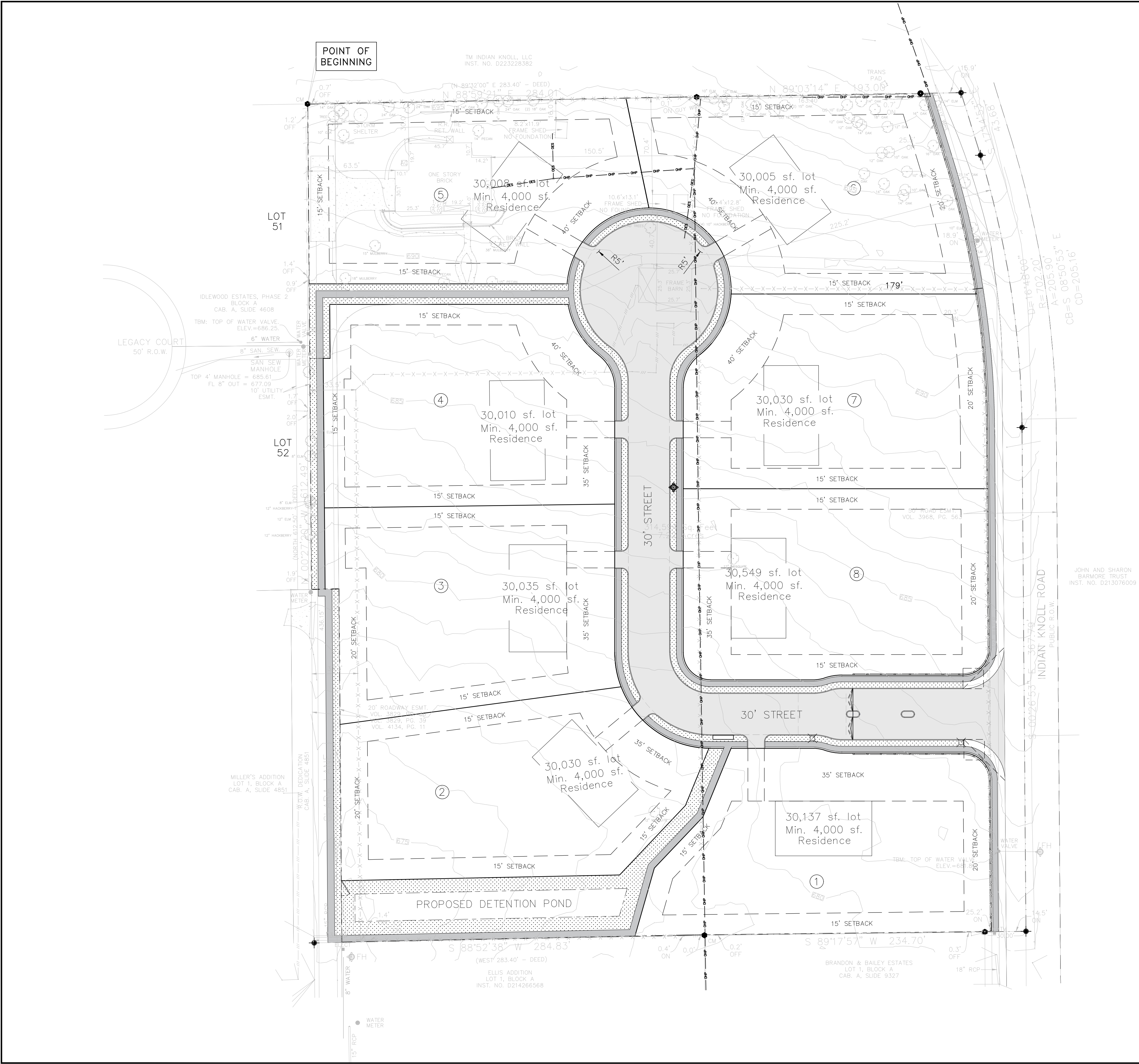
SHEET TITLE  
GENERAL NOTE

DRAWN BY: H. G.      ISSUE      ISSUE DATE: 05.05.2025

PROJECT DATE: MAY 2025      PROJECT NO.: 001      REV. NO.: 2

SCALE:      SHEET NO.: 03





NOTE:

- Site plan information
- Density per acre: 8 units / 7.22 acres = 1.1 unite per acre

|                                    |                            |
|------------------------------------|----------------------------|
| TOTAL NUMBER OF LOTS               | 8                          |
| NUMBER OF LOTS PER ZONING CATEGORY | 8                          |
| TOTAL ACREAGE PER PHASE            | 7.22 ACERS                 |
| NUMBER OF LOTS PER PHASE           | 8                          |
| MINIMUM LOT SIZE                   | 30,000 SQFT                |
| MINIMUM DWELLING UNIT SIZE         | 4,000 SQFT                 |
| DENSITY PER ACRE                   | 1.1 (8 LOT PER 7.22 ACERS) |

| LOT NUMBER | AREA      | LOT WIDTH | LOT DEPTH |
|------------|-----------|-----------|-----------|
| LOT 1      | 30,137 SF | 204'      | 133.5'    |
| LOT 2      | 30,030 SF | 120'      | 236'      |
| LOT 3      | 30,035 SF | 138'      | 201'      |
| LOT 4      | 30,010 SF | 159'      | 212'      |
| LOT 5      | 30,008 SF | 144'      | 203.5'    |
| LOT 6      | 30,005 SF | 168'      | 205'      |
| LOT 7      | 30,030 SF | 155'      | 201'      |
| LOT 8      | 30,549 SF | 140'      | 224'      |

LEGEND:

- ALL SYMBOLS MAY NOT APPLY
- STREET SIGN
  - ELECT. PIT
  - ELECT. POLE
  - SIDE ENTRY PIT
  - TREE
  - WATER VALVE
  - WATER METER
  - S/W PROPERTY INLET
  - SEWER PROPOSED MANHOLE
  - SEWER EXISTING MANHOLE
  - PROPOSED FIRE HYDRANT
  - EXISTING FIRE HYDRANT
  - STORM WATER PIT
  - ELECTRIC LINES (OVER HEAD PIPE)
  - PROPOSED IRON FENCE
  - PROPOSED BRICK WALL
  - EXISTING PIPE FENCE
  - EXISTING BARBED WIRE FENCE
  - EXISTING WATER LINE
  - EXISTING SEWER LINE
  - PROPERTY LINE
  - STORM WATER PIPE
  - EASEMENT
  - PROPOSED ASPHALT
  - PROPOSED SIDEWALK
  - PROPOSED LANDSCAPE

NOTE:  
THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.

COPYRIGHT 2024  
THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

BENCHMARK INFO:  
NAME: MONUMENT #8  
ELEVATION: 658.85  
LOCATION: SARAH BROOKS DRIVE  
DESCRIPTION: THE BENNETT TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED 3' EAST OF THE EAST BACK OF CURB OF SARAH BROOKS DRIVE INSIDE OF THE EASEMENT AND APPROXIMATELY AT 1800 SARAH BROOKS DRIVE.

BENCHMARK INFO:  
NAME: MONUMENT #8  
ELEVATION: 654.72  
LOCATION: BEAR CREEK PARKWAY  
DESCRIPTION: THE BENNETT TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED IN THE MEDIAN OF BEAR CREEK PARKWAY APPROXIMATELY 16' EAST OF THE EAST SIDE OF THE BRIDGE OVER BIG BEAR CREEK.



OPTIMA  
DESIGN & ENGINEERING PLLC

2808 WILDCREEK CT, KELLER TEXAS  
TEL. (817) 466-6503  
TEXAS FIRM REGISTRATION NO. F-23565  
EMAIL: P.ALIKHANI@OPTIMAENGINEERING.COM

| REVISION NO. | REVISION                         | REV. DATE  |
|--------------|----------------------------------|------------|
| 2            | UPDATE BASE ON THE CITY COMMENTS | 06.10.2025 |
|              |                                  |            |
|              |                                  |            |
|              |                                  |            |

DETAILED SITE PLAN

PROJECT:  
**THE HERITAGE GROVE  
IN THE CITY OF KELLER**  
8660 CLARA LANE, KELLER, TEXAS

SHEET TITLE  
**SITE PLAN**

DRAWN BY: H. G.      ISSUE:      ISSUE DATE: 05.05.2025

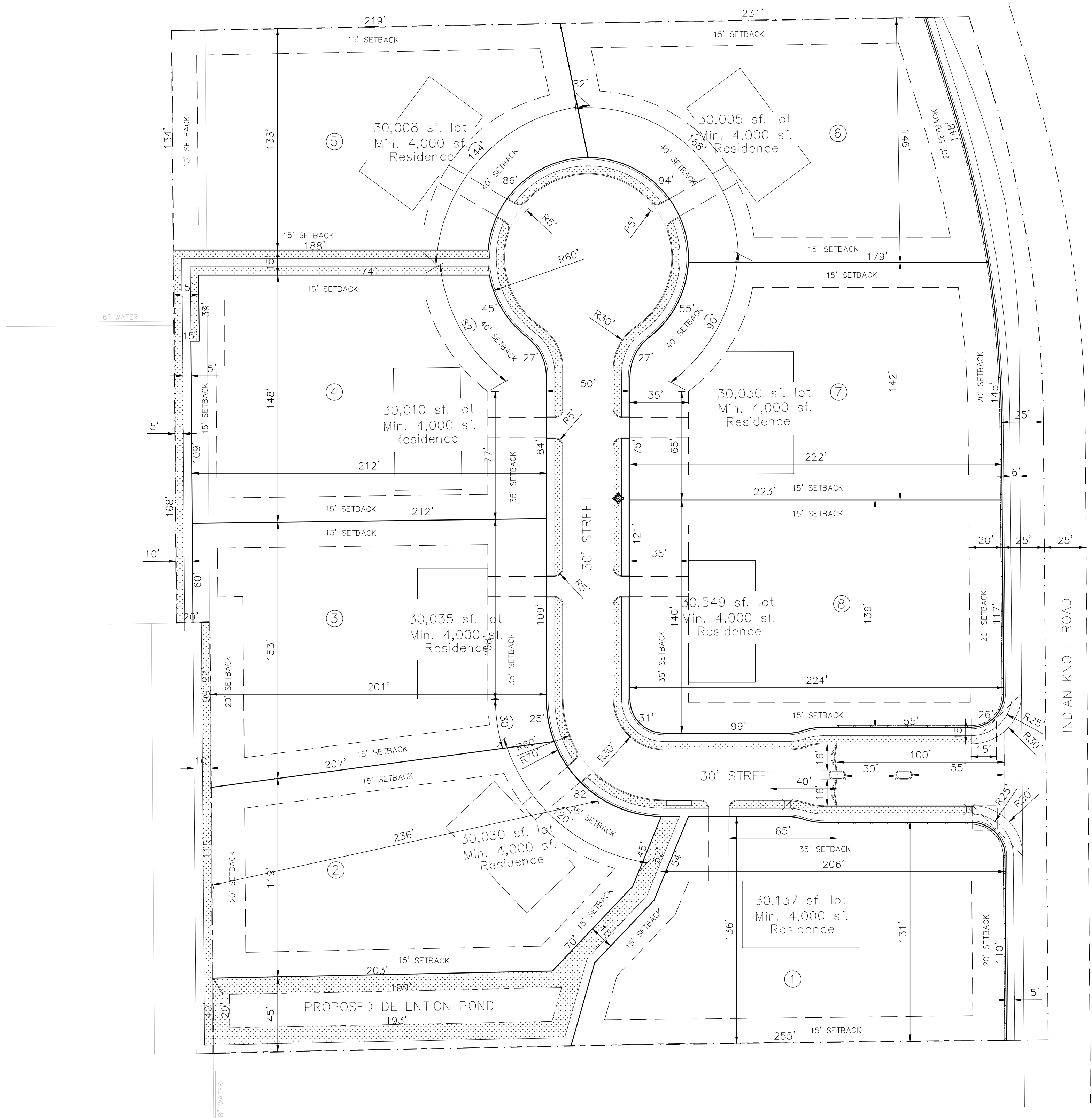
PROJECT DATE: MAY 2025      PROJECT NO.: 001      REV. NO.: 2

SCALE: 1" = 40'      SHEET NO.: 04



SCALE: 1" = 40' SHEET NO. 05





NOTE:

- Site plan information
- Density per acre: 8 unites / 7.22 acres = 1.1 unite per acre

|                                    |                            |
|------------------------------------|----------------------------|
| TOTAL NUMBER OF LOTS               | 8                          |
| NUMBER OF LOTS PER ZONING CATEGORY | 8                          |
| TOTAL ACREAGE PER PHASE            | 7.22 ACERS                 |
| NUMBER OF LOTS PER PHASE           | 8                          |
| MINIMUM LOT SIZE                   | 30,000 SQFT                |
| MINIMUM DWELLING UNIT SIZE         | 4,000 SQFT                 |
| DENSITY PER ACRE                   | 1.1 (8 LOT PER 7.22 ACERS) |

| LOT NUMBER | AREA       | LOT WIDTH | LOT DEPTH |
|------------|------------|-----------|-----------|
| LOT 1      | 30,137' SF | 204'      | 133.5'    |
| LOT 2      | 30,030' SF | 120'      | 236'      |
| LOT 3      | 30,035' SF | 138'      | 201'      |
| LOT 4      | 30,010' SF | 159'      | 212'      |
| LOT 5      | 30,008' SF | 144'      | 203.5'    |
| LOT 6      | 30,005' SF | 168'      | 205'      |
| LOT 7      | 30,030' SF | 155'      | 201'      |
| LOT 8      | 30,549' SF | 140'      | 224'      |

LEGEND:

- ALL SYMBOLS MAY NOT APPLY
- STREET SIGN
  - ELECT. PIT
  - ELECT. POLE
  - SIDE ENTRY PIT
  - TREE
  - WATER VALVE
  - WATER METER
  - S/W PROPERTY INLET
  - SEWER PROPOSED MANHOLE
  - SEWER EXISTING MANHOLE
  - PROPOSED FIRE HYDRANT
  - EXISTING FIRE HYDRANT
  - STORM WATER PIT
  - ELECTRIC LINES (OVER HEAD PIPE)
  - PROPOSED IRON FENCE
  - PROPOSED BRICK WALL
  - EXISTING PIPE FENCE
  - EXISTING BARBED WIRE FENCE
  - EXISTING WATER LINE
  - EXISTING SEWER LINE
  - PROPERTY LINE
  - STORM WATER PIPE
  - EASEMENT
  - PROPOSED ASPHALT
  - PROPOSED SIDEWALK
  - PROPOSED LANDSCAPE

NOTE:

THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.

COPYRIGHT 2024

THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

BENCHMARK INFO:

NAME: MONUMENT #8  
ELEVATION: 658.85  
LOCATION: SARAH BROOKS DRIVE  
DESCRIPTION: THE SEVENTH TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED 3' EAST OF THE EAST BACK OF CURB OF SARAH BROOKS DRIVE INSIDE OF THE EASEMENT AND APPROXIMATELY AT 1800 SARAH BROOKS DRIVE.

BENCHMARK INFO:

NAME: MONUMENT #8  
ELEVATION: 654.72  
LOCATION: BEAR CREEK PARKWAY  
DESCRIPTION: THE SEVENTH TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED IN THE MEDIAN OF BEAR CREEK PARKWAY APPROXIMATELY 16' EAST OF THE EAST SIDE OF THE BRIDGE OVER BIG BEAR CREEK.

0 20 40 80

NORTH

OPTIMA  
DESIGN & ENGINEERING PLLC

2808 WILDCREEK CT, KELLER TEXAS  
TEL. (817) 466-6503  
TEXAS FIRM REGISTRATION NO. F-23565  
EMAIL: P.ALIKHANI@OPTIMAENGINEERING.COM

| REVISION NO. | REVISION                         | REV. DATE  |
|--------------|----------------------------------|------------|
| 2            | UPDATE BASE ON THE CITY COMMENTS | 06.10.2025 |
|              |                                  |            |
|              |                                  |            |
|              |                                  |            |
|              |                                  |            |

DETAILED SITE PLAN

PROJECT:

THE HERITAGE GROVE  
IN THE CITY OF KELLER

8660 CLARA LANE, KELLER, TEXAS

SHEET TITLE

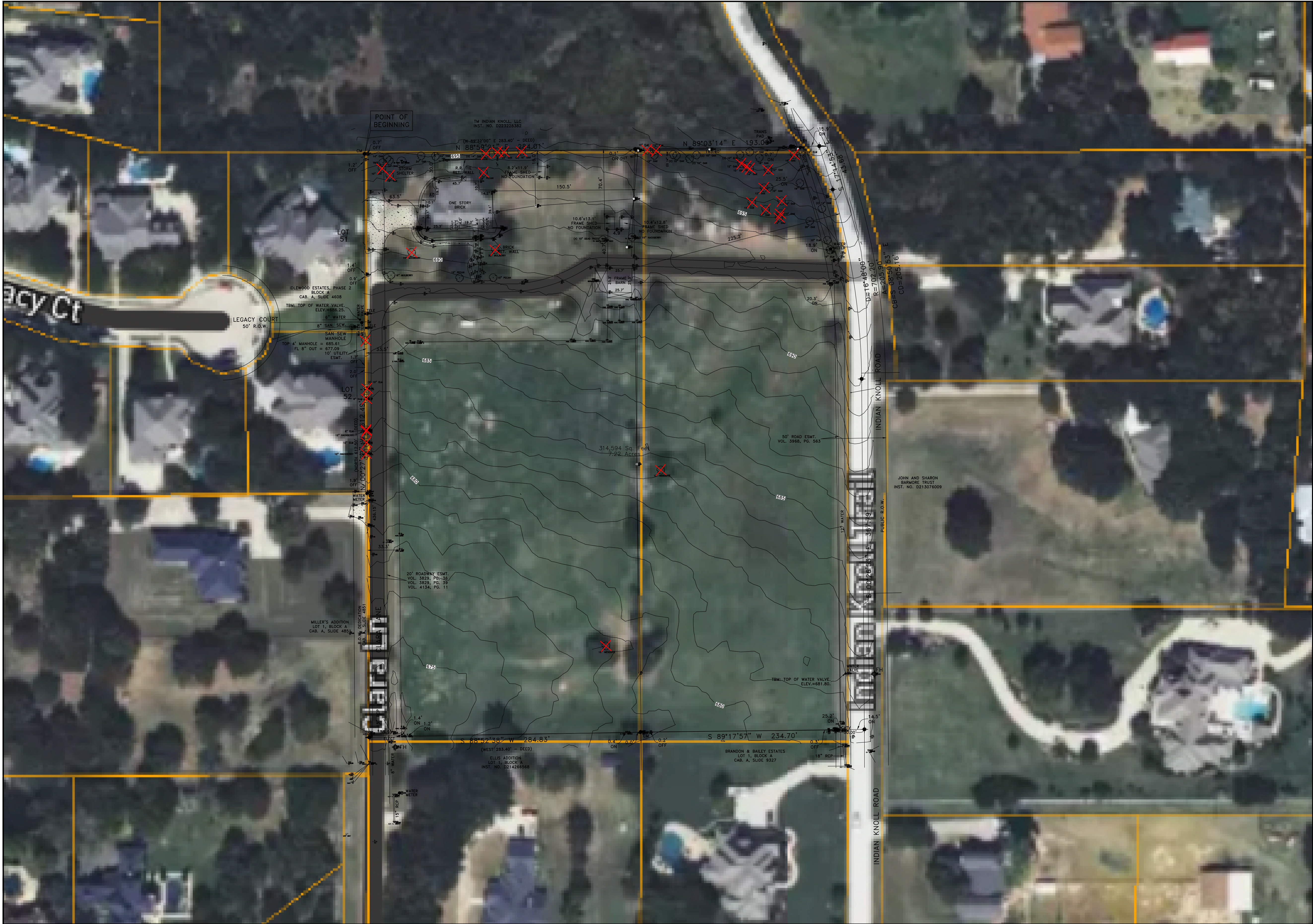
DIMENSION SITE PLAN  
(LOT WIDTH AND DEPTH)

|                   |       |                          |
|-------------------|-------|--------------------------|
| DRAWN BY<br>H. G. | ISSUE | ISSUE DATE<br>05.05.2025 |
|-------------------|-------|--------------------------|

|                          |                    |               |
|--------------------------|--------------------|---------------|
| PROJECT DATE<br>MAY 2025 | PROJECT NO.<br>001 | REV. NO.<br>2 |
|--------------------------|--------------------|---------------|

|                    |                   |
|--------------------|-------------------|
| SCALE:<br>1" = 40' | SHEET NO.<br>05.1 |
|--------------------|-------------------|





NOTE:  
THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.

COPYRIGHT 2024  
THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

- LEGEND:**
- ALL SYMBOLS MAY NOT APPLY
- TREE
  - TREE THAT NEEDS TO BE REMOVED
  - WATER VALVE
  - WATER METER
  - S/W PROPERTY INLET
  - SEWER PROPOSED MANHOLE
  - SEWER EXISTING MANHOLE
  - PROPOSED FIRE HYDRANT
  - EXISTING FIRE HYDRANT
  - STORM WATER PIT
  - ELECTRIC LINES (OVER HEAD PIPE)
  - PROPOSED IRON FENCE
  - PROPOSED BRICK WALL
  - EXISTING PIPE FENCE
  - EXISTING BARBED WIRE FENCE
  - EXISTING WATER LINE
  - EXISTING SEWER LINE
  - PROPERTY LINE
  - STORM WATER PIPE
  - EASEMENT



**OPTIMA**  
**DESIGN & ENGINEERING PLLC**  
2808 WILDCREEK CT, KELLER TEXAS  
TEL. (817) 466-6503  
TEXAS FIRM REGISTRATION NO. F-23565  
EMAIL: P.ALIKHANI@OPTIMAENGINEERING.COM

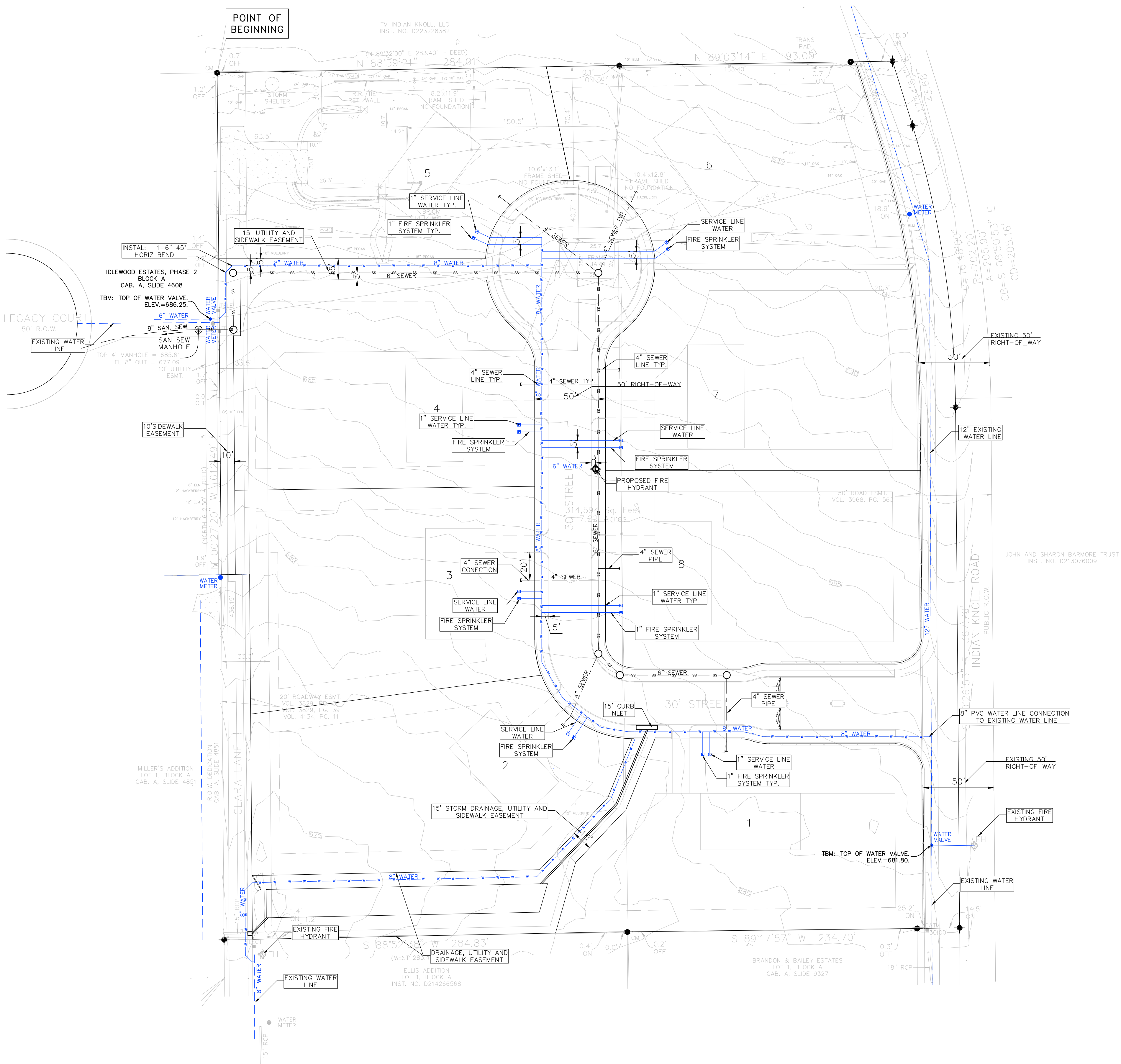
| REVISION NO. | REVISION                         | REV. DATE  |
|--------------|----------------------------------|------------|
| 2            | UPDATE BASE ON THE CITY COMMENTS | 06.10.2025 |
|              |                                  |            |
|              |                                  |            |
|              |                                  |            |

DETAILED SITE PLAN

PROJECT:  
**THE HERITAGE GROVE  
IN THE CITY OF KELLER**  
8660 CLARA LANE, KELLER, TEXAS

|  |                    |                          |
|--|--------------------|--------------------------|
| SHEET TITLE<br><b>AERIAL PHOTO AND TREE PRESERVATION</b> |                    |                          |
| DRAWN BY<br>H. G.  | ISSUE              | ISSUE DATE<br>05.05.2025 |
| PROJECT DATE<br>MAY 2025                                 | PROJECT NO.<br>001 | REV. NO.<br>2            |
| SCALE:<br>1" = 50'                                       | SHEET NO.<br>06    |                          |





NOTE:

- Service line should be extended 10' from the proposed lot line (right - of - way).
- Typical 5' distance between service line is required.
- Install one 1" domestic water service according to city detail W-20 and another 1" residential fire sprinkler service according to city detail W-15 on each lot.

NOTE:  
THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.

COPYRIGHT 2024  
THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

BENCHMARK INFO:  
NAME: MONUMENT #8  
ELEVATION: 658.85  
LOCATION: SARAH BROOKS DRIVE  
DESCRIPTION: THE BENCHMARK TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED 3' EAST OF THE EAST BACK OF CURB OF SARAH BROOKS DRIVE INSIDE OF THE EASEMENT AND APPROXIMATELY AT 1800 SARAH BROOKS DRIVE.

BENCHMARK INFO:  
NAME: MONUMENT #6  
ELEVATION: 654.72  
LOCATION: BEAR CREEK PARKWAY  
DESCRIPTION: THE BENCHMARK TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED IN THE MEDIAN OF BEAR CREEK PARKWAY APPROXIMATELY 16' EAST OF THE EAST SIDE OF THE BRIDGE OVER BIG BEAR CREEK.



OPTIMA  
DESIGN & ENGINEERING PLLC

2808 WILDCREEK CT, KELLER TEXAS  
TEL. (817) 466-6503  
TEXAS FIRM REGISTRATION NO. F-23565  
EMAIL: P.ALIKHANI@OPTIMAENGINEERING.COM

| REVISION NO. | REVISION                         | REV. DATE  |
|--------------|----------------------------------|------------|
| 2            | UPDATE BASE ON THE CITY COMMENTS | 06.10.2025 |
|              |                                  |            |
|              |                                  |            |
|              |                                  |            |

DETAILED SITE PLAN

PROJECT:  
**THE HERITAGE GROVE  
IN THE CITY OF KELLER**  
8660 CLARA LANE, KELLER, TEXAS

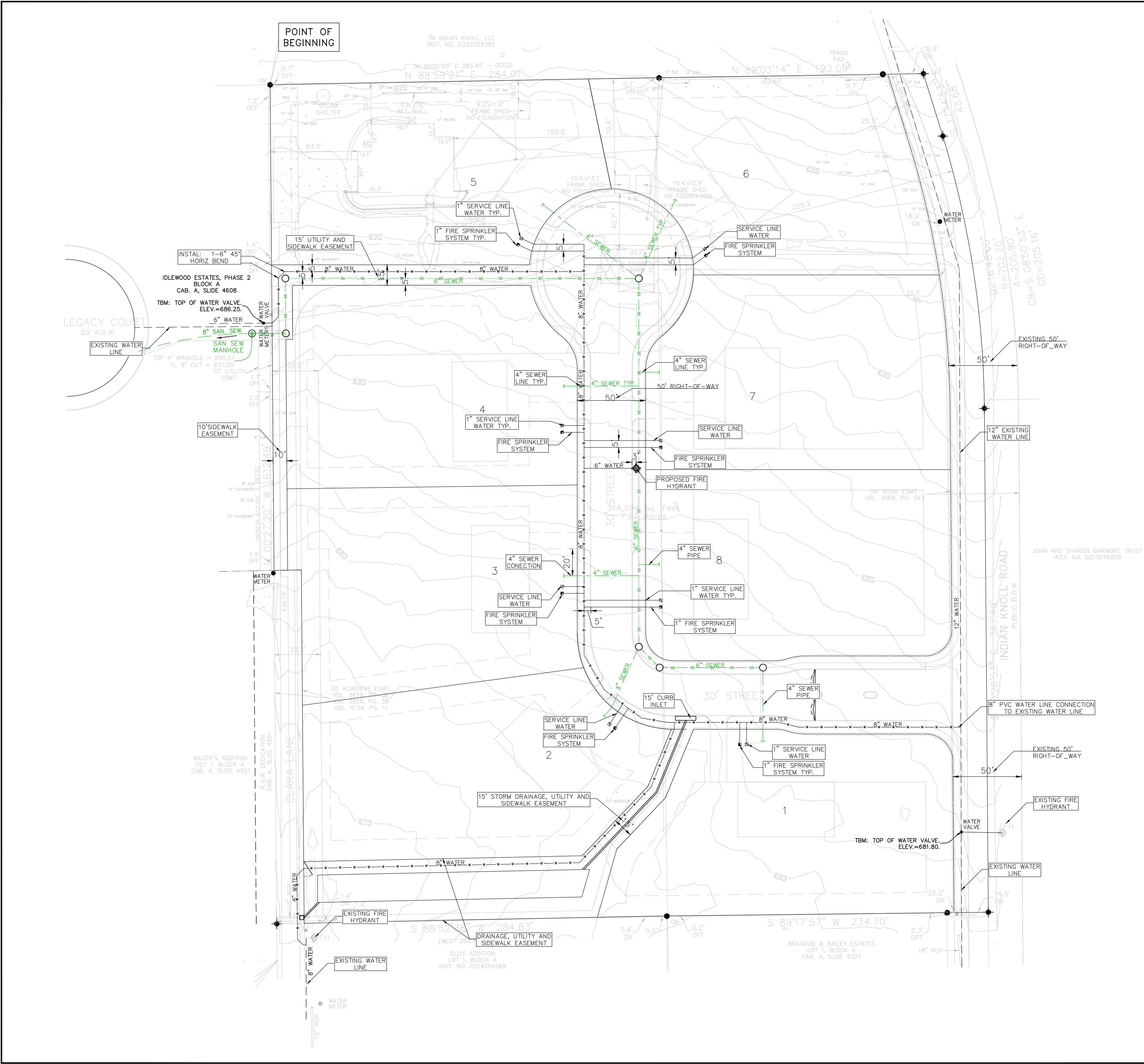
SHEET TITLE  
**WATER PLAN**

DRAWN BY: H. G. ISSUE: 05.05.2025

PROJECT DATE: MAY 2025 PROJECT NO.: 001 REV. NO.: 2

SCALE: 1" = 40' SHEET NO.: 07





NOTE:

- Service line should be extended 10' from the proposed lot line (right - of - way).
- Typical 5' distance between service line is required.
- Install one 1" domestic water service according to city detail W-20 and another 1" residential fire sprinkler service according to city detail W-15 on each lot.

NOTE:  
THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.

COPYRIGHT 2024  
THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

BENCHMARK INFO:  
NAME: MONUMENT #8  
ELEVATION: 658.85  
LOCATION: SARAH BROOKS DRIVE  
DESCRIPTION: THE BENNETT TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED 3' EAST OF THE EAST BACK OF CURB OF SARAH BROOKS DRIVE INSIDE OF THE EASEMENT AND APPROXIMATELY AT 1800 SARAH BROOKS DRIVE.

BENCHMARK INFO:  
NAME: MONUMENT #8  
ELEVATION: 654.72  
LOCATION: BEAR CREEK PARKWAY  
DESCRIPTION: THE BENNETT TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED IN THE MEDIAN OF BEAR CREEK PARKWAY APPROXIMATELY 16' EAST OF THE EAST SIDE OF THE BRIDGE OVER BIG BEAR CREEK.



OPTIMA  
DESIGN & ENGINEERING PLLC

2808 WILDCREEK CT, KELLER TEXAS  
TEL. (817) 466-6503  
TEXAS FIRM REGISTRATION NO. F-23565  
EMAIL: P.ALIKHANI@OPTIMAENGINEERING.COM

| REVISION NO. | REVISION                         | REV. DATE  |
|--------------|----------------------------------|------------|
| 2            | UPDATE BASE ON THE CITY COMMENTS | 06.10.2025 |
|              |                                  |            |
|              |                                  |            |
|              |                                  |            |

DETAILED SITE PLAN

PROJECT:  
**THE HERITAGE GROVE  
IN THE CITY OF KELLER**  
8660 CLARA LANE, KELLER, TEXAS

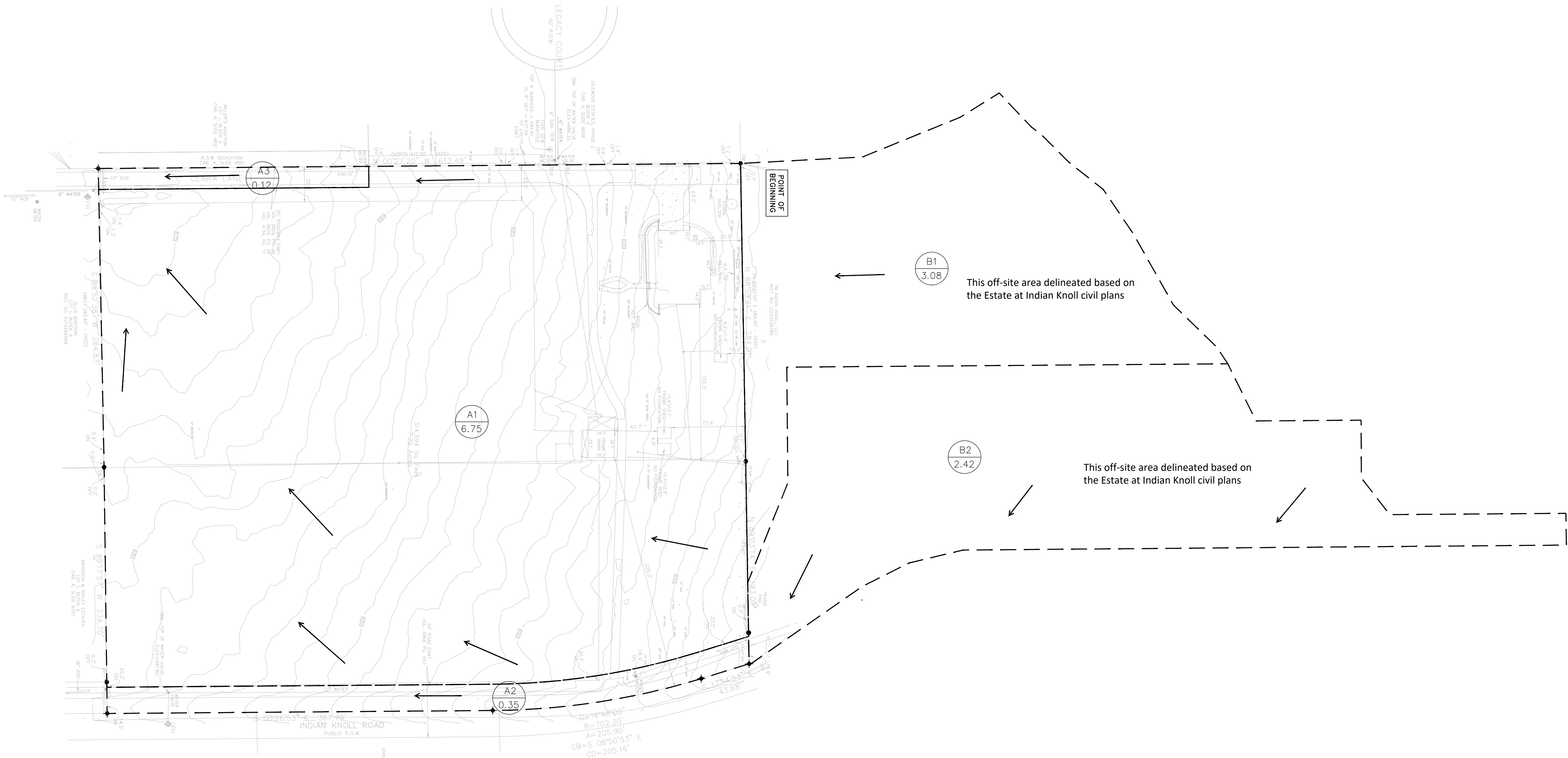
SHEET TITLE  
**SEWER PLAN**

DRAWN BY: HASTI  
ISSUE: 05.05.2025  
ISSUE DATE: 05.05.2025

PROJECT DATE: MAY 2025  
PROJECT NO.: 001  
REV. NO.: 2




SCALE: 1" = 40'  
SHEET NO.: 08





| EXISTING DRAINAGE AREA SUMMARY |           |              |      |                      |            |          |              |            |
|--------------------------------|-----------|--------------|------|----------------------|------------|----------|--------------|------------|
| DRAINAGE AREA                  | AREA [ac] | RUNOFF COEFF | CA   | T <sub>c</sub> [min] | I5 [in/hr] | Q5 [cfs] | I100 [in/hr] | Q100 [cfs] |
| A1                             | 6.75      | 0.30         | 2.03 | 15.0                 | 4.86       | 9.8      | 7.98         | 16.2       |
| A2                             | 0.35      | 0.30         | 0.11 | 15.0                 | 4.86       | 0.5      | 7.98         | 0.8        |
| A3                             | 3.08      | 0.30         | 0.92 | 15.0                 | 4.86       | 4.5      | 7.98         | 7.4        |
| B1                             | 3.08      | 0.30         | 0.92 | 15.0                 | 4.86       | 4.5      | 7.98         | 7.4        |
| B2                             | 2.42      | 0.30         | 0.73 | 10.0                 | 5.74       | 4.2      | 9.24         | 6.7        |

LEGEND:

-  DRAINAGE AREA NAME  
AREA (ACRE)
-  FLOW DIRECTION
-  DRAINAGE DIVIDE

NOTE:

THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.

COPYRIGHT 2024

THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

BENCHMARK INFO:

NAME: MONUMENT #8  
ELEVATION: 658.85  
LOCATION: SARAH BROOKS DRIVE  
DESCRIPTION: THE BENNETT TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED 3' EAST OF THE EAST BACK OF CURB OF SARAH BROOKS DRIVE INSIDE OF THE EASEMENT AND APPROXIMATELY AT 1800 SARAH BROOKS DRIVE.

BENCHMARK INFO:

NAME: MONUMENT #8  
ELEVATION: 654.72  
LOCATION: BEAR CREEK PARKWAY  
DESCRIPTION: THE BENNETT TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED IN THE MEDIAN OF BEAR CREEK PARKWAY APPROXIMATELY 16' EAST OF THE EAST SIDE OF THE BRIDGE OVER BIG BEAR CREEK.

0 30 60 120

NORTH

**OPTIMA**  
DESIGN & ENGINEERING PLLC

2808 WILDCREEK CT, KELLER TEXAS  
TEL. (817) 466-6503  
TEXAS FIRM REGISTRATION NO. F-23565  
EMAIL: P.ALIKHANI@OPTIMAENGINEERING.COM

| REVISION NO. | REVISION                         | REV. DATE  |
|--------------|----------------------------------|------------|
| 2            | UPDATE BASE ON THE CITY COMMENTS | 06.10.2025 |
|              |                                  |            |
|              |                                  |            |
|              |                                  |            |
|              |                                  |            |

DETAILED SITE PLAN









PROJECT:

**THE HERITAGE GROVE  
IN THE CITY OF KELLER**

8660 CLARA LANE, KELLER, TEXAS

SHEET TITLE

**EXISTING DRAINAGE AREA MAP**

|  |  |  |
|--|--|--|
|  DRAWN BY<br>H. G.        |  ISSUE              |  ISSUE DATE<br>05.05.2025 |
|  PROJECT DATE<br>MAY 2025 |  PROJECT NO.<br>001 |  REV. NO.<br>2            |
|  SCALE:<br>1" = 60'       |  SHEET NO.<br>09    |  |



100-YEAR STORM EVENT DETENTION CALCULATIONS - Modified Rational Method

|                            |
|----------------------------|
| Required Detention Volume  |
| 19,227 cubic feet required |
| 0.441 acre feet required   |

|                             |
|-----------------------------|
| On-Site Areas Drain to Pond |
| Area*= 6.75 acres           |
| Time (Tc)= 15 minutes       |
| C value**= 0.50             |
| I-100yr= 7.98 in/hr         |
| Q100= 26.92 cfs             |
| * Includes A1               |

|                               |
|-------------------------------|
| On-Site Areas Bypass the Pond |
| Area*= 0.00 acres             |
| Time (Tc)= 10 minutes         |
| C value**= 0.50               |
| I-100yr= 9.24 in/hr           |
| Q100= 0.00 cfs                |

|                        |
|------------------------|
| Existing On-Site Areas |
| Area*= 6.75 acres      |
| Time (Tc)= 15 minutes  |
| C value**= 0.30        |
| I-100yr= 7.98 in/hr    |
| Q100= 16.15 cfs        |
| * Includes A1          |

|  |
|--|
| Allowable Release Rate                         |
| Existing Runoff= 23.52 cfs                     |
| Ultimate Runoff Routed Through Pond= 34.29 cfs |
| Ultimate Bypass Runoff= 0.00 cfs               |
| Allowable Release Rate= 23.52 cfs              |

|                                    |
|------------------------------------|
| Off-Site Areas Drain to Pond       |
| Area*= 3.08 acres                  |
| Time (Tc)= 15 minutes              |
| C value**= 0.30                    |
| I-100yr= 7.98 in/hr                |
| Q100= 7.37 cfs                     |
| * Includes B1 (Existing condition) |

|                                |
|--------------------------------|
| Off-Site Areas Bypass the Pond |
| Area*= 0.00 acres              |
| Time (Tc)= 10 minutes          |
| C value**= 0.70                |
| I-100yr= 9.24 in/hr            |
| Q100= 0.00 cfs                 |

|                         |
|-------------------------|
| Existing Off-Site Areas |
| Area*= 3.08 acres       |
| Time (Tc)= 15 minutes   |
| C value**= 0.30         |
| I-100yr= 7.98 in/hr     |
| Q100= 7.37 cfs          |
| * Includes B1           |

|                      |                 |         |             |              |
|----------------------|-----------------|---------|-------------|--------------|
| On-Site Areas Runoff |                 |         |             |              |
| Time (min.)          | I-100yr (in/hr) | C value | Area (acre) | Runoff (cfs) |
| 10                   | 9.24            | 0.50    | 6.75        | 31.20        |
| 15                   | 7.98            | 0.50    | 6.75        | 26.92        |
| 20                   | 7.05            | 0.50    | 6.75        | 23.78        |
| 30                   | 5.76            | 0.50    | 6.75        | 19.45        |
| 40                   | 4.91            | 0.50    | 6.75        | 16.58        |
| 50                   | 4.30            | 0.50    | 6.75        | 14.52        |
| 60                   | 3.84            | 0.50    | 6.75        | 12.97        |

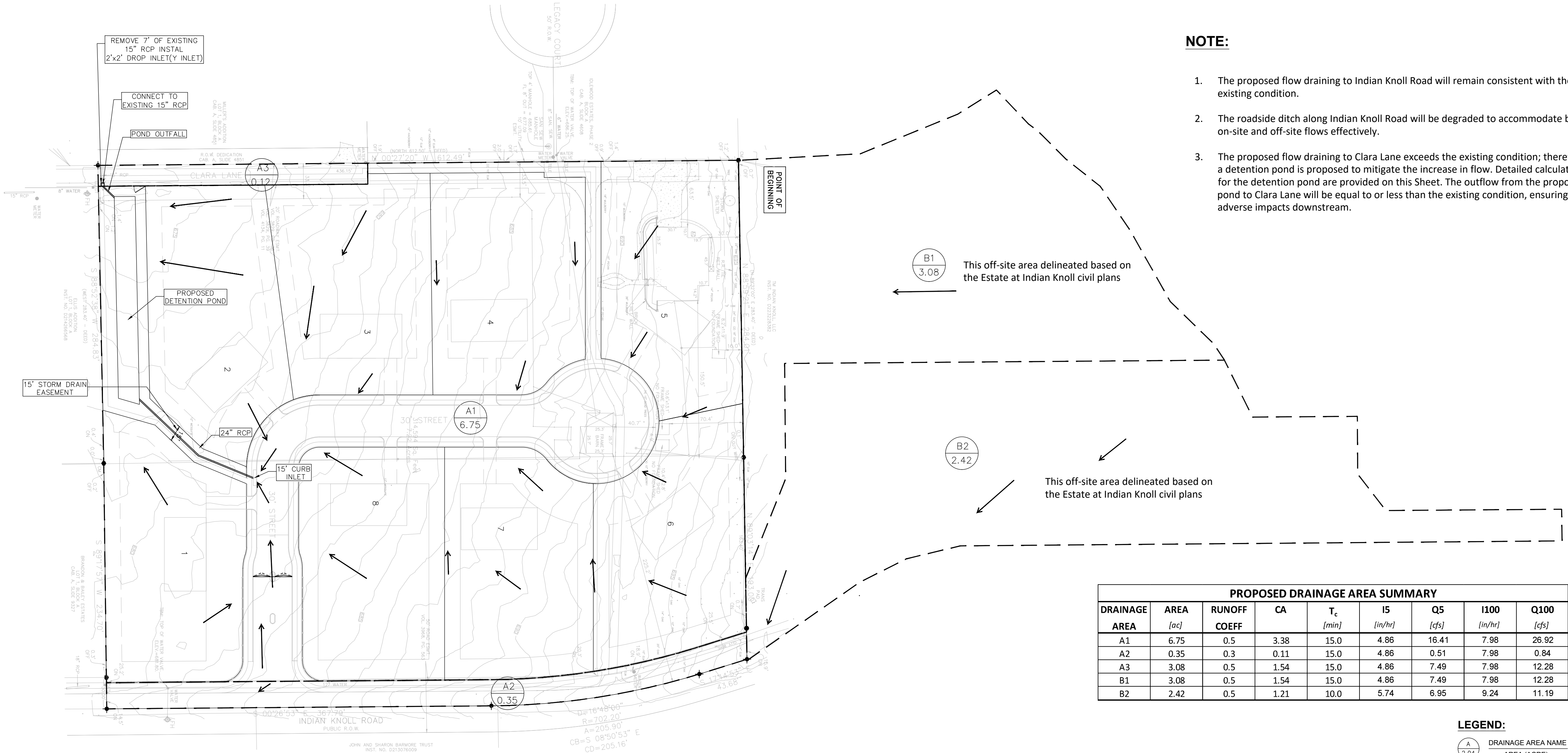
|                       |                 |         |             |              |
|-----------------------|-----------------|---------|-------------|--------------|
| Off-Site Areas Runoff |                 |         |             |              |
| Time (min.)           | I-100yr (in/hr) | C value | Area (acre) | Runoff (cfs) |
| 10                    | 9.24            | 0.50    | 3.08        | 14.24        |
| 15                    | 7.98            | 0.50    | 3.08        | 12.28        |
| 20                    | 7.05            | 0.50    | 3.08        | 10.85        |
| 30                    | 5.76            | 0.50    | 3.08        | 8.87         |
| 40                    | 4.91            | 0.50    | 3.08        | 7.56         |
| 50                    | 4.30            | 0.50    | 3.08        | 6.63         |
| 60                    | 3.84            | 0.50    | 3.08        | 5.92         |

|              |  |
|--------------|--|
| Total Runoff |  |
| Runoff (cfs) |  |
| 45.44        |  |
| 39.20        |  |
| 34.63        |  |
| 28.32        |  |
| 24.14        |  |
| 21.15        |  |
| 18.88        |  |

|                           |              |                     |
|---------------------------|--------------|---------------------|
| Inflow Volume to the Pond |              |                     |
| Time (min.)               | Runoff (cfs) | Inflow volume (ft³) |
| 10                        | 45.44        | 27,261              |
| 15                        | 39.20        | 35,282              |
| 20                        | 34.63        | 41,554              |
| 30                        | 28.32        | 50,979              |
| 40                        | 24.14        | 57,939              |
| 50                        | 21.15        | 63,436              |
| 60                        | 18.88        | 67,975              |

|                            |                    |                   |                      |
|----------------------------|--------------------|-------------------|----------------------|
| Outflow Volume to the Pond |                    |                   |                      |
| Time (min.)                | OutflowTime (min.) | Allowable Release | Outflow Volume (ft³) |
| 10                         | 25                 | 23.52             | 17,640               |
| 15                         | 30                 | 23.52             | 21,168               |
| 20                         | 35                 | 23.52             | 24,696               |
| 30                         | 45                 | 23.52             | 31,752               |
| 40                         | 55                 | 23.52             | 38,808               |
| 50                         | 65                 | 23.52             | 45,864               |
| 60                         | 75                 | 23.52             | 52,920               |

|                          |                     |                      |               |                   |
|--------------------------|---------------------|----------------------|---------------|-------------------|
| Requird Detention Volume |                     |                      |               |                   |
| Time (min.)              | Inflow volume (ft³) | Outflow Volume (ft³) | Storage (ft³) | Storage (acre-ft) |
| 10                       | 27,261              | 17,640               | 9,621         | 0.221             |
| 15                       | 35,282              | 21,168               | 14,114        | 0.324             |
| 20                       | 41,554              | 24,696               | 16,858        | 0.387             |
| 30                       | 50,979              | 31,752               | 19,227        | 0.441             |
| 40                       | 57,939              | 38,808               | 19,131        | 0.439             |
| 50                       | 63,436              | 45,864               | 17,573        | 0.403             |
| 60                       | 67,975              | 52,920               | 15,055        | 0.346             |



NOTE:

- The proposed flow draining to Indian Knoll Road will remain consistent with the existing condition.
- The roadside ditch along Indian Knoll Road will be degraded to accommodate both on-site and off-site flows effectively.
- The proposed flow draining to Clara Lane exceeds the existing condition; therefore, a detention pond is proposed to mitigate the increase in flow. Detailed calculations for the detention pond are provided on this Sheet. The outflow from the proposed pond to Clara Lane will be equal to or less than the existing condition, ensuring no adverse impacts downstream.

| PROPOSED DRAINAGE AREA SUMMARY |           |              |      |                      |            |          |              |            |
|--------------------------------|-----------|--------------|------|----------------------|------------|----------|--------------|------------|
| DRAINAGE AREA                  | AREA [ac] | RUNOFF COEFF | CA   | T <sub>c</sub> [min] | I5 [in/hr] | Q5 [cfs] | I100 [in/hr] | Q100 [cfs] |
| A1                             | 6.75      | 0.5          | 3.38 | 15.0                 | 4.86       | 16.41    | 7.98         | 26.92      |
| A2                             | 0.35      | 0.3          | 0.11 | 15.0                 | 4.86       | 0.51     | 7.98         | 0.84       |
| A3                             | 3.08      | 0.5          | 1.54 | 15.0                 | 4.86       | 7.49     | 7.98         | 12.28      |
| B1                             | 3.08      | 0.5          | 1.54 | 15.0                 | 4.86       | 7.49     | 7.98         | 12.28      |
| B2                             | 2.42      | 0.5          | 1.21 | 10.0                 | 5.74       | 6.95     | 9.24         | 11.19      |

LEGEND:

- DRAINAGE AREA NAME AREA (ACRE)
- FLOW DIRECTION
- DRAINAGE DIVIDE

NOTE:

THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.

COPYRIGHT 2024

THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

BENCHMARK INFO:

NAME: MONUMENT #8  
ELEVATION: 658.85  
LOCATION: SARAH BROOKS DRIVE  
DESCRIPTION: THE BENCHMARK TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED 3' EAST OF THE EAST BACK OF CURB OF SARAH BROOKS DRIVE INSIDE OF THE EASEMENT AND APPROXIMATELY AT 1800 SARAH BROOKS DRIVE.

BENCHMARK INFO:

NAME: MONUMENT #8  
ELEVATION: 654.72  
LOCATION: BEAR CREEK PARKWAY  
DESCRIPTION: THE BENCHMARK TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED IN THE MEDIAN OF BEAR CREEK PARKWAY APPROXIMATELY 16' EAST OF THE EAST SIDE OF THE BRIDGE OVER BIG BEAR CREEK.

0 30 60 120

NORTH

**OPTIMA**  
DESIGN & ENGINEERING PLLC

2808 WILDCREEK CT, KELLER TEXAS  
TEL. (817) 466-6503  
TEXAS FIRM REGISTRATION NO. F-23565  
EMAIL: P.ALIKHANI@OPTIMAENGINEERING.COM

| REVISION NO. | REVISION                         | REV. DATE  |
|--------------|----------------------------------|------------|
| 2            | UPDATE BASE ON THE CITY COMMENTS | 06.10.2025 |
|              |                                  |            |
|              |                                  |            |
|              |                                  |            |

DETAILED SITE PLAN

PROJECT:

**THE HERITAGE GROVE  
IN THE CITY OF KELLER**

8660 CLARA LANE, KELLER, TEXAS

**PROPOSED DRAINAGE AREA MAP  
AND STORM SYSTEM**

|                                |                                |                                |
|--------------------------------|--------------------------------|--------------------------------|
| DRAINAGE AREA NAME AREA (ACRE) | DRAINAGE AREA NAME AREA (ACRE) | DRAINAGE AREA NAME AREA (ACRE) |
| DRAINAGE AREA NAME AREA (ACRE) | DRAINAGE AREA NAME AREA (ACRE) | DRAINAGE AREA NAME AREA (ACRE) |

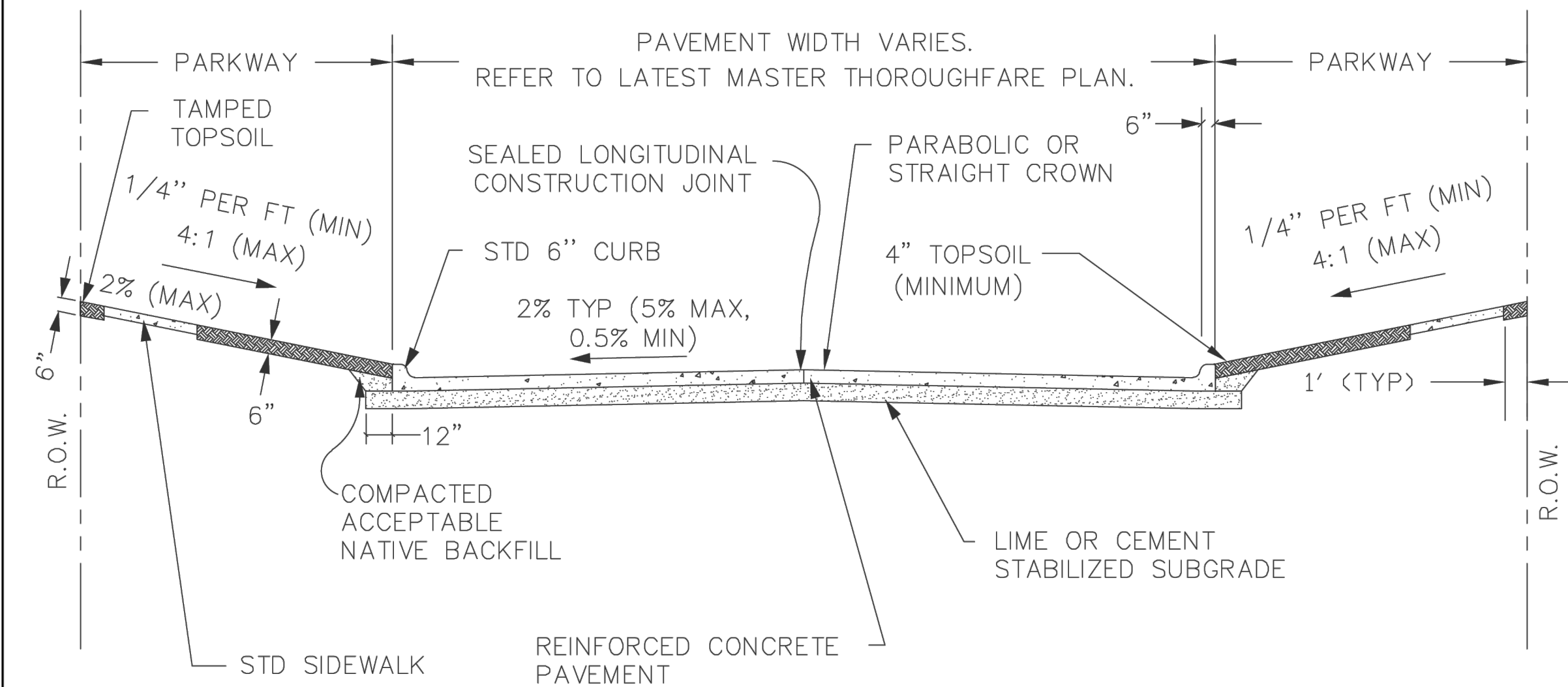
|                                |                                |                                |
|--------------------------------|--------------------------------|--------------------------------|
| DRAINAGE AREA NAME AREA (ACRE) | DRAINAGE AREA NAME AREA (ACRE) | DRAINAGE AREA NAME AREA (ACRE) |
| DRAINAGE AREA NAME AREA (ACRE) | DRAINAGE AREA NAME AREA (ACRE) | DRAINAGE AREA NAME AREA (ACRE) |

|                                |                                |                                |
|--------------------------------|--------------------------------|--------------------------------|
| DRAINAGE AREA NAME AREA (ACRE) | DRAINAGE AREA NAME AREA (ACRE) | DRAINAGE AREA NAME AREA (ACRE) |
| DRAINAGE AREA NAME AREA (ACRE) | DRAINAGE AREA NAME AREA (ACRE) | DRAINAGE AREA NAME AREA (ACRE) |

1" = 60'

10





- NOTE:
1. LOCAL - #3 BARS ON 18" O.C.E.W.
  2. COLLECTOR/ARTERIAL - #4 BARS ON 18" O.C.E.W.
  3. STREET RUNOFF CAPACITY TO BE CALCULATED BASED ON PARABOLIC CROWN ONLY.
  4. MACHINE FINISHED CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4 INCHES AND A MIN. 3600 PSI COMPRESSIVE STRENGTH AT 28 DAYS, WITH UP TO 20% TYPE C FLY ASH REPLACEMENT ALLOWED.
  5. HAND FINISHED CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 5 INCHES AND A MIN. 3600 PSI COMPRESSIVE STRENGTH AT 28 DAYS. NO FLY ASH ALLOWED IN HAND FINISHED CONCRETE.

TYPICAL UNDIVIDED CONCRETE SECTION  
SCALE: N.T.S.

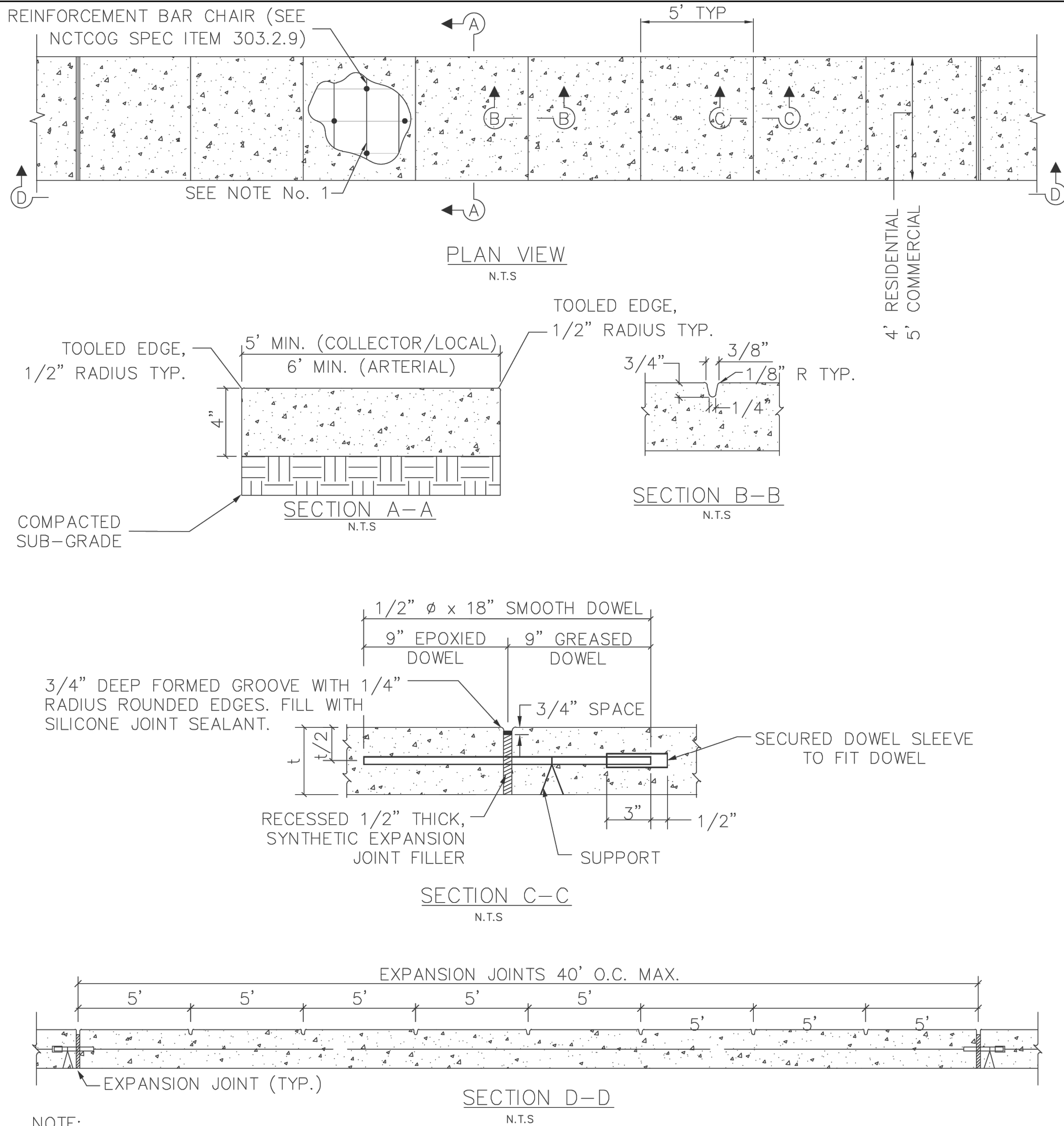
| STREET CLASSIFICATION | PAVEMENT THICKNESS | CROWN HEIGHT | STABILIZED SUBGRADE THICKNESS |
|-----------------------|--------------------|--------------|-------------------------------|
| LOCAL                 | 6"                 | 6"           | 6"                            |
| COLLECTOR             | 7"                 | 7"           | 8"                            |
| ARTERIAL              | 8"                 | 8"           | 9"                            |



PAVING CONSTRUCTION DETAILS  
TYPICAL UNDIVIDED CONCRETE STREET SECTION

REVISION DATE:  
2/1/2024

SHEET: P-01



- NOTE:
1. REINFORCEMENT TO BE #3 BARS AT 18" O.C.E.W.
  2. DOWEL WITH #4 BARS AT 18" C-C WHEN CONNECTING TO EXISTING SIDEWALKS, DRIVEWAYS, CURBS AND GUTTER - MINIMUM PENETRATION 6".
  3. INSTALL 1/2"  $\phi$  X 18" SMOOTH DOWELS @ 18" (GREASE ONE END & CAP) THROUGH EXPANSION JOINTS.
  4. CONCRETE FOR SIDEWALKS SHALL BE CLASS C 3600 PSI.
  5. ALL PROPOSED VALVES SHALL BE PLACED AT LEAST ONE FOOT OFF THE EDGE OF THE SIDEWALK. PROPOSED MANHOLES SHALL HAVE LIDS CENTERED IN THE SIDEWALK OR BLOCK OUT EXISTING VALVES/MANHOLES.
  6. SIDEWALK CROSS SLOPE 1/4"/FT (TYPICAL) MAX.
  7. EXPANSION JOINTS TO BE RECESSED 3/4" AND FILLED WITH SILICONE SEALANT.
  8. IF SIDEWALK IS LESS THAN 60" WIDE, A "PASSING SPACE" AT INTERVALS OF 200 FT SHALL BE PROVIDED. PASSING SPACE MUST BE 60" (MIN) BY 6" (MIN)



PAVING CONSTRUCTION DETAILS  
CONCRETE SIDEWALK

REVISION DATE:  
2/1/2024

SHEET: P-15

NOTE:  
THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.

COPYRIGHT 2024  
THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

OPTIMA  
DESIGN & ENGINEERING PLLC

2808 WILDCREEK CT, KELLER TEXAS  
TEL. (817) 466-6503  
TEXAS FIRM REGISTRATION NO. F-23565  
EMAIL: P.ALIKHANI@OPTIMAENGINEERING.COM

| REVISION NO. | REVISION                         | REV. DATE  |
|--------------|----------------------------------|------------|
| 2            | UPDATE BASE ON THE CITY COMMENTS | 06.10.2025 |

|  |  |  |
|--|--|--|
|  |  |  |
|  |  |  |
|  |  |  |

DETAILED SITE PLAN

PROJECT:  
  
THE HERITAGE GROVE  
IN THE CITY OF KELLER  
8660 CLARA LANE, KELLER, TEXAS

SHEET TITLE  
PAVING CONSTRUCTION DETAILS

DRAWN BY: H. G. ISSUE: 05.05.2025

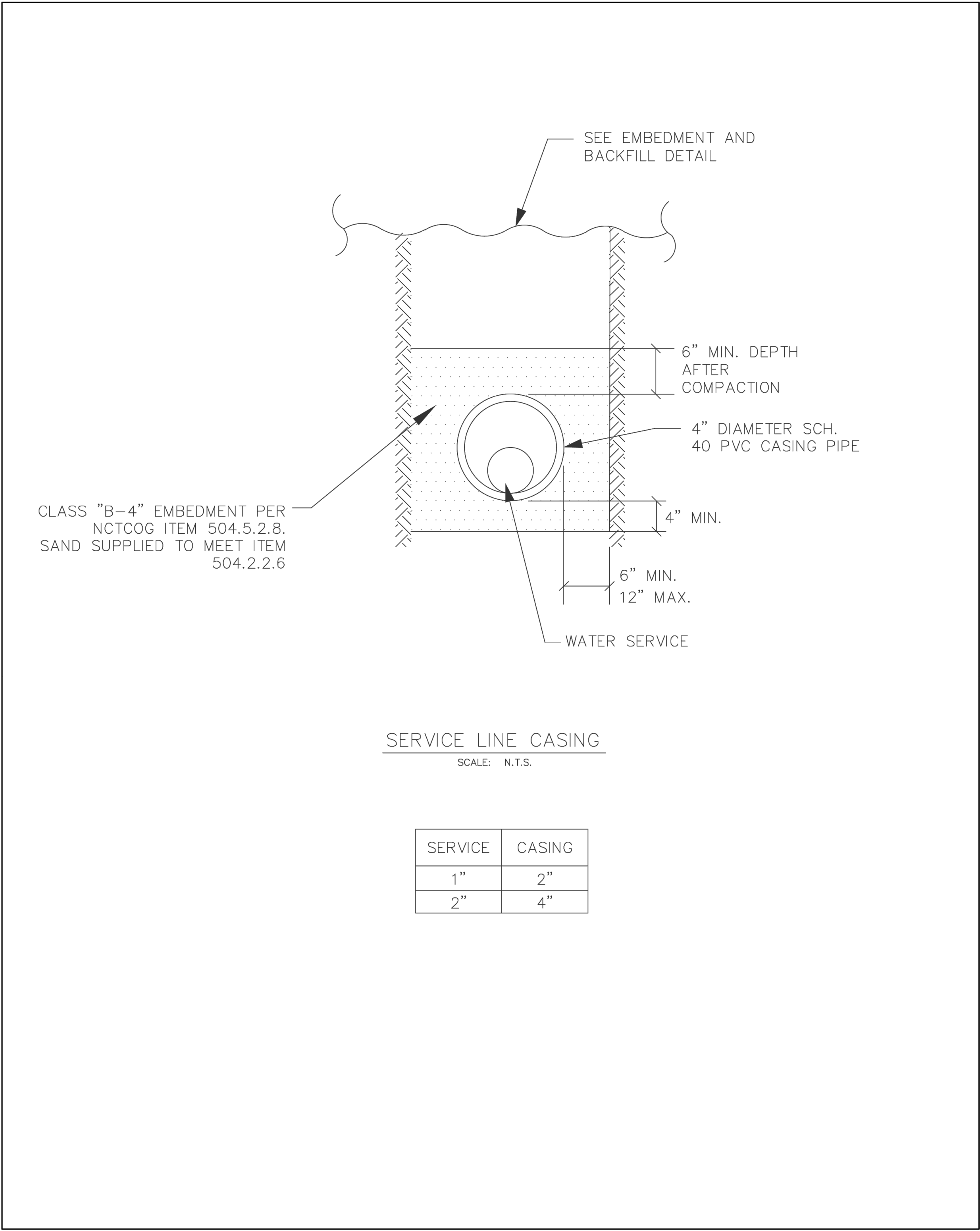
PROJECT DATE: MAY 2025 PROJECT NO: 001 REV. NO: 2


SCALE: SHEET NO. 11









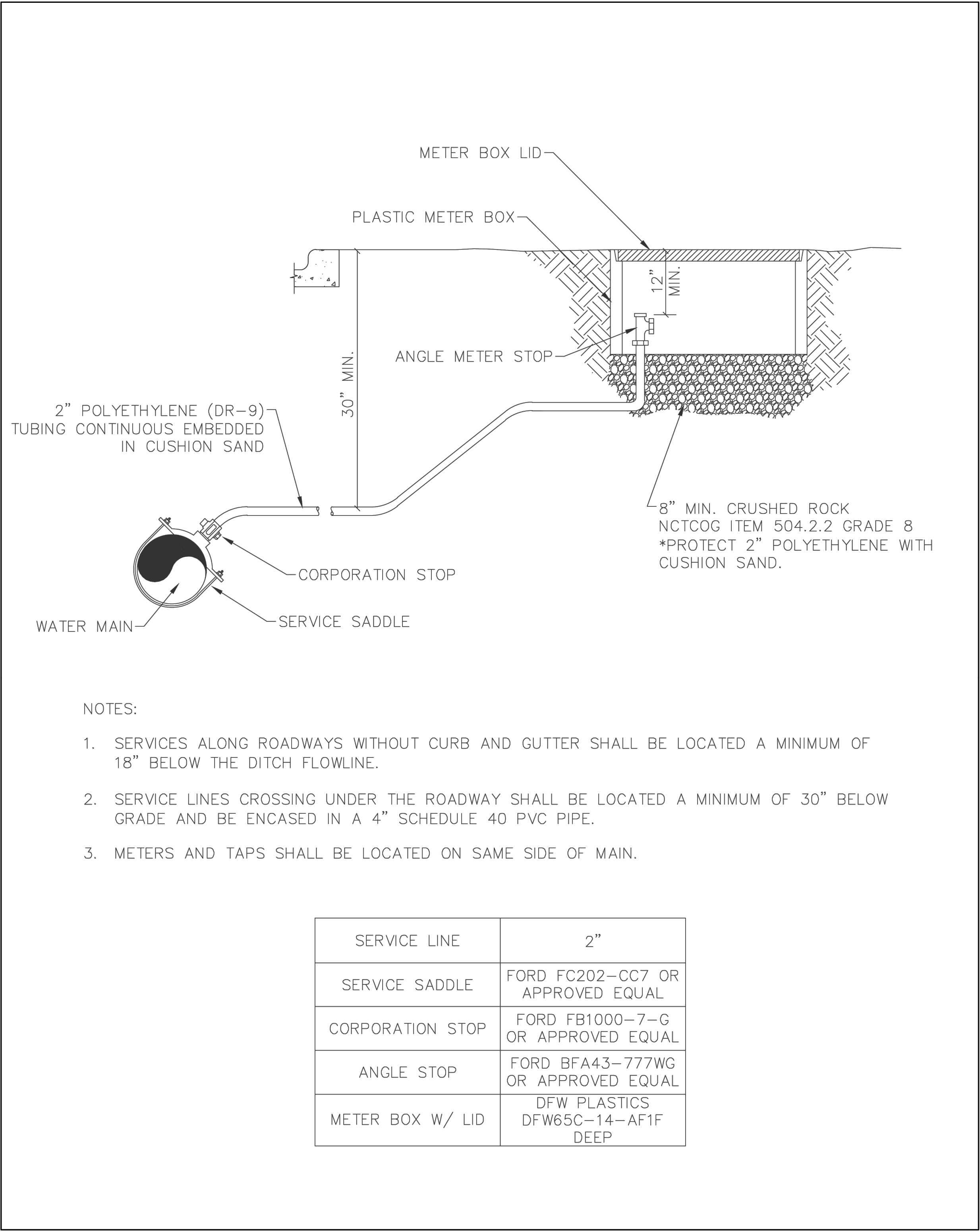


WATER CONSTRUCTION DETAILS

SERVICE LINE CASING

REVISION DATE:  
2/1/2024

SHEET: W-11





WATER CONSTRUCTION DETAILS

2" WATER SERVICE ASSEMBLY

REVISION DATE:  
2/1/2024

SHEET: W-14

NOTE:  
THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.

COPYRIGHT 2024  
THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

OPTIMA

DESIGN & ENGINEERING PLLC

2808 WILDCREEK CT, KELLER TEXAS

TEL. (817) 466-6503

TEXAS FIRM REGISTRATION NO. F-23565

EMAIL: P.ALIKHANI@OPTIMAENGINEERING.COM

| REVISION NO. | REVISION                         | REV. DATE  |
|--------------|----------------------------------|------------|
| 2            | UPDATE BASE ON THE CITY COMMENTS | 06.10.2025 |
|              |                                  |            |
|              |                                  |            |
|              |                                  |            |

DETAILED SITE PLAN

PROJECT:

THE HERITAGE GROVE

IN THE CITY OF KELLER

8660 CLARA LANE, KELLER, TEXAS

SHEET TITLE

WATER CONSTRUCTION DETAILS

DRAWN BY  
H. G.

ISSUE

ISSUE DATE  
05.05.2025

PROJECT DATE  
MAY 2025

PROJECT NO.  
001

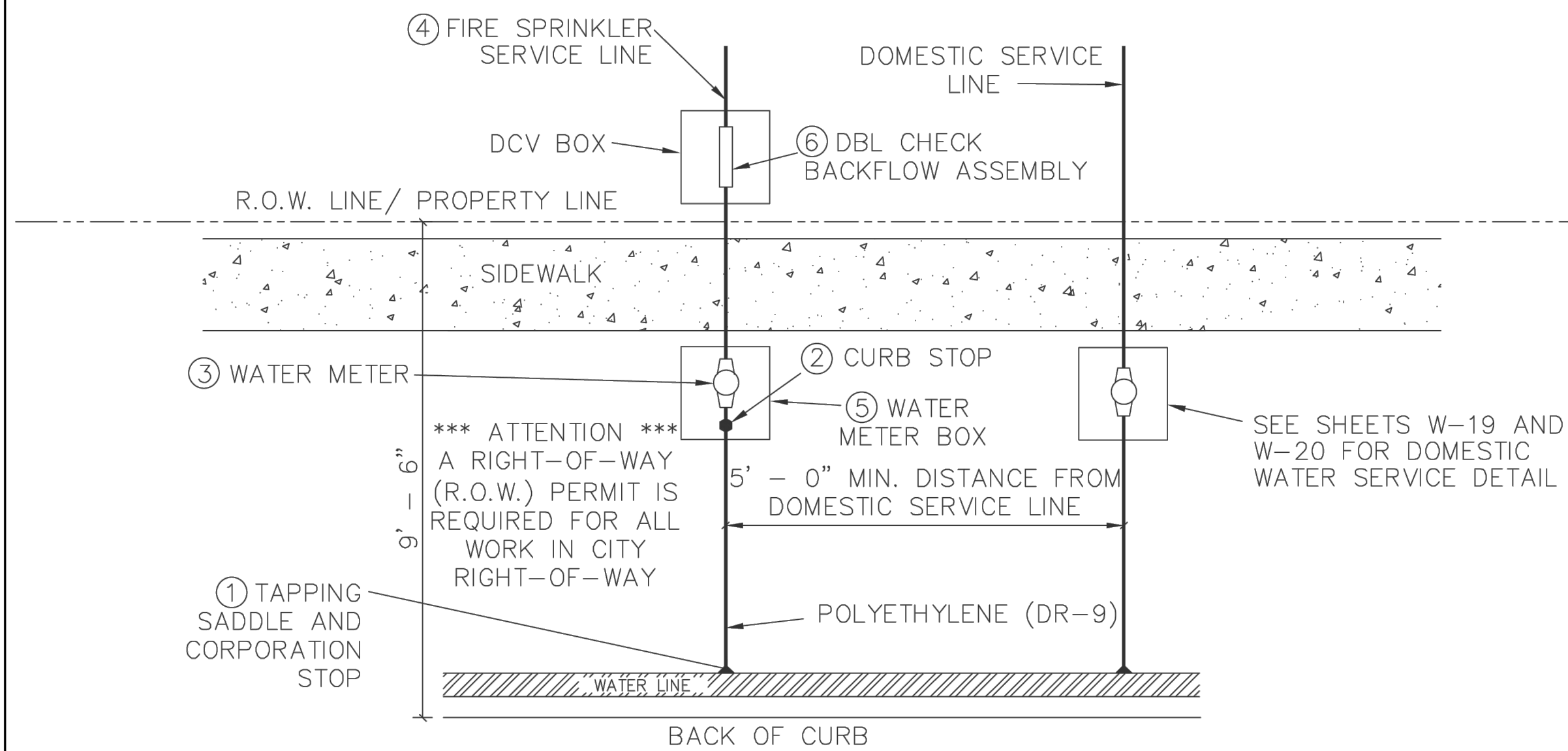
REV. NO:  
2

SCALE:

SHEET NO.

-13





NOTES:

1. CORPORATION STOP SHALL BE CC X COMPRESSION. SEE TABLE BELOW.
2. CURB/ANGLE STOP SHALL BE COMPRESSION X MN. SEE TABLE BELOW.
3. WATER METER MUST BE SIZED PER DESIGN REQUIREMENTS BUT CAN NOT BE LESS THAN 3/4", WHICH IS INSTALLED BY THE CITY OF KELLER.
4. FIRE SPRINKLER SERVICE LINE PER FIRE SPRINKLER DESIGN SPECIFICATIONS, INSTALLED BY PLUMBER OR FIRE PROTECTION CONTRACTOR.
5. SEE TABLE BELOW.
6. DOUBLE CHECK VALVE ASSEMBLY AND BOX WILL BE INSTALLED BY PLUMBER OR FIRE PROTECTION AND INSPECTED BY CITY OF KELLER.
7. "DO NOT CLOSE VALVE" LOCKOUT TAG ATTACHED TO THE FIRE LINE METER BY CITY OF KELLER. FIRE SPRINKLER SYSTEM BACKFLOW PREVENTION DEVICES TO BE OWNED, MAINTAINED, AND TESTED BY PROPERTY OWNER.

| FIRE LINE/METER SIZE | 3/4                                       | 1"  | 1 - 1/2"                                | 2"                                      |
|----------------------|---|---|---|---|
| TAPPING SADDLE       | FORD FC101-CC4 OR APPROVED EQUAL          | FORD FC101-CC4 OR APPROVED EQUAL          | FORD FC202-CC7 OR APPROVED EQUAL        | FORD FC202-CC7 OR APPROVED EQUAL        |
| CORPORATION STOP     | FORD F1000-4-G OR APPROVED EQUAL          | FORD F1000-4-G OR APPROVED EQUAL          | FORD FB1000-7-G OR APPROVED EQUAL       | FORD FB1000-7-G OR APPROVED EQUAL       |
| WATER SERVICE        | POLYETHYLENE (DR-9) TYP.                  | POLYETHYLENE (DR-9) TYP.                  | POLYETHYLENE (DR-9) TYP.                | POLYETHYLENE (DR-9) TYP.                |
| CURB/ANGLE STOP      | FORD BA43-444WG OR APPROVED EQUAL         | FORD BA43-444WG OR APPROVED EQUAL         | FORD BFA43-777WG OR APPROVED EQUAL      | FORD BFA43-777WG OR APPROVED EQUAL      |
| METER BOX (BODY)     | DFW PLASTICS DFW37C-12-AF1F DEEP          | DFW PLASTICS DFW37C-12-AF1F DEEP          | DFW PLASTICS DFW65C-14-AF1F DEEP        | DFW PLASTICS DFW65C-14-AF1F DEEP        |
| METER BOX (LID)      | DFW PLASTICS DFW37C-12-AF4F DEEP FIRE-LID | DFW PLASTICS DFW37C-12-AF4F DEEP FIRE-LID | DFW PLASTICS DFW65CB-AF4F DEEP FIRE-LID | DFW PLASTICS DFW65CB-AF4F DEEP FIRE-LID |

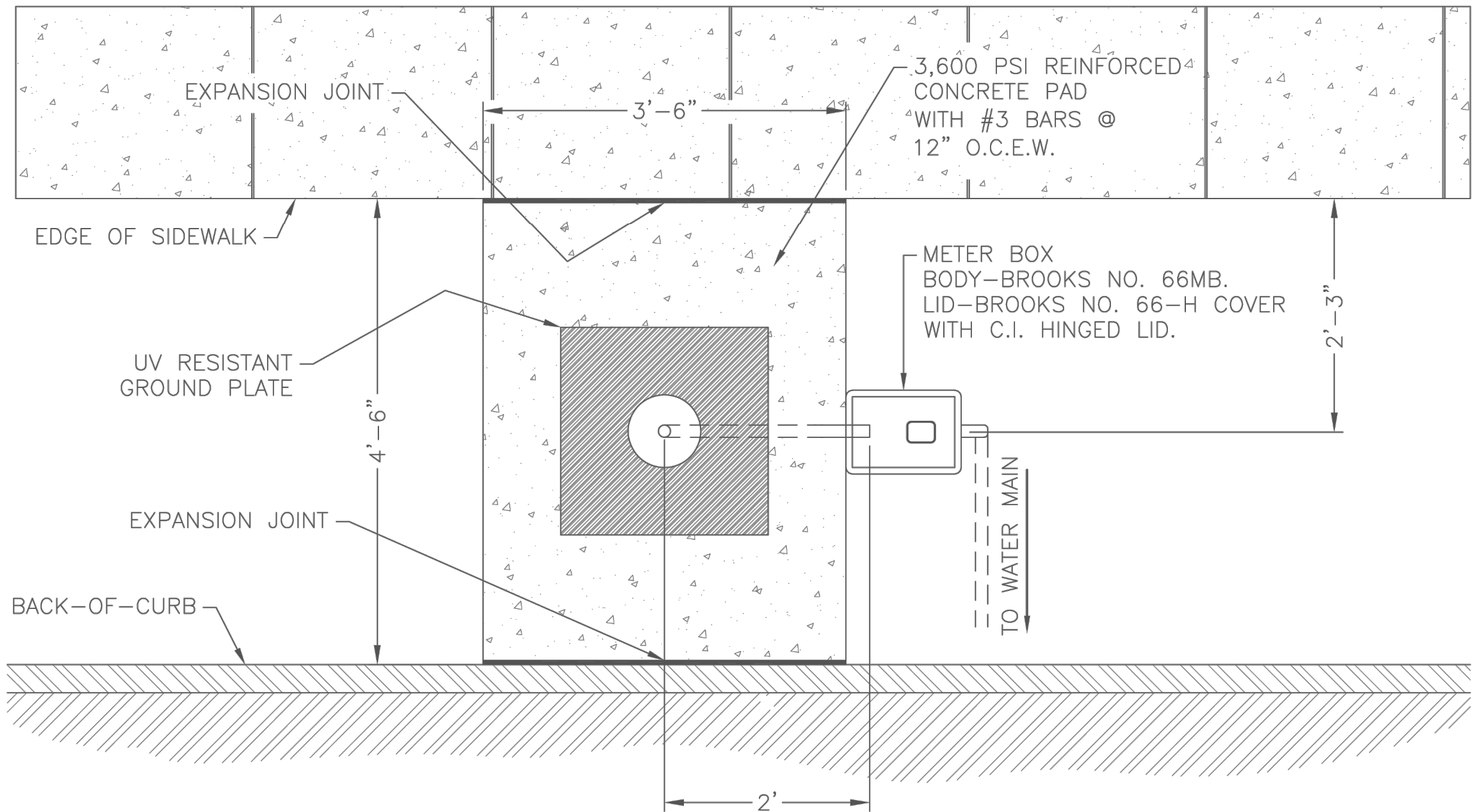
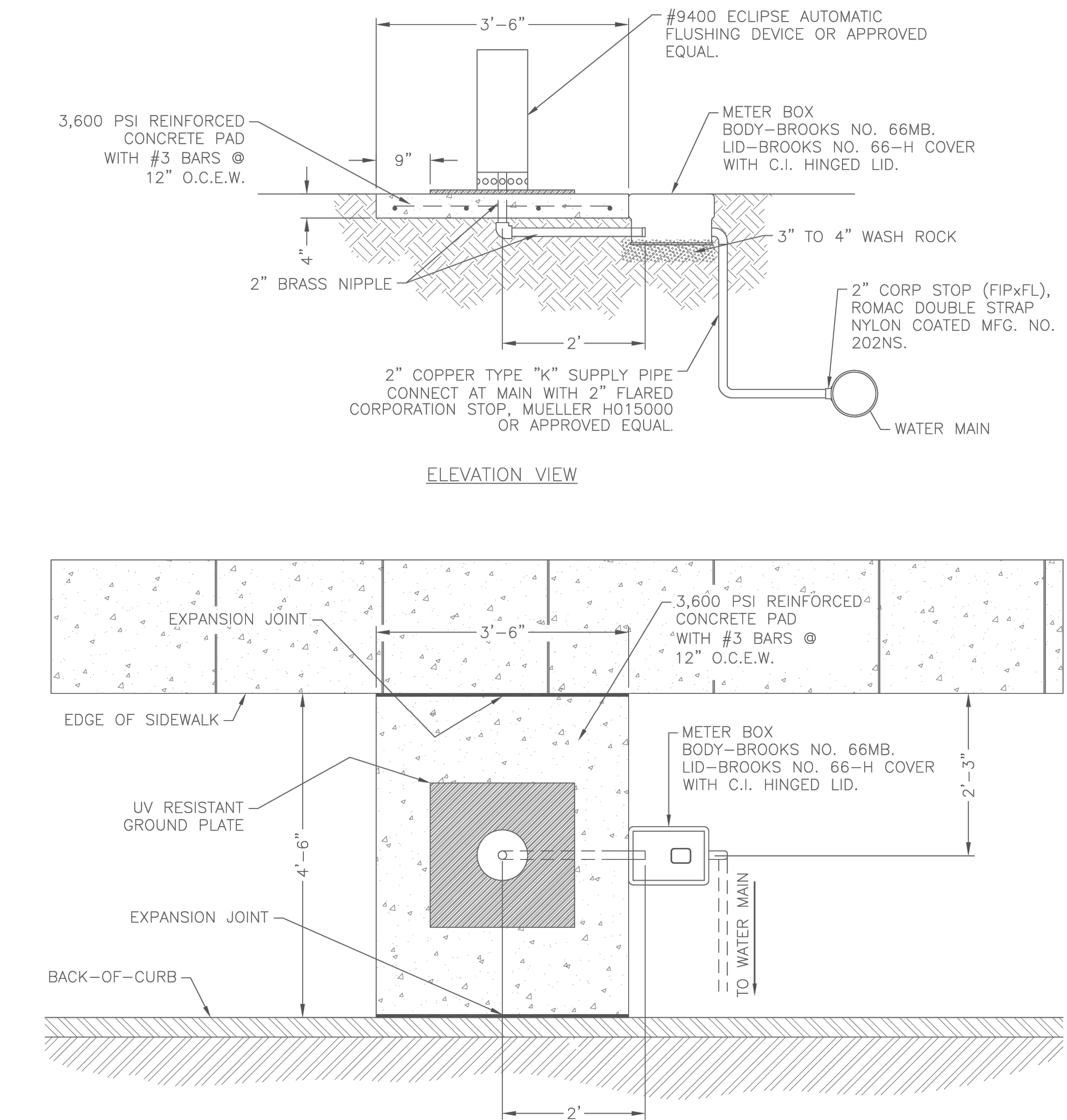


WATER CONSTRUCTION DETAILS  
RESIDENTIAL FIRE SPRINKLER SERVICE

REVISION DATE:  
2/1/2024

SHEET: W-15

S:\Public Works\Engineer Tech\CAD\_Details\Water\W20.dwg, 10/9/2009 12:01:18 PM, BP, BP



- NOTES:
1. EMBEDMENT FROM MAIN TO CURB VALVE SHALL MEET STANDARD CITY EMBEDMENT REQUIREMENTS.
  2. BACKFILL TO BE COMPACTED IN 6" LIFTS.



WATER CONSTRUCTION DETAILS  
AUTOMATIC FLUSHING VALVE

REVISION DATE:  
2/9/2009

SHEET: W-20

NOTE:  
THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.

COPYRIGHT 2024  
THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

OPTIMA  
DESIGN & ENGINEERING PLLC

2808 WILDCREEK CT, KELLER TEXAS  
TEL. (817) 466-6503  
TEXAS FIRM REGISTRATION NO. F-23565  
EMAIL: P.ALIKHANI@OPTIMAENGINEERING.COM

| REVISION NO. | REVISION                         | REV. DATE  |
|--------------|----------------------------------|------------|
| 2            | UPDATE BASE ON THE CITY COMMENTS | 06.10.2025 |

DETAILED SITE PLAN

PROJECT:  
  
THE HERITAGE GROVE  
IN THE CITY OF KELLER  
8660 CLARA LANE, KELLER, TEXAS

SHEET TITLE  
WATER CONSTRUCTION DETAILS

DRAWN BY: H. G. ISSUE: 05.05.2025

PROJECT DATE: MAY 2025 PROJECT NO: 001 REV. NO: 2

SCALE: SHEET NO. 14



PLAN DEVELOPMENT PLAN

# THE HERITAGE GROVE

IN THE CITY OF KELLER  
TARRANT COUNTY, TEXAS  
8660 CLARA LANE



CITY COUNCIL MEMBERS

MAYOR: ARMIN MIZANI  
COUNCIL - PLACE 1: SHANNON DUBBERLY  
COUNCIL - PLACE 2: GREG WILL  
COUNCIL - PLACE 3: KAREN BRENNAN  
COUNCIL - PLACE 4: TAG GREEN  
COUNCIL - PLACE 5: CHRIS WHATLEY  
MAYOR PRO TEM: ROSS MCMULLIN

DEVELOPER

CAMERON - SQRL, SANFORD LLC  
4512 LEGACY DRIVE UNIT 100, PLANO, TX 75024  
TEL. (617) 956 2285  
SEETHA@SUMAMONDE.COM

ENGINEER

OPTIMA DESIGN & ENGINEERING PLLC  
2808 WILDCREEK CT,KELLER TEXAS  
TEL. (817) 466-6503  
TEXAS FIRM REGISTRATION NO. F-23565  
EMAIL:P.ALIKHANI@OPTIMA ENGINEERING.COM

OWNER

CHARLES H. TALLEY  
8660 CLARA LANE, KELLER, TX, 76248

SHEET INDEX

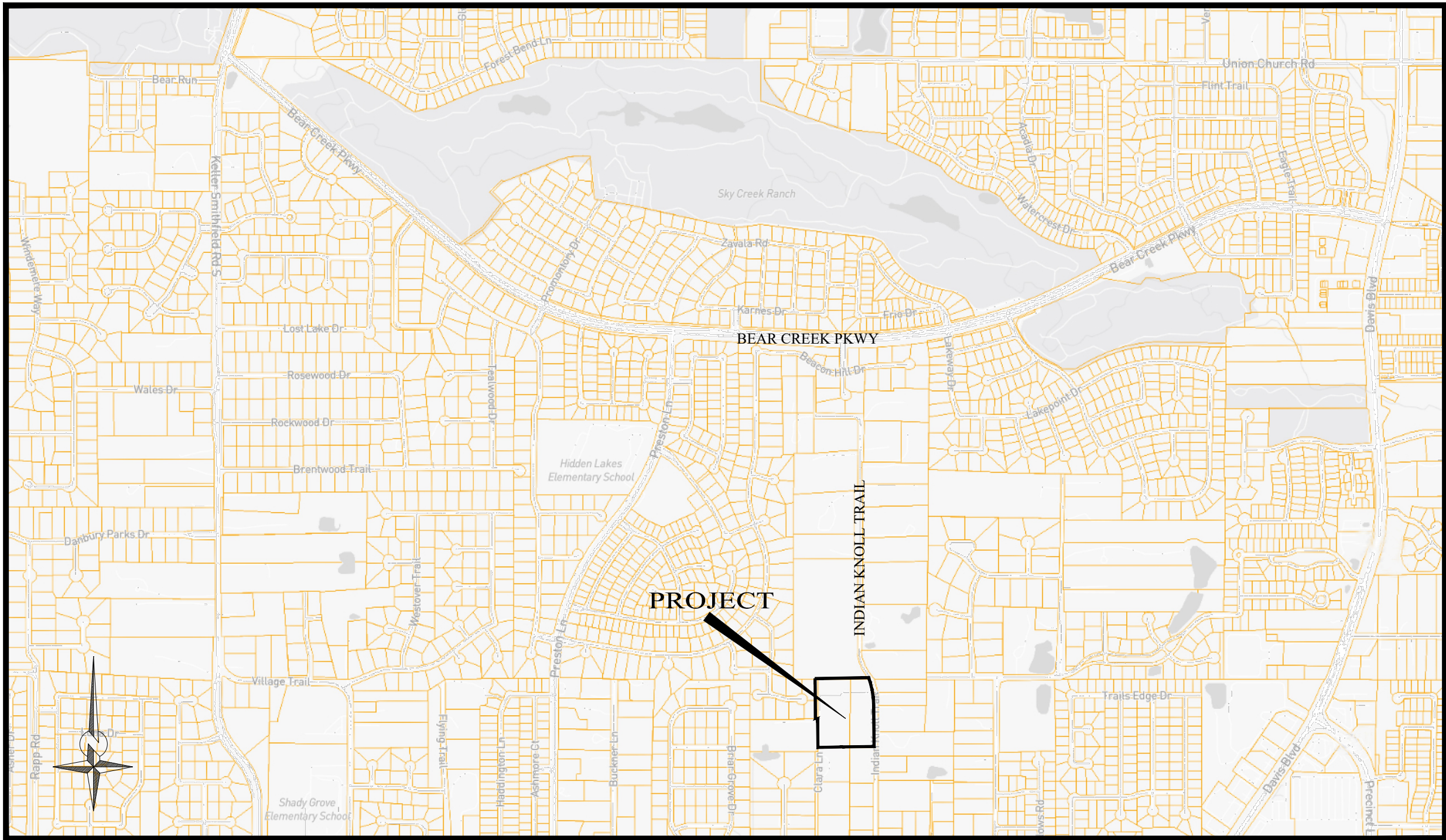
- 1. COVER SHEET
- 2. OPEN SPACE PLAN
- 3. OPEN SPACE CALCULATION
- 4. LANDSCAPING PLAN
- 5. FENCE PLAN

SURVEYOR

CBG SURVEYING TEXAS LLC  
1413 E. IH - 30, STE. 7 GARLAND, TX 75043  
TEL. (214) 349-9485  
TEXAS FIRM REGISTRATION NO. 10168800  
HTTPS://WWW.CBGTLIC.COM

SIGNATURE:

PRELIMINARY SITE EVALUATION APPROVED  
BY THE CITY OF KELLER CITY COUNCIL FOR  
THE PREPARATION OF A FINAL PLAT



LOCATION MAP  
SCALE: 1" = 1000'





NOTE:

1. Site plan information
2. Density per acre: 8 units / 7.22 acres = 1.1 unite per acre

|                                    |                            |
|------------------------------------|----------------------------|
| TOTAL NUMBER OF LOTS               | 8                          |
| NUMBER OF LOTS PER ZONING CATEGORY | 8                          |
| TOTAL ACREAGE PER PHASE            | 7.22 ACRES                 |
| NUMBER OF LOTS PER PHASE           | 8                          |
| MINIMUM LOT SIZE                   | 30,000 SQFT                |
| MINIMUM DWELLING UNIT SIZE         | 4,000 SQFT                 |
| DENSITY PER ACRE                   | 1.1 (8 LOT PER 7.22 ACRES) |

NOTE:  
THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.

COPYRIGHT 2024  
THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

BENCHMARK INFO:  
NAME: MONUMENT #6  
ELEVATION: 656.87  
LOCATION: SARAH BROOKS DRIVE  
DESCRIPTION: THE BENCHMARK TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED 3' EAST OF THE EAST BACK OF CURB OF SARAH BROOKS DRIVE INSIDE OF TAU EASEMENT AND APPROXIMATELY 1' AT 100' SARAH BROOKS DRIVE.

BENCHMARK INFO:  
NAME: MONUMENT #6  
ELEVATION: 656.87  
LOCATION: BEAR CREEK PARKWAY  
DESCRIPTION: THE BENCHMARK TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED IN THE MEDIUM OF BEAR CREEK PARKWAY APPROXIMATELY 14' EAST OF THE EAST SIDE OF THE BRIDGE OVER BIG BEAR CREEK.



OPTIMA  
DESIGN & ENGINEERING PLLC

2808 WILDCREEK CT, KELLER TEXAS  
TEL. (817) 466-6503  
TEXAS FIRM REGISTRATION NO. F-23565  
EMAIL: P.ALIKHANI@OPTIMAENGINEER.COM

| REVISION NO. | REVISION                         | REV. DATE  |
|--------------|----------------------------------|------------|
| 2            | UPDATE BASE ON THE CITY COMMENTS | 06.10.2025 |
| 3            | NEW OPEN SPACE SITE PLAN         | 07.10.2025 |
|              |                                  |            |
|              |                                  |            |

PLAN DEVELOPMENT PLAN

PROJECT:  
  
THE HERITAGE GROVE  
IN THE CITY OF KELLER  
8660 CLARA LANE, KELLER, TEXAS

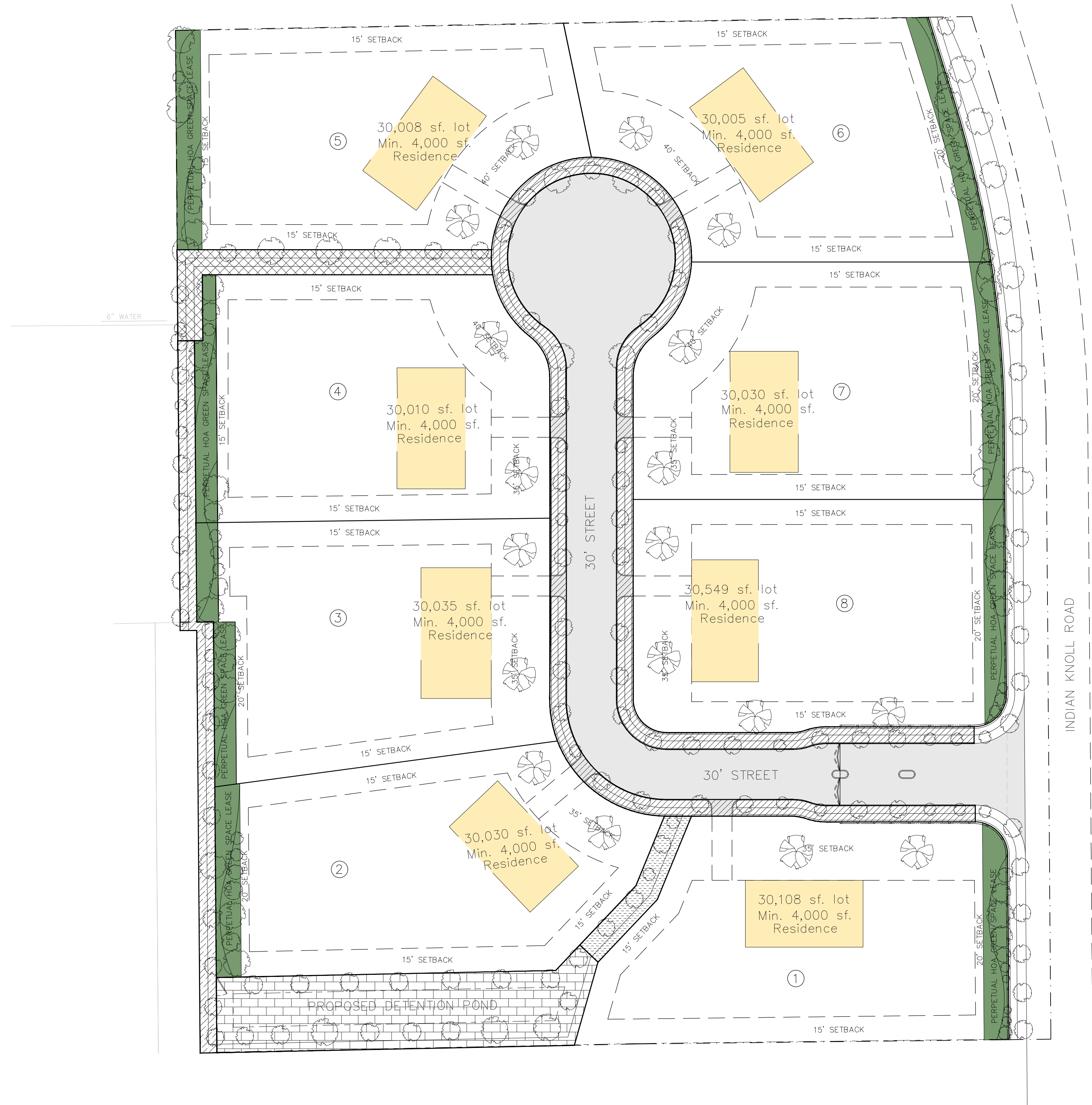
SHEET TITLE  
OPEN SPACE PLAN

DRAWN BY: H. G. ISSUE: 05.05.2025

PROJECT DATE: MAY 2025 PROJECT NO.: 001 REV. NO.: 3

SCALE: 1" = 40' SHEET NO.: 02





NOTE:

- Site plan information
- Density per acre: 8 unites / 7.22 acres = 1.1 unite per acre

|                                    |                            |
|------------------------------------|----------------------------|
| TOTAL NUMBER OF LOTS               | 8                          |
| NUMBER OF LOTS PER ZONING CATEGORY | 8                          |
| TOTAL ACREAGE PER PHASE            | 7.22 ACRES                 |
| NUMBER OF LOTS PER PHASE           | 8                          |
| MINIMUM LOT SIZE                   | 30,000 SQFT                |
| MINIMUM DWELLING UNIT SIZE         | 4,000 SQFT                 |
| DENSITY PER ACRE                   | 1.1 (8 LOT PER 7.22 ACRES) |

| GREEN AREA AND SIDEWALK  | AREA (SQFT) |
|--|-------------|
| 1- 10' SIDEWALK AND LANDSCAPE INSIDE OF THE GATED COMMUNITY                    | 12751       |
| 2- 15' SIDEWALK AND LANDSCAPE  | 3417        |
| 3- 10' SIDEWALK AND LANDSCAPE BESIDE CLARA LANE                                | 4315        |
| 4- POND AREA, SIDEWALK AND LANDSCAPE AROUND POND                               | 10151       |
| 2- 15' SIDEWALK AND LANDSCAPE  | 1496        |
| TOTAL  | 32130       |
| 10% OF THE TOTAL LAND AREA (32130 SQFT/ 0.75 ACRE) IS DEDICATED AS OPEN SPACE. |             |

| PERPETUAL HOA GREEN SPACE LEASE | AREA (SQFT) |
|---------------------------------|-------------|
| LOT 1                           | 1873        |
| LOT 2                           | 1799        |
| LOT 3                           | 2044        |
| LOT 4                           | 1733        |
| LOT 5                           | 1972        |
| LOT 6                           | 1973        |
| LOT 7                           | 1853        |
| LOT 8                           | 1788        |
| TOTAL                           | 15045       |

OPEN SPACE AREA = 47175 SQFT = 15% OF 7.2 ACRES

| LEGEND: |                                   |  |
|---------|-----------------------------------|--|
|         | RESIDENTIAL - SINGLE FAMILY HOMES |  |
|         | 30' STREET                        |  |
|         | PERPETUAL HOA GREEN SPACE LEASE   |  |

NOTE:  
THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.

COPYRIGHT 2024  
THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

BENCHMARK INFO:  
NAME MONUMENT #6  
ELEVATION 656.87  
LOCATION: SARAH BROOKS DRIVE  
DESCRIPTION: THE BENCHMARK TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED 3' EAST OF THE EAST BACK OF CURB OF SARAH BROOKS DRIVE INSIDE OF TAU EASEMENT AND APPROXIMATELY 1' AT 1000 SARAH BROOKS DRIVE.

BENCHMARK INFO:  
NAME MONUMENT #6  
ELEVATION 656.87  
LOCATION: BEAR CREEK PARKWAY  
DESCRIPTION: THE BENCHMARK TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED IN THE MEDIAN OF BEAR CREEK PARKWAY APPROXIMATELY 14' EAST OF THE EAST SIDE OF THE BRIDGE OVER BIG BEAR CREEK.



OPTIMA  
DESIGN & ENGINEERING PLLC

2808 WILDCREEK CT, KELLER TEXAS  
TEL. (817) 466-6503  
TEXAS FIRM REGISTRATION NO. F-23565  
EMAIL: P.ALIKHANI@OPTIMAENGINEER.COM

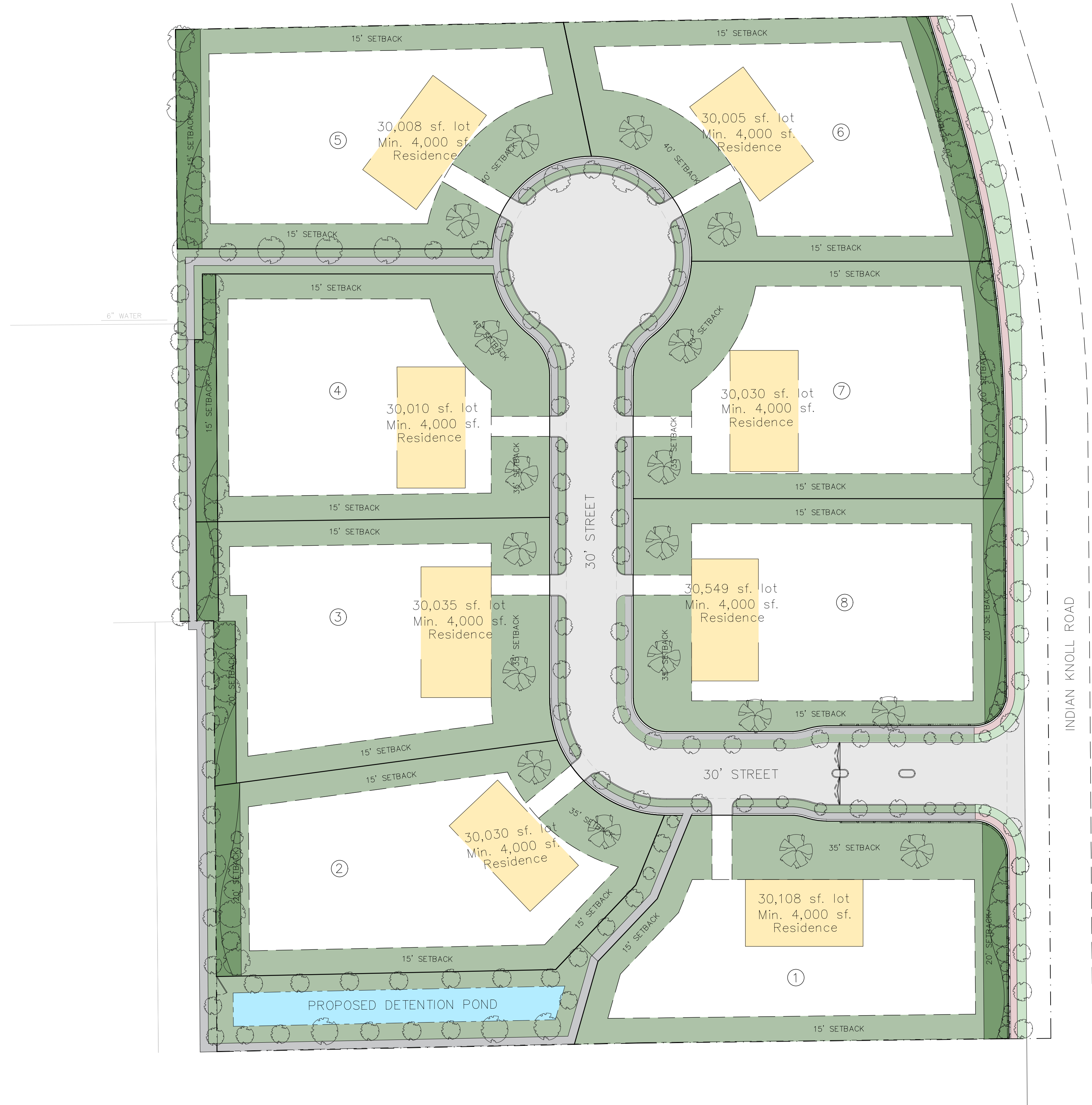
| REVISION NO. | REVISION                         | REV. DATE  |
|--------------|----------------------------------|------------|
| 2            | UPDATE BASE ON THE CITY COMMENTS | 06.10.2025 |
| 3            | NEW OPEN SPACE SITE PLAN         | 07.10.2025 |
|              |                                  |            |
|              |                                  |            |

PLAN DEVELOPMENT PLAN

PROJECT:  
  
THE HERITAGE GROVE  
IN THE CITY OF KELLER  
8660 CLARA LANE, KELLER, TEXAS

| SHEET TITLE              |                    |                          |
|--------------------------|--------------------|--------------------------|
| OPEN SPACE CALCULATION   |                    |                          |
| DRAWN BY<br>H. G.        | ISSUE              | ISSUE DATE<br>05.05.2025 |
| PROJECT DATE<br>MAY 2025 | PROJECT NO.<br>001 | REV. NO.<br>3            |
| SCALE:<br>1" = 40'       | SHEET NO.<br>03    |                          |





NOTE:

1. Site plan information
2. Density per acre: 8 units / 7.22 acres = 1.1 unite per acre

|                                    |                            |
|------------------------------------|----------------------------|
| TOTAL NUMBER OF LOTS               | 8                          |
| NUMBER OF LOTS PER ZONING CATEGORY | 8                          |
| TOTAL ACREAGE PER PHASE            | 7.22 ACRES                 |
| NUMBER OF LOTS PER PHASE           | 8                          |
| MINIMUM LOT SIZE                   | 30,000 SQFT                |
| MINIMUM DWELLING UNIT SIZE         | 4,000 SQFT                 |
| DENSITY PER ACRE                   | 1.1 (8 LOT PER 7.22 ACRES) |

NOTE:  
THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.

COPYRIGHT 2024  
THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

BENCHMARK INFO:  
NAME MONUMENT #6  
ELEVATION: 656.87  
LOCATION: SARAH BROOKS DRIVE  
DESCRIPTION: THE SURVEYED TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED 3' EAST OF THE EAST BACK OF CURB OF SARAH BROOKS DRIVE INSIDE OF TAU EASEMENT AND APPROXIMATELY 1' AT 100 SARAH BROOKS DRIVE.

BENCHMARK INFO:  
NAME MONUMENT #6  
ELEVATION: 656.87  
LOCATION: BEAR CREEK PARKWAY  
DESCRIPTION: THE SURVEYED TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED IN THE MEDIUM OF BEAR CREEK PARKWAY APPROXIMATELY 14' EAST OF THE EAST SIDE OF THE BRIDGE OVER BIG BEAR CREEK.



OPTIMA  
DESIGN & ENGINEERING PLLC

2808 WILDCREEK CT, KELLER TEXAS  
TEL. (817) 466-6503  
TEXAS FIRM REGISTRATION NO. F-23565  
EMAIL: P.ALIKHANI@OPTIMAENGINEER.COM

| REVISION NO. | REVISION                         | REV. DATE  |
|--------------|----------------------------------|------------|
| 2            | UPDATE BASE ON THE CITY COMMENTS | 06.10.2025 |
| 3            | NEW OPEN SPACE SITE PLAN         | 07.10.2025 |
|              |                                  |            |
|              |                                  |            |

PLAN DEVELOPMENT PLAN

PROJECT:  
  
THE HERITAGE GROVE  
IN THE CITY OF KELLER  
8660 CLARA LANE, KELLER, TEXAS

LANDSCAPING PLAN

DRAWN BY: H. G. ISSUE: 05.05.2025

PROJECT DATE: MAY 2025 PROJECT NO: 001 REV. NO: 3

SCALE: 1" = 40' SHEET NO: 04





**NOTE:**

1. Site plan information
2. Density per acre: 8 unites / 7.22 acres = 1.1 unite per acre

|                                    |                            |
|------------------------------------|----------------------------|
| TOTAL NUMBER OF LOTS               | 8                          |
| NUMBER OF LOTS PER ZONING CATEGORY | 8                          |
| TOTAL ACREAGE PER PHASE            | 7.22 ACRES                 |
| NUMBER OF LOTS PER PHASE           | 8                          |
| MINIMUM LOT SIZE                   | 30,000 SQFT                |
| MINIMUM DWELLING UNIT SIZE         | 4,000 SQFT                 |
| DENSITY PER ACRE                   | 1.1 (8 LOT PER 7.22 ACRES) |

NOTE:  
THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECT, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.

COPYRIGHT 2024

THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

**BENCHMARK INFO:**

NAME MONUMENT #6  
ELEVATION: 656.87  
LOCATION: SARAH BROOKS DRIVE  
DESCRIPTION: THE SURVEYED TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED 3' EAST OF THE EAST BACK OF CURB OF SARAH BROOKS DRIVE INSIDE OF TAU EASEMENT AND APPROXIMATELY 1' TO 20' SARAH BROOKS DRIVE.

**BENCHMARK INFO:**

NAME MONUMENT #6  
ELEVATION: 634.77  
LOCATION: BEAR CREEK PARKWAY  
DESCRIPTION: THE SURVEYED TOP SECURITY MONUMENT WITH ACCESS COVER IS LOCATED IN THE MEDIAN OF BEAR CREEK PARKWAY APPROXIMATELY 14' EAST OF THE EAST SIDE OF THE BRIDGE OVER BIG BEAR CREEK.



**OPTIMA**  
**DESIGN & ENGINEERING PLLC**

2808 WILDCREEK CT, KELLER TEXAS  
TEL: (817) 466-6503  
TEXAS FIRM REGISTRATION NO. F-23565  
EMAIL: P.ALIKHANI@OPTIMAENGINEER.COM

| REVISION NO. | REVISION                         | REV. DATE  |
|--------------|----------------------------------|------------|
| 2            | UPDATE BASE ON THE CITY COMMENTS | 06.10.2025 |
| 3            | NEW OPEN SPACE SITE PLAN         | 07.10.2025 |
|              |                                  |            |
|              |                                  |            |

**PLAN DEVELOPMENT PLAN**

PROJECT:

**THE HERITAGE GROVE  
IN THE CITY OF KELLER**  
8660 CLARA LANE, KELLER, TEXAS

SHEET TITLE

**FENCE PLAN**

|                   |       |                          |
|-------------------|-------|--------------------------|
| DRAWN BY<br>H. G. | ISSUE | ISSUE DATE<br>05.05.2025 |
|-------------------|-------|--------------------------|

|                          |                    |               |
|--------------------------|--------------------|---------------|
| PROJECT DATE<br>MAY 2025 | PROJECT NO.<br>001 | REV. NO.<br>3 |
|--------------------------|--------------------|---------------|

|                    |                 |
|--------------------|-----------------|
| SCALE:<br>1" = 40' | SHEET NO.<br>05 |
|--------------------|-----------------|