

Attn: Planning and Zoning Commission and City Council

Re: Narrative Letter

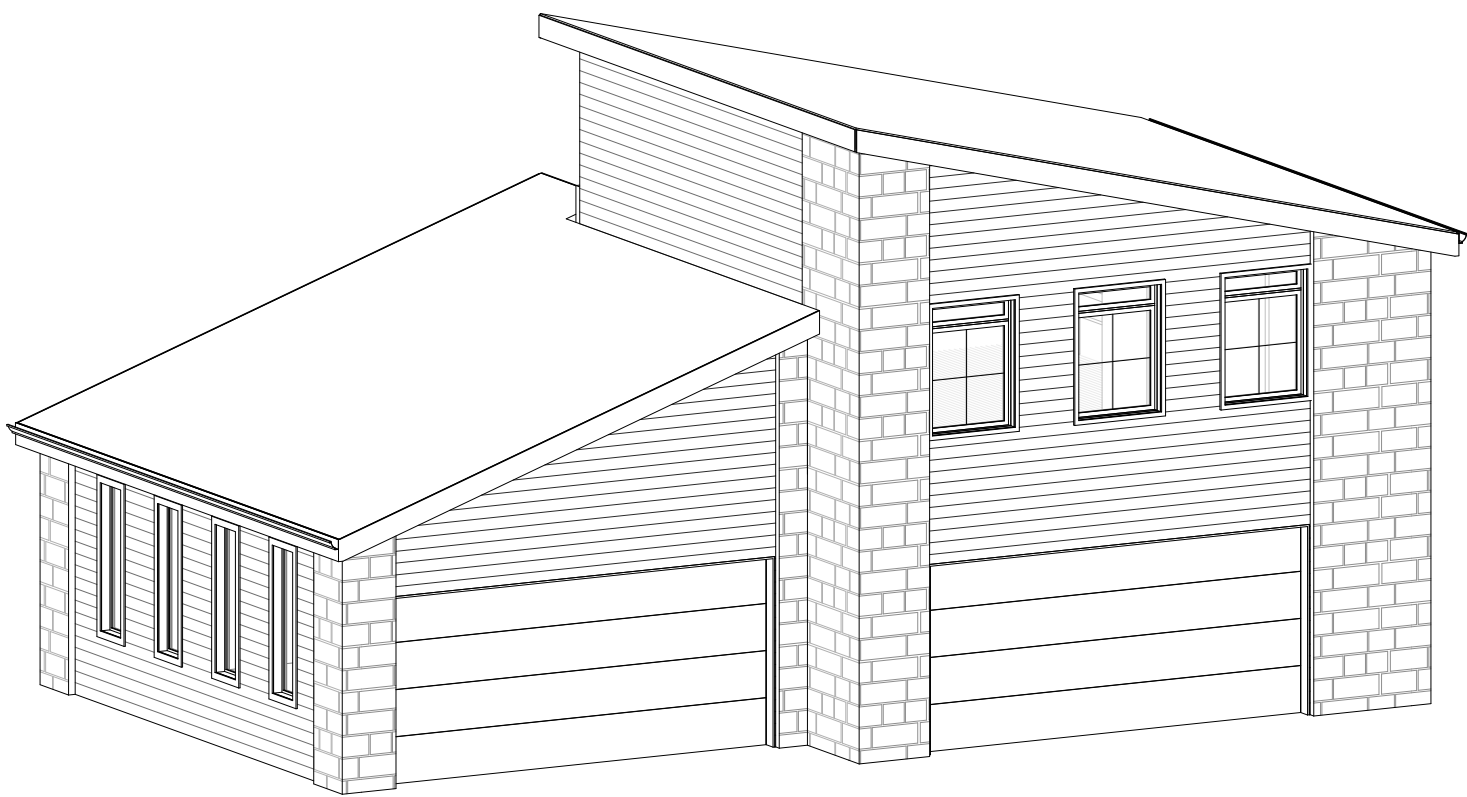
Good day,

The use of the building is a 4 car garage and a media/flex room above for grandkids to be loud and not disturb the rest of the house.

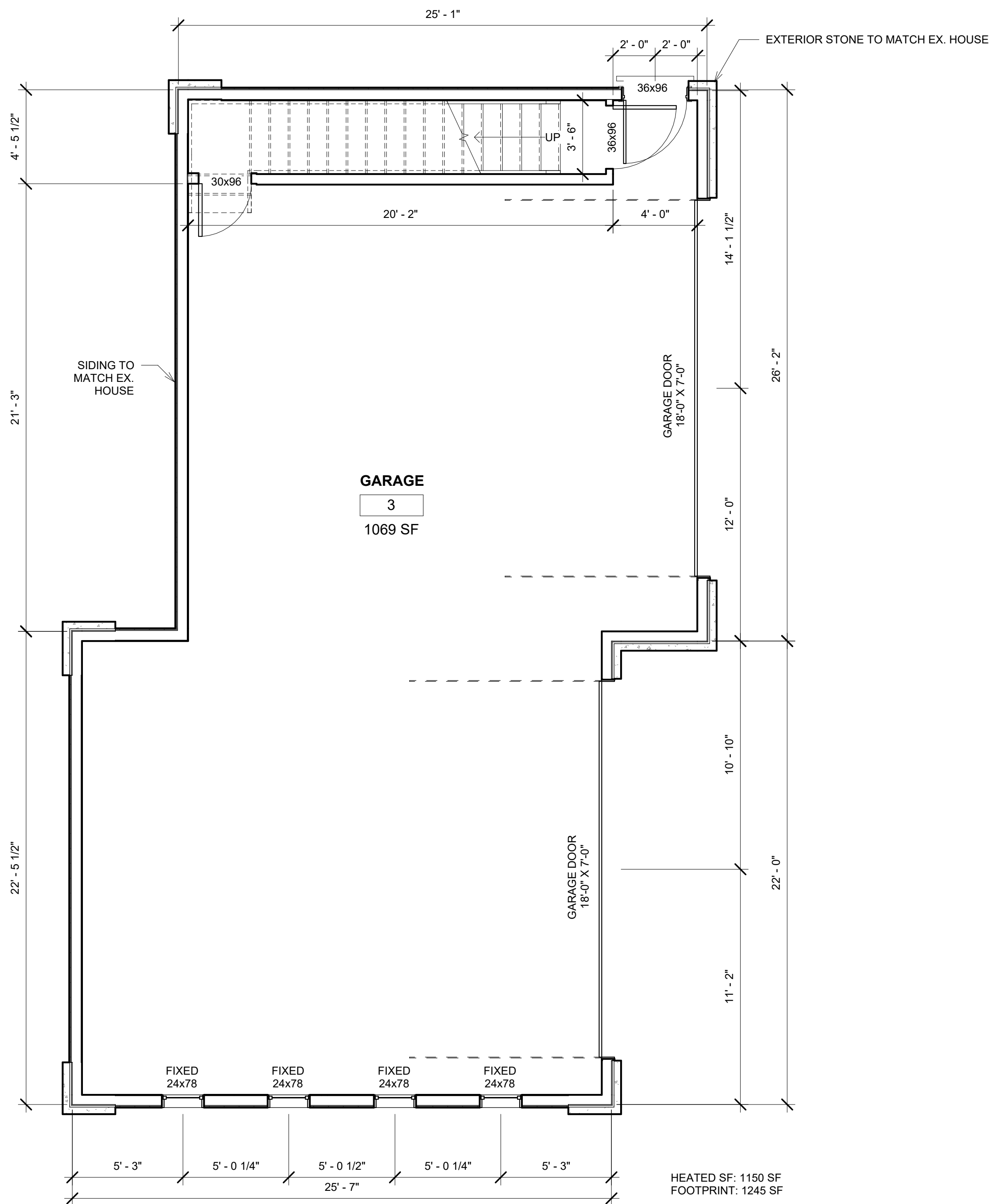
If you could please let me know what the next steps would be, if I and/or my contractor needs to come to the city to meet with anyone, we are willing and able to do so.

Thank you,
-Adam Young
Dalta Jean VanWaters' son
704 Dana Drive, Keller, TX 76248

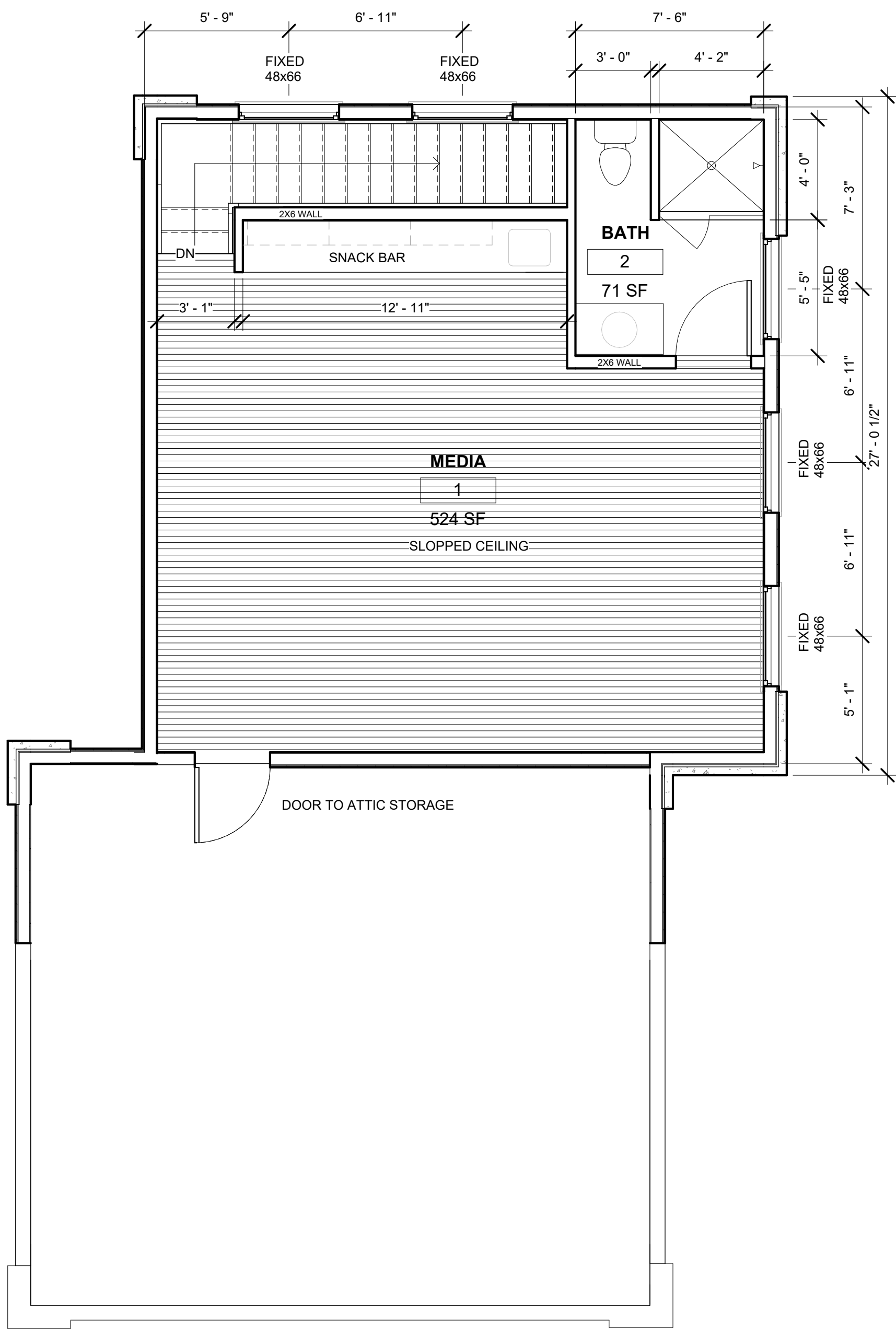
I can be reached via email at a.young0404@yahoo.com or cell phone 817-781-9481. Thank you.



3 Front Perspective



1 First Floor
1/4" = 1'-0"



2 Second Floor
1/4" = 1'-0"

REFRAME DESIGN COLLABORATIVE

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reframedesigncollaborative@gmail.com

Reframe Design Collaborative
3629 Churchill Drive
Plano, Texas 75075
214-663-3513

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VanWaters
Garage
704 Dana Drive
Keller, TX 76248

NOT FOR
CONSTRUCTION

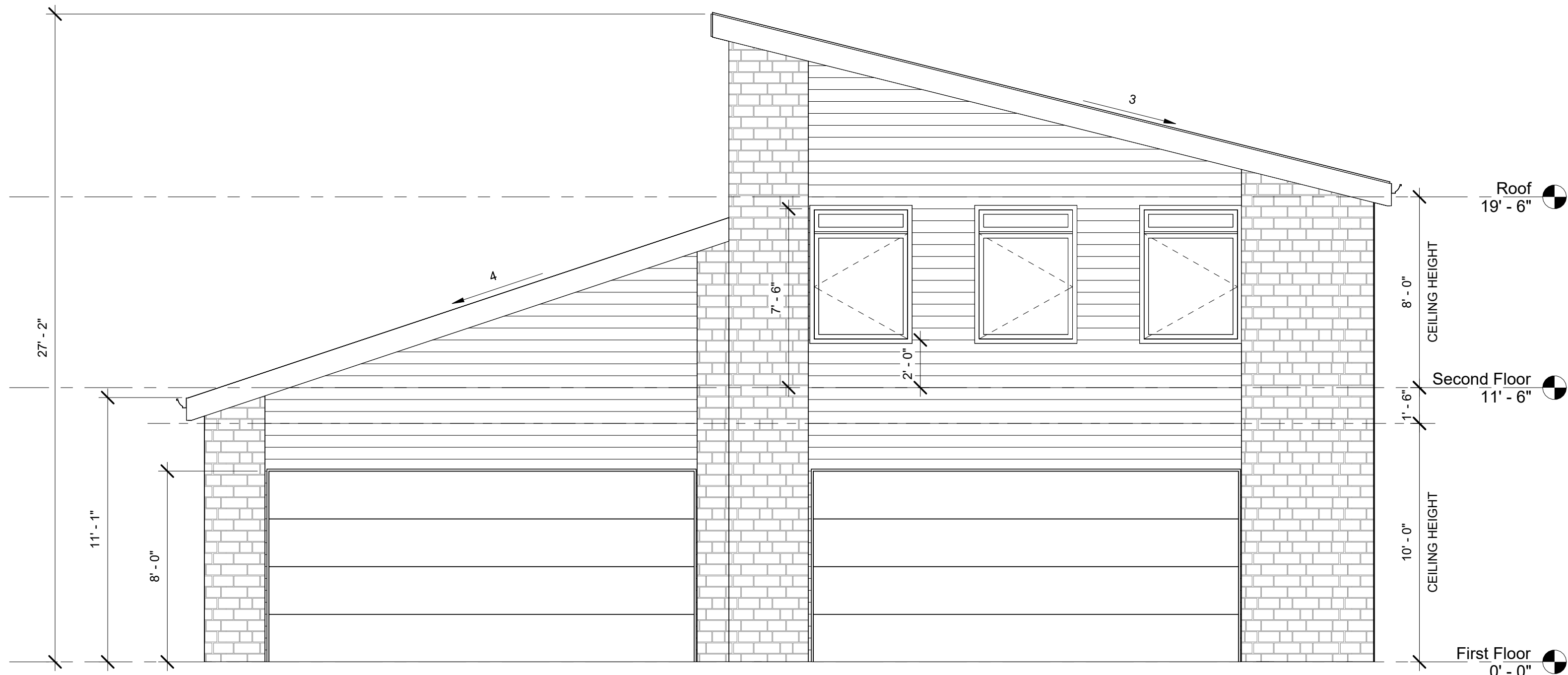
No.	Description	Date

New Garage Floor Plans

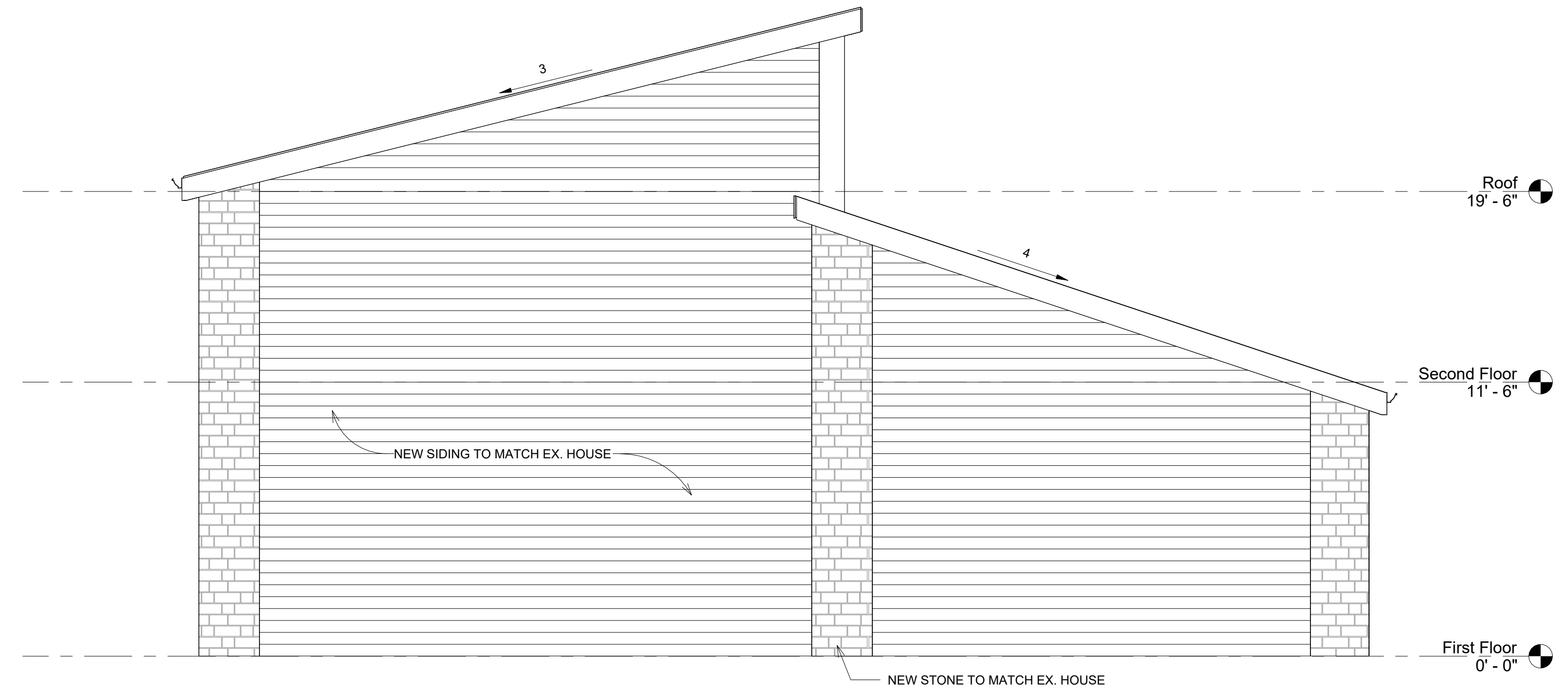
Project number	241007
Date	08/27/2025
Drawn by	AB
Checked by	-

A1

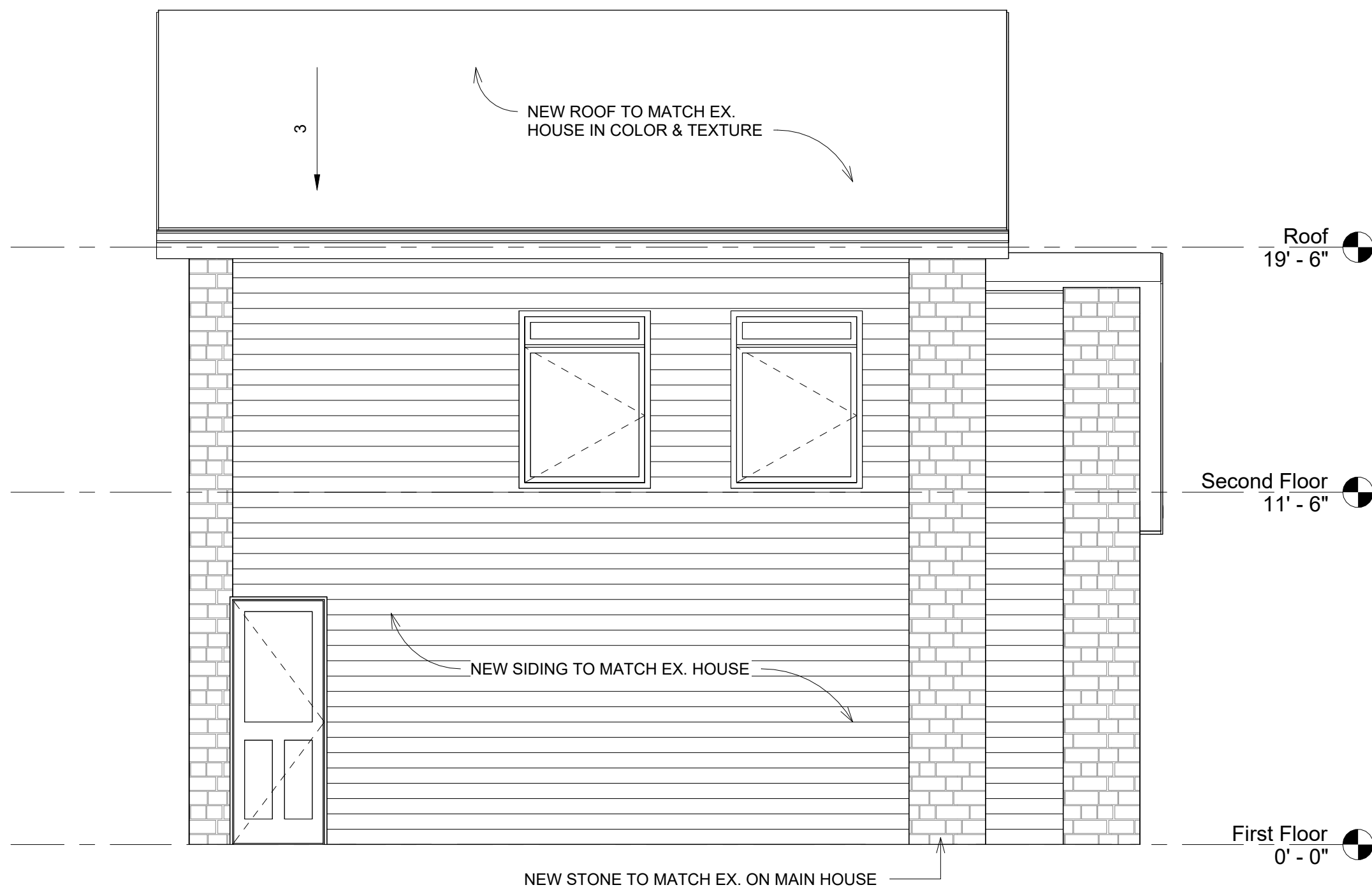
Scale	1/4" = 1'-0"
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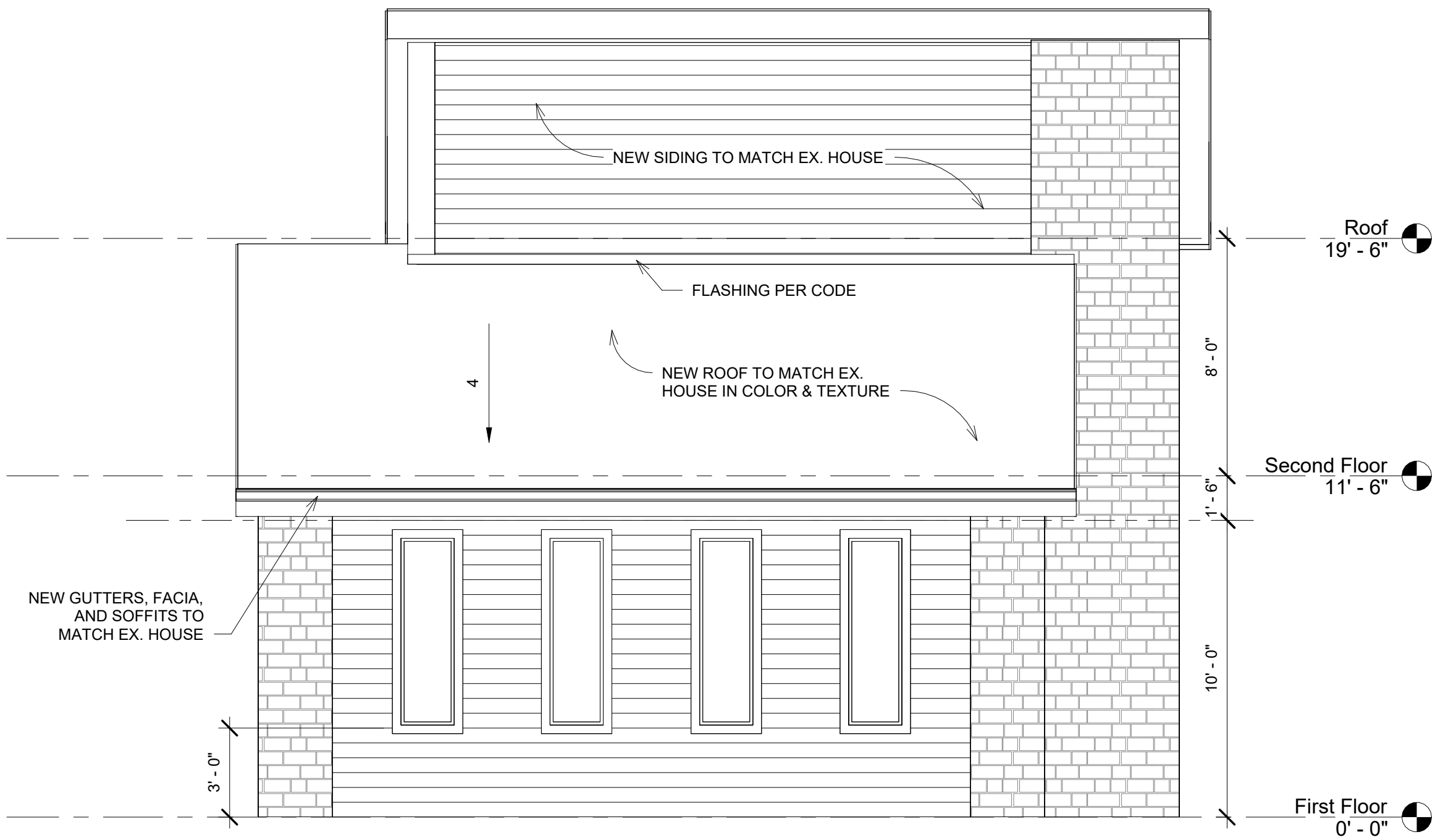
① East
1/4" = 1'-0"



③ West
1/4" = 1'-0"



② North
1/4" = 1'-0"



④ South
1/4" = 1'-0"

REFRAME DESIGN COLLABORATIVE

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VanWaters
Garage
704 Dana Drive
Keller, TX 76248

NOT FOR
CONSTRUCTION

No.	Description	Date

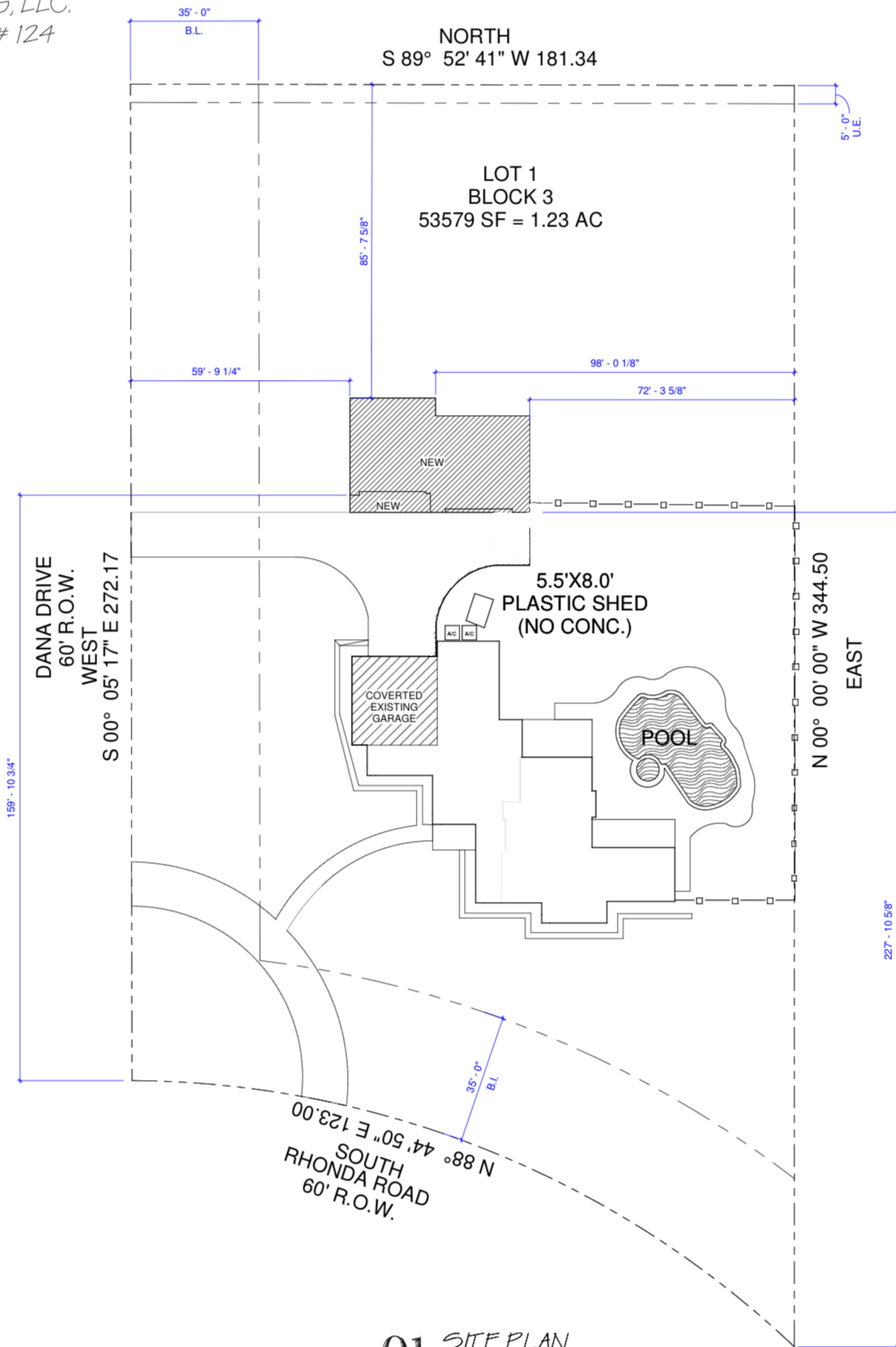
New Garage Elevations

Project number	241007
Date	08/27/2025
Drawn by	AB
Checked by	-

A2

Scale	1/4" = 1'-0"
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KEYING, LLC,
SUITE # 124
243
700
710
023
56-1





Proposal 2025-0022-1

Issue Date July 27, 2025

APPROVED

PREPARED BY

Darrell Lowe

New Perspective Construction Inc.

(817) 771-4571

darrel.lowe@newperspectiveconstruction.com

6908 County Rd 1126B, Godley, TX 76044, USA

PREPARED FOR

Adam Young

Adam Young

A.young0404@yahoo.com

704 Dana Dr, Keller, TX 76248, USA

PROPOSAL DETAILS

704 Dana Dr, Keller, TX 76248, USA

DESCRIPTION

Permitting

Obtain build permits from city, also after foundation is poured it will have to be surveyed again.

Foundation

Foundation will be placed per site plan formed and all beams dug per plans and inspected prior to pour

Rough In Plumbing top out and finish

Rough in for gut line plumbing and water also install conduit for electrical installation of all plumbing for shower and toilet and vanity per code. Also tie into home if possible any other way we might have to go another route we will be completely transparent about what needs done if a sewer has to be installed the the price point will change.

Framing labor and materials

All framing will be on 16"oc all beams will be lvs all joists for second floor will be 2x12 on 12" on center decked with Tongue and groove 3/4" floor decking glued and nailed exterior wall sheathed with zip board plywood and taped roof will be decked with plywood and synthetic felt installed to dry in structure.

Windows

Install 9 fixed windows 1 exterior door and 2 double garage door per plans 2 interior doors

Exterior siding and stone

Per design match vinyl siding on existing home and install stone matching home as close as possible with stone on all 6 corners per design

Roofing

Install architectural shingles matching home

Insulation

Install insulation per code

Dry wall installation

Install drywall tape bed and texture

bath room finish out

Contractor grade to keep cost down Install vanity with sink , toilet and install a shower with LVP flooring

Electrical

Install electrical outlets per code also install a 220 tesla charging area run service from home to a panel in the garage

New Item

SUBTOTAL **\$172,303.97**

TAX **\$0.00**

TOTAL **\$172,303.97**

PAYMENTS STARTING FROM **\$1,025/month** for a \$100,000 loan on **Acorn** [Learn More →](#)

General Conditions:

We have based pricing on forty (40)-hour work (M-F, 8a-5p) week during normal working hours.
New Perspective Construction Inc. has assumed that we have space available for onsite material/equipment storage.
Site will be cleaned and organized during work and upon project completion
We have priced assuming one (1) mobilization and one (1) demobilization; this is contingent upon an agreed upon schedule and coordination of activities
Customers agree to provide unhindered access to the property and work area(s) between the hours of 7am and 6pm Monday through Friday. Customers may elect to change the working hours in writing.
New Perspective Construction Inc. may assess a trip charge of \$150.00 per day if unable to access the property without prior notice by the customer.
Customers agree to refrain from entering the jobsite, unless coordinated with New Perspective Construction Inc., until the job is completed.
Change Orders will be paid at time of approval. Failure to pay the change order will stop all forms of work being done and incur a \$150.00 fee per day until change order is paid.
Signature allows New Perspective Construction Inc. permission to post photos and/or videos of the approved project.

Exclusions:

Existing conditions, structures, sub-structures, and any damage that is hidden and was not previously identified to New Perspective Construction Inc. in writing or during estimation.
Temporary partitions (construction or demolition.)
Previously Completed Plumbing, HVAC, or Electrical work.
Storm Drain Piping.
Excludes furnishing any miscellaneous embedded items (unless noted above.)
Furnishing or setting of any precast structures.
Does not include drainage or sump piping, tank, or associated work.
Equipment Rigging/Setting/Anchoring if not specified above.
We have excluded any equipment pads and/or vibration isolation not specified.
Abatement of any hazardous materials; asbestos, lead paint, etc.
Utility Company(s) impact fees.
Any systems shown on plans that are not detailed above.
Fire sprinkler or alarm systems.
Performance and/or payment bond premium.
Design/code requirements not shown on plans or specifically stated in specifications.
Motor installation, alignment, vibration testing, and belt tensioning if not specifically stated above.
Handling of or working around Pets

LIMITED WARRANTY

ALL WARRANTIES EXPRESSED OR IMPLIED AT LAW ARE LIMITED BY THIS DOCUMENT.
LABOR

ALL LABOR IS GUARANTEED FOR A PERIOD OF (1) ONE YEAR FROM DATE OF INVOICE.

PARTS & MATERIALS INSTALLED

NEW PERSPECTIVE CONSTRUCTION INC. WARRANTS ALL PARTS, FAUCETS, FIXTURES AND MATERIALS PROVIDED BY NEW PERSPECTIVE CONSTRUCTION INC. AGAINST NORMAL SERVICE FAILURE FOR A PERIOD (1) ONE YEAR FROM THE DATE OF INVOICE.

ALL PARTS, FAUCETS, FIXTURES AND MATERIALS PURCHASED AND/OR PROVIDED BY THE CUSTOMER ARE NOT COVERED UNDER THIS WARRANTY AGREEMENT AND WILL BE SUBJECT TO REGULAR CHARGES IF THEY MUST BE REPAIRED AND/OR REPLACED DUE TO BEING DEFECTIVE. ALL REMOVED MATERIALS SHALL BE HAULED AWAY FROM PROPERTY AND DISCARDED UNLESS OTHERWISE SPECIFIED PRIOR TO REMOVAL FROM ITS ORIGINAL LOCATION.

REPAIRS & DRAINS

REPAIR WARRANTIES ARE ONLY ON THE SPECIFIED PART(S) AND AREA(S) OF REPAIR DETAILED IN THIS INVOICE. FAILURE OF ANY ADDITIONAL AREAS, MATERIALS, OR PARTS NOT SERVICED BY NEW PERSPECTIVE CONSTRUCTION INC. WHETHER IT BE CONSEQUENTIAL, SEEN OR UNSEEN WILL NOT BE COVERED UNDER ANY WARRANTY AND SHALL BE SUBJECT TO ADDITIONAL CHARGES TO REPAIR. NEW PERSPECTIVE CONSTRUCTION INC. AND ITS EMPLOYEE'S WILL NOT BE LIABLE FOR ANY DAMAGE AND/OR WATER DAMAGED RESULTING FROM DRAINS BECOMING OBSTRUCTED FROM PLUMBING WHICH FAILS DUE TO DEFECT OR WEAKNESS IN ANY

PART OF THE PROPERTY.

TERMS DUE UPON COMPLETION

PAYMENT IN FULL MUST BE MADE AT TIME OF COMPLETION UNLESS OTHERWISE NOTED IN WRITING. IN SOME CASES, DUE TO COST OF REPAIR AND/OR INSTALL, A DEPOSIT WILL BE REQUIRED TO SCHEDULE. LATE CHARGES AND INTEREST SHALL BE ADDED TO ANY UNPAID BALANCE AT THE RATE ALLOWABLE BY LAW FROM THE DUE DATE UNTIL PAID IN FULL, PLUS REASONABLE COST OF ATTORNEY AND/OR COLLECTION AGENCY FEES INCURRED IN COLLECTION OF ANY SUM DUE. A \$75.00 FEE WILL BE CHARGED FOR ANY RETURNED, BOUNCED OR CANCELED CHECKS.

SHOULD PAYMENT SCHEDULES NOT BE ADHERED TO BY THE CUSTOMER, ALL WORK WILL BE STOPPED AND THE CUSTOMER WILL HAVE AN ASSESSED FEE OF \$150.00 PER DAY THAT WORK IS STOPPED.

YOU AGREE THAT NEW PERSPECTIVE CONSTRUCTION INC. RETAINS TITLE TO ANY PARTS, FAUCETS, FIXTURES, AND MATERIALS FURNISHED UNTIL FINAL PAYMENT IS MADE. IF PAYMENT IS NOT MADE AS AGREED, NEW PERSPECTIVE CONSTRUCTION INC. HAS THE RIGHT TO REMOVE ANY AND ALL MATERIALS PROVIDED BY NEW PERSPECTIVE CONSTRUCTION INC. WITH NO OBLIGATION TO RESTORE TO THE ORIGINAL CONDITION. ANY DAMAGE RESULTING FROM SAID REMOVAL SHALL NOT BE THE RESPONSIBILITY OF NEW PERSPECTIVE CONSTRUCTION INC.

CHANGE ORDERS

Homeowner may make changes to the scope of the work from time to time during the term of this Contract. However, any such change or modification shall only be made by written "Change Order" signed by both parties. Such Change Orders shall become part of this Contract. Homeowner agrees to pay any increase in the cost of the work as a result of a Change Order. In the event the cost of a Change Order is not known at the time a Change Order is executed, New Perspective Construction Inc. shall estimate the cost thereof and Homeowner shall pay the actual cost whether or not it is in excess of the estimated cost.

CANCELLATION

CUSTOMER SHALL BE LIABLE FOR ANY RELATED EXPENDITURES INCURRED AFTER AUTHORIZING WORK CONTRACT TO NEW PERSPECTIVE CONSTRUCTION INC. DUE TO CANCELLATION BY CUSTOMER. THIS SHALL INCLUDE ALL PARTS AND MATERIALS PURCHASED, PERMIT FEES, ADMINISTRATION FEES, SUB-CONTRACTOR DEPOSITS AND THE LIKE OF RESULTING ON BEHALF OF THE WORK CONTRACT.

DEFAULT

The occurrence of any of the following shall constitute a material default under this Contract-

- a. The failure to make a required payment when due.
- b. The insolvency or bankruptcy of either party.
- c. The subjection of any of either party's property to any levy, seizure, general assignment for the benefit of creditors, application or sale for or by any creditor or government agency.
- d. The failure to make available or deliver the Services in the time and manner provided for in this Contract.

ACCESS, EGRESS & EXCAVATION

NEW PERSPECTIVE CONSTRUCTION INC. MAY HAVE TO ENDURE EXISTING PIPING, WATER LINES, ELECTRICAL, DUCTWORK AND THE LIKE OF WHILE WORKING IN ATTIC SPACE TO MAKE REPAIRS TO THE EXISTING HVAC SYSTEM. NEW PERSPECTIVE CONSTRUCTION INC. ADVISES THAT SOMEONE SHOULD BE HOME AND INSIDE THE STRUCTURE AT ALL TIMES DURING THE PROCESS OF REPAIRS. DURING THE REPAIR PROCESS NEW PERSPECTIVE CONSTRUCTION INC. WILL NOT BE LIABLE FOR ANY CONSEQUENTIAL DAMAGES THAT OCCUR FROM PIPING AND/OR ELECTRICAL THAT WAS NOT PREVIOUSLY SECURED ABOVE THE FOUNDATION IN THE WALLS OR OF THE LIKE THAT MAY CAUSE DAMAGE INSIDE THE STRUCTURE. PREMIER PROPERTY RESOURCES WILL NOT BE RESPONSIBLE FOR ANY LANDSCAPING OR SOD REPLACEMENT.

AFTER REPAIRS ARE MADE AND TESTED BY NEW PERSPECTIVE CONSTRUCTION INC., ANY ADJUSTMENTS, REPAIRS, SHIFTING, AND/OR

MODIFICATIONS BY OTHER THAN NEW PERSPECTIVE CONSTRUCTION INC. OF ANY KIND SHALL AND WILL VOID ALL WARRANTIES OF REPAIR(S).

DISCLAIMER

AT NEW PERSPECTIVE CONSTRUCTION., WE CARE ABOUT YOUR PROPERTY. WE TAKE PRIDE IN DOING PROFESSIONAL WORK AND STRIVE FOR YOUR COMPLETE SATISFACTION; HOWEVER, DUE TO THE CONDITION AND INSTALLATION METHODS OF THE EXISTING PLUMBING, HVAC, ELECTRICAL OR STRUCTURAL SYSTEMS AND DUE TO THE OBSTACLES WE MAY HAVE TO ENDURE WE CANNOT AND WILL NOT ACCEPT ANY RESPONSIBILITY FOR DAMAGE (S) THAT OCCURS TO THE EXISTING STRUCTURE, UTILITIES, OR OTHER ITEMS SUCH AS FLOORS, WALLS, CEILINGS, CARPETING, SHRUBS, SPRINKLER SYSTEMS, CONCRETE WALKS, DRIVEWAYS, AND OR ANY OF THE LIKE THAT MAY GET DAMAGED WHETHER SEEN OR UNSEEN DURING THE EXECUTION OF OR RELATED TO THE WORK WHICH WE ARE PERFORMING. YOUR SIGNATURE ON THIS DOCUMENT RELEASES NEW PERSPECTIVE CONSTRUCTION INC. FROM ANY AND ALL LIABILITY OF CONSEQUENTIAL DAMAGES THAT COULD OCCUR. FURTHERMORE, YOUR SIGNATURE ALSO RELEASES NEW PERSPECTIVE CONSTRUCTION INC. FROM ALL DAMAGES DUE TO THE POSSIBILITY OF FLOODING OF YOUR HOME WHEN DRAINING YOUR OLD WATER HEATER, AND OR DAMAGES TO YOUR WALLS OR FLOORS WHEN MOVING OR REMOVING ANY WATER HEATER, REFRIGERATOR, DISHWASHER, WASHING MACHINE, DRYER OR LIKE IN YOUR HOME FOR THE PURPOSE OF COMPLETING YOUR JOB.

NEW PERSPECTIVE CONSTRUCTION INC. RESERVES THE RIGHT TO NEGOTIATE CERTAIN TERMS AND CONDITIONS OF THE OWNERS CONTRACT REQUIREMENTS. OWNER TO CARRY HOMEOWNERS INSURANCE.

"THIS CONTRACT IS SUBJECT TO CHAPTER 27 OF THE TEXAS PROPERTY CODE. THE PROVISIONS OF THAT CHAPTER MAY AFFECT YOUR RIGHT TO RECOVER DAMAGES ARISING FROM A CONSTRUCTION DEFECT. IF YOU HAVE A COMPLAINT CONCERNING A CONSTRUCTION DEFECT AND THAT DEFECT HAS NOT BEEN CORRECTED AS MAY BE REQUIRED BY LAW OR BY CONTRACT, YOU MUST PROVIDE THE NOTICE REQUIRED BY CHAPTER 27 OF THE TEXAS PROPERTY CODE TO THE CONTRACTOR BY CERTIFIED MAIL, RETURN RECEIPT REQUESTED, NOT LATER THAN THE 60TH DAY BEFORE THE DATE YOU FILE SUIT TO RECOVER DAMAGES IN A COURT OF LAW OR INITIATE ARBITRATION. THE NOTICE MUST REFER TO CHAPTER 27 OF THE TEXAS PROPERTY CODE AND MUST DESCRIBE THE CONSTRUCTION DEFECT. IF REQUESTED BY THE CONTRACTOR, YOU MUST PROVIDE THE CONTRACTOR AN OPPORTUNITY TO INSPECT AND CURE THE DEFECT AS PROVIDED BY SECTION 27.004 OF THE TEXAS PROPERTY CODE.

"IMPORTANT NOTICE: You and your contractor are responsible for meeting the terms and conditions of this contract. If you sign this contract and you fail to meet the terms and conditions of this contract, you may lose your legal ownership rights in your home. KNOW YOUR RIGHTS AND DUTIES UNDER THE LAW."

The above specifications, costs, and terms are hereby accepted.



JANTZ GOBLE

August 4, 2025 at 2:55 PM CDT

DATE

PDELTA JOB NUMBER
NT-240147

DALTA JEAN VAN WALTERS

LOT:1 BLOCK:3

COUNTRY PLACE ESTATES
704 DANA DR
KELLER, TEXAS

PLAN
VAN WALTERS GARAGE

DESIGN CRITERIA

GENERAL NOTE FOR JOB:
The foundation and framing for this project have been designed using accepted engineering principles and practices in accordance with the codes and ordinances of the City of: KELLER and the following:
INTERNATIONAL RESIDENTIAL CODE, 2021 EDITION
AMERICAN CONCRETE INSTITUTE
POST-TENSION INSTITUTE
AMERICAN SOCIETY OF CIVIL ENGINEERS
AMERICAN WOOD COUNCIL
AMERICAN SOCIETY OF STEEL CONSTRUCTION
DESIGN LOADS:
 BASIC WIND SPEED: 115mph (3-SECOND GUST)
 SNOW LOAD: 5psf
 FLOOR LIVE LOAD: 40psf
 ATTIC LIVE LOAD: 10psf (U.N.O.)

DATE	REVISION	SHEETS
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DRAWING INDEX

SHEET C5	COVER SHEET
SHEET S1.0	GENERAL NOTES & FOUNDATION DETAILS
SHEET S1.1	FOUNDATION PLANS
SHEET S2.0	SHEAR WALL LAYOUT 1st FLOOR
SHEET S2.1	SHEAR WALL LAYOUT 2nd FLOOR
SHEET S3.0	CEILING JOIST LAYOUT 1st FLOOR
SHEET S3.1	CEILING JOIST LAYOUT 2nd FLOOR
SHEET S4.0	ROOF BRACING
SHEET S6.0	SHEAR WALL DETAILS
SHEET S6.1	ROOF BRACING DETAILS

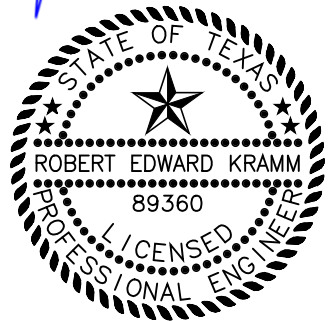
REQUIRED SPECIAL INSPECTIONS

- ☐ FILL COMPACTION TEST
- ☐ PIER PRE-POUR INSPECTION
- ☒ FOUNDATION PRE-POUR
- ☐ CONCRETE COMPRESSION TEST
- ☐ POST-TENSION ELONGATION
- ☒ SHEAR WALL INSTALLATION
- ☐ FIELD WELD CERTIFICATIONS
- ☐ CERAMIC ROOFING INSTALLATIONS
- ☒ FRAMING INSTALLATION



Texas Firm No. 14814

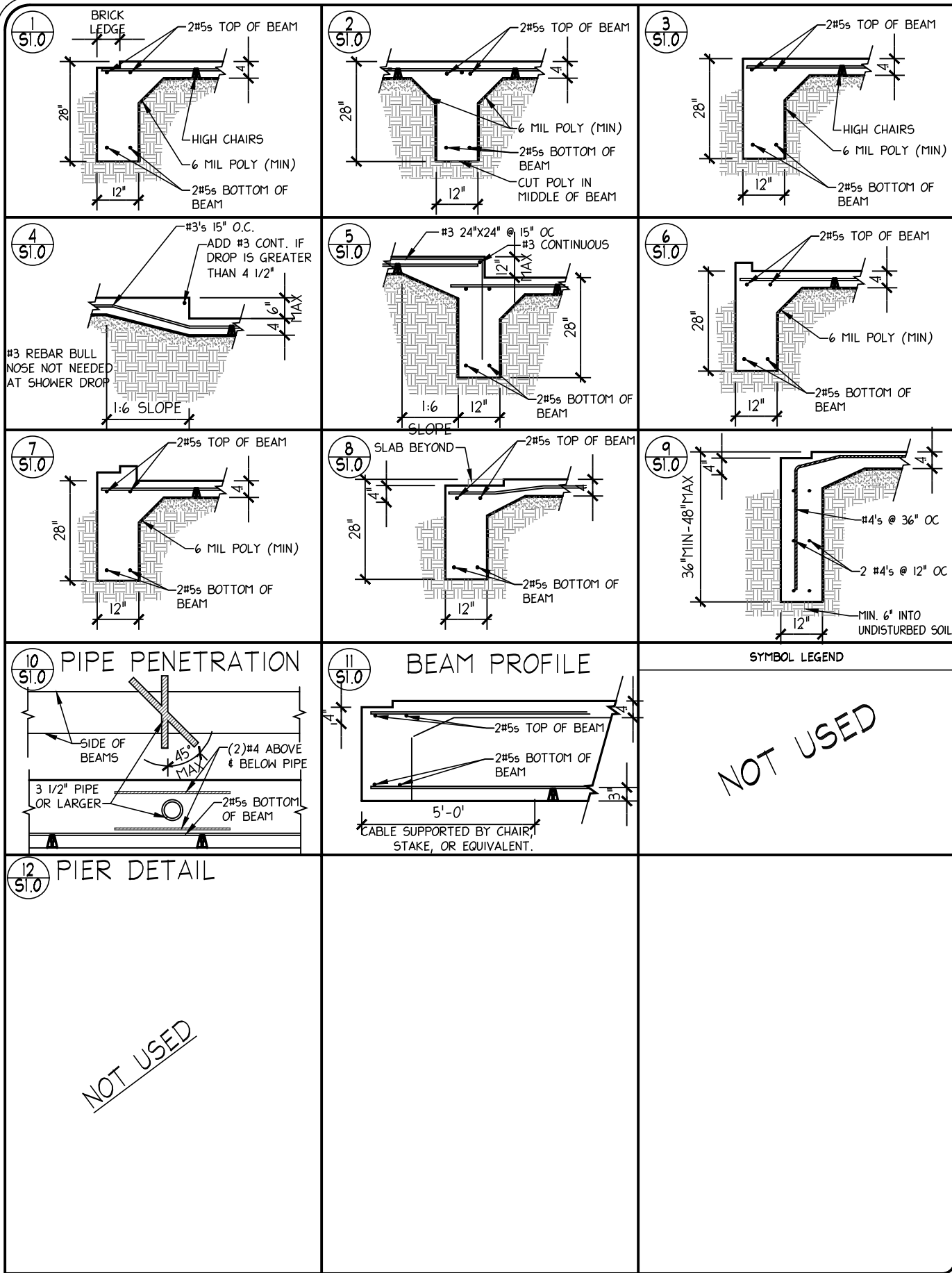
1/9/2025



THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY ROBERT E. KRAMM, P.E. 89360

COVER SHEET

DATE: 01/08/2025
JOB NO. NT-240147
SHEET CS OF 1



Foundation General Notes

DESIGN:

1. This slab-on-ground has been designed using accepted engineering principles and practices in accordance with the recommendations as set forth by the American Concrete Institute, the International Residential Code, 2021 edition, and codes and ordinances of the City of: KELLER Slab is designed to support a structure provided by DALTA JEAN VAN WALTERS & Design Loads as shown on the Cover Sheet. Maximum frost depth is 12". Soil parameters ARE assumed as follows:

Allowable Bearing Pressure: 1500psf PVR: 4.5in. PI: 50%

2. Beam sizes and spacing, strand quantities and locations shown are minimum requirements for the system to adequately meet the performance requirements of the International Code. It should be noted the design goal is not to eliminate all foundation movement, but to limit slab flexure so that differential movement will not cause unreasonable distress.
3. This design does not allow for improper drainage, trees located closer than their mature height to the foundation, improper maintenance, or errors and neglect by the person/persons contracted to follow this design (Improper maintenance is defined as not maintaining consistent soil moisture contents or strengths on all sides of the foundation, whether it be from ponding, erosion, excessive discharge from downspouts or gutters, planter edging, or clogged drainage lines. See note D.4 below).

GENERAL:

1. Form boards are to be set by a surveyor using dimensions from the architectural drawings, ONLY. Dimensions shown on this drawing are for location, size, and quantity of slab stiffening beams and reinforcing placement. P-DELTA ENGINEERING AND MATERIALS, LLC. shall not be held liable for improper form board placement.
2. Contractor shall verify all dimensions, offsets, drops, openings, inserted items and field conditions before construction of slab by coordinating between the architectural drawings and the foundation plans.
3. Plans may be reversed in field.

CONSTRUCTION:

1. All beams should be excavated as follows unless specified otherwise by the geotechnical engineer:
- a. All beams must extend 12" (minimum) into undisturbed soil or properly compacted fill.
 - b. All fill must be compacted to 95 % of standard proctor density A.S.T.M. -D698 and conform to FHA sheet 79G. All fill under slab shall be placed in accordance with geotechnical engineer's specifications. Proper fill compaction shall be verified by the geotechnical engineer.
 - c. Beams bearing on competent rock may be founded at a depth not less than 12" below finished grade. Portions of beams not bearing on competent rock shall be excavated to the design depth or 12" into undisturbed soil, whichever is greater. Boulders, stones, gravel and excavatable materials are not considered competent rock.
 - d. Beams shall be clean and free from water and loose debris.
2. Partial piercing of foundation is not allowed. Only piers specified and shown on the plans are to be installed. Refer to pier details and schedules for size, depths and reinforcing required. Pier tops should be clean and exposed to the beam. Pier reinforcing shall be flush with the top of the pier and shall not extend into the bottom of the beams unless noted otherwise.
3. All final grading shall be done using sand or low plasticity material.
4. Site grading shall attain 5% minimum fall away from structure for first 5' around slab perimeter. Grading and drainage shall be maintained to prevent water collection or ponding adjacent to slab. Builder shall advise home owner of proper foundation maintenance. Moisture content fluctuations to be minimized by appropriate irrigation and landscaping considering seasonal climactic changes of temperature and precipitation.
5. Trenches for deep plumbing lines should not be located directly under beams. Tamping of back fill at plumbing lines is required

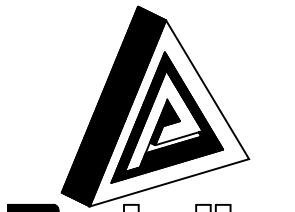
6. Concrete must be well consolidated and vibrated around all corner bars.
7. Wood sole plates at all exterior walls, interior braced wall panels and all wood sill plates shall be anchored to the foundation with anchor bolts spaced at 6 feet (maximum) on center. Bolts shall be 1/2 inch in diameter (minimum) and shall be imbedded 7 inches (minimum) into concrete. A nut and washer shall be tightened in each anchor bolt, with two bolts (minimum) per plate section. End bolts to be located between 4 and 12 inches from each end of each plate section. Interior bearing wall sole plates not part of a braced wall panel shall be anchored with approved fasteners.

MATERIALS:

1. Reinforcing steel will be intermediate grade deformed bars and will conform to A.S.T.M. A615-40.
2. All concrete shall have a minimum compressive strength of 3000 psi at 28 days.

NOTES:

The use of these plans and specifications shall be restricted to the original site for which they were prepared. Any reproduction or distribution is expressly limited to such use. Any other reproduction, reuse or disclosure by any method in whole or in part is prohibited. These specifications contain proprietary information and title remains with P-DELTA ENGINEERING AND MATERIALS, LLC.



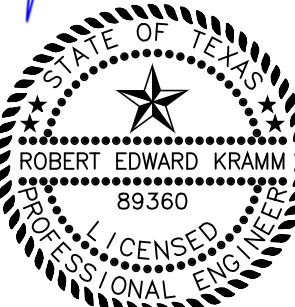
P-delta
ENGINEERING
P-delta Engineering, LLC
Ability+Integrity=Quality

6230 N. Beltline Rd. Suite 300, Irving, TX 75063
Mailing Address: P.O. Box 167631, Irving, TX 75016
Office: 214-496-0575 Fax: 214-496-0577
Texas Firm Registration Number 14814

PLAN
VAN WALTERS GARAGE
BUILDER
DALTA JEAN VAN
WALTERS
ADDRESS

LOT:1 BLOCK:3
COUNTRY PLACE ESTATES
704 DANA DR
KELLER, TEXAS

1/9/2025

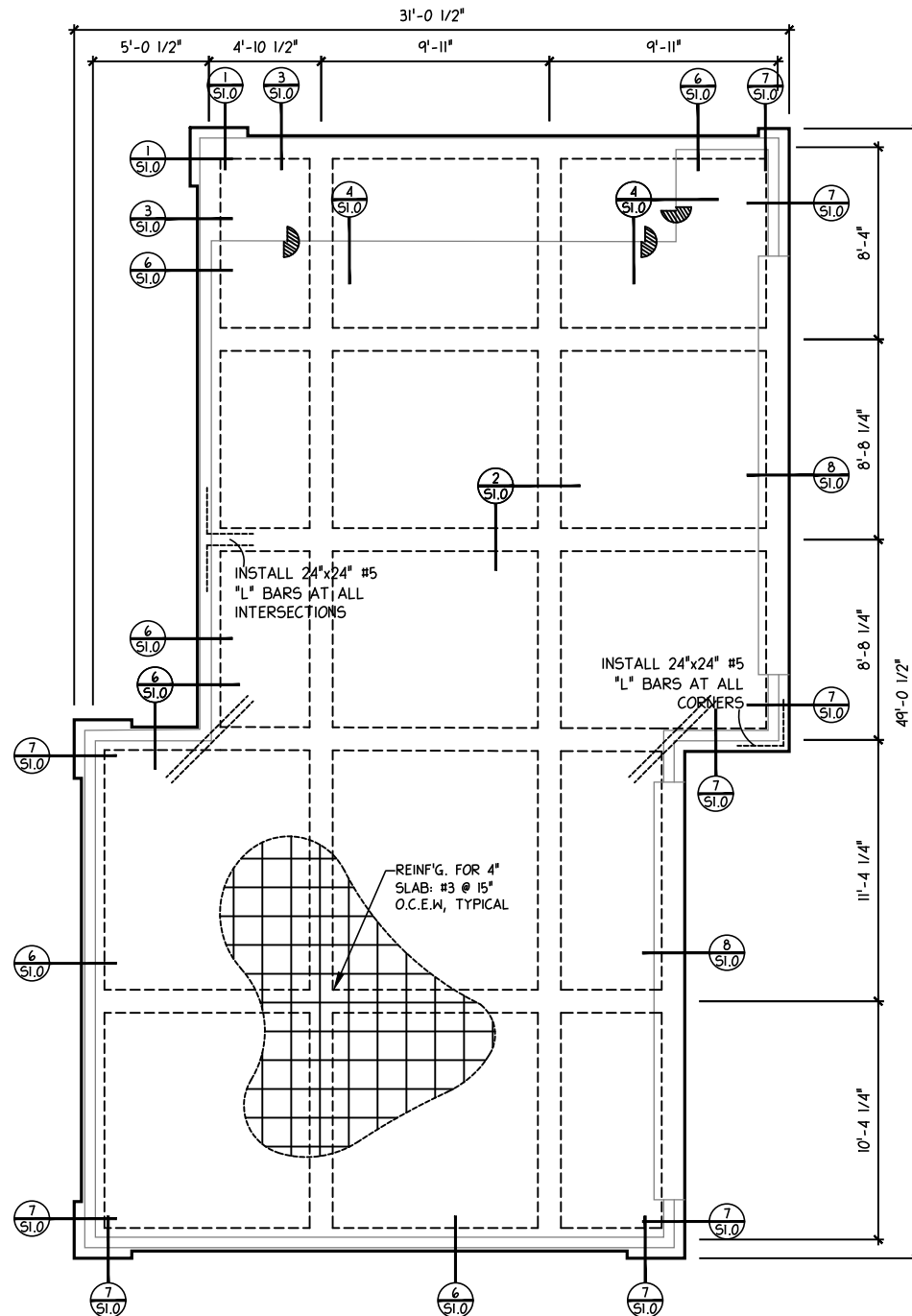


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AUTHORIZED BY ROBERT E. KRAMM, P.E. 89360

FOUNDATION DETAILS

DATE: 01/08/2025
JOB NO. NT-240147 SHEET SI.0 OF 1

SLAB=1266 SQ/FT		BEAM SCHEDULE		SLAB THICKNESS=4
	WIDTH (in)	DEPTH (in)	COMMENTS	
EXTERIOR	12"	28"	2 #5'S TOP & BOTTOM OF ALL EXTERIOR BEAMS.	
INTERIOR	12"	28"	2 #5'S TOP & BOTTOM OF ALL INTERIOR BEAMS.	



SLAB=1266 SQ/FT		BEAM SCHEDULE		SLAB THICKNESS=4	
	WIDTH (in)	DEPTH (in)	COMMENTS		
EXTERIOR	12"	28"	2 #5'S TOP & BOTTOM OF ALL EXTERIOR BEAMS.		
INTERIOR	12"	28"	2 #5'S TOP & BOTTOM OF ALL INTERIOR BEAMS.		



FOUNDATION LAYOUT

SCALE 1/8" = 1'-0"

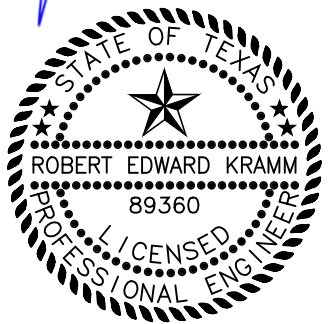


6230 N. Beltline Rd. Suite 300, Irving, TX 75063
Mailing Address: P.O. Box 167631, Irving, TX 75016
Office: 214-496-0575 Fax: 214-496-0577
Texas Firm Registration Number 14814

PLAN
VAN WALTERS GARAGE
BUILDER
DALTA JEAN VAN WALTERS
ADDRESS

LOT:1 BLOCK:3
COUNTRY PLACE ESTATES
704 DANA DR
KELLER, TEXAS

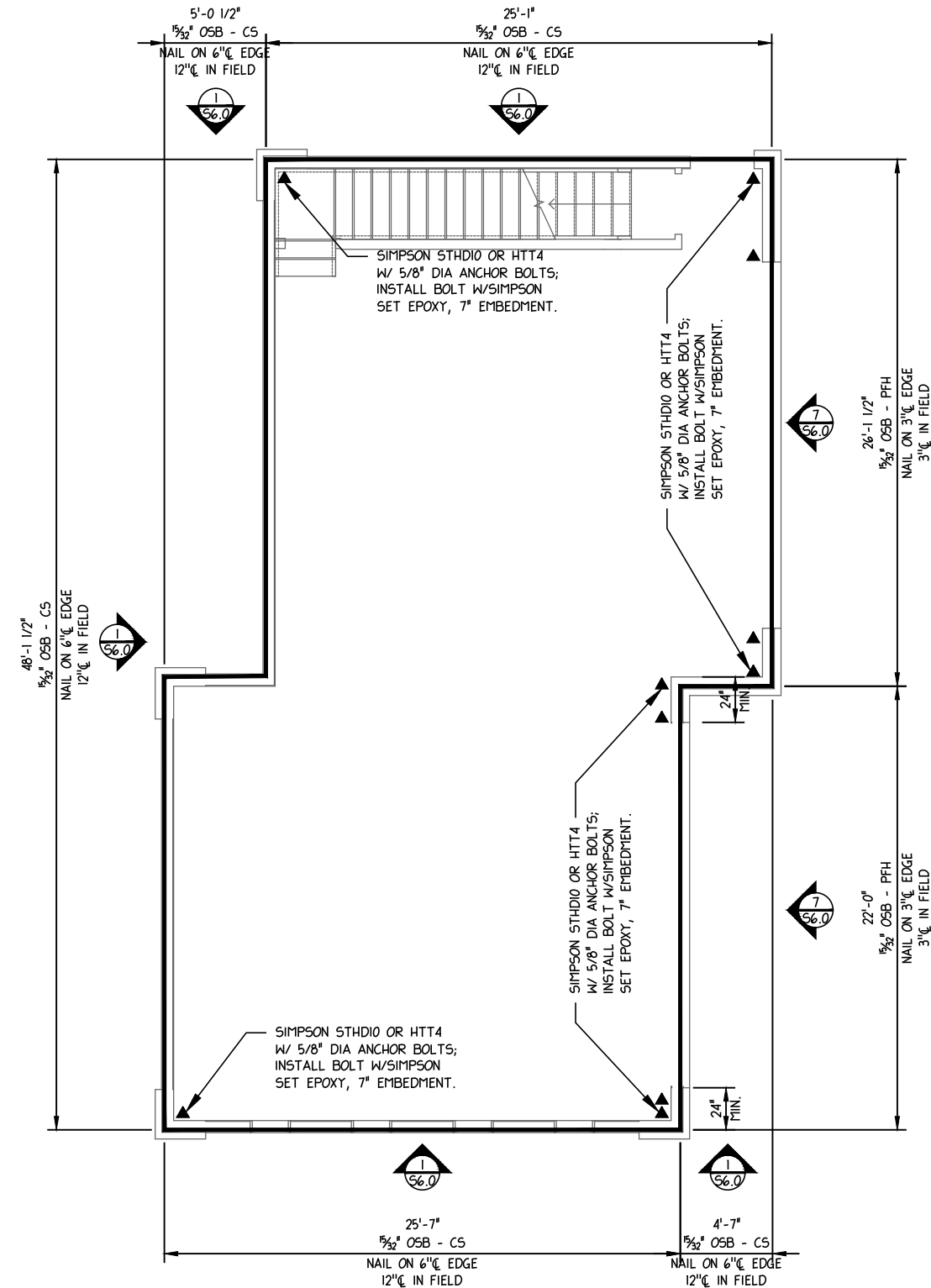
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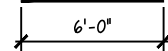
FOUNDATION PLAN

DATE: 01/08/2025
JOB NO. NT-240147 SHEET 51.1 OF 1



NOTES:

- BRACING METHOD USED; WOOD STRUCTURAL PANEL (WSP) AS PER 2021 (IRC) FOR A BASIC WIND SPEED OF 115 mph (3 SECOND GUST).
- DENOTES MINIMUM AMOUNT OF SHEATHING NEEDED AT LOCATION FROM BOTTOM PLATE TO TOP PLATE. SEE NOTE 4. EXTERIOR WALL BRACING FOR NAILING PATTERNS.
- STUDS TO BE SPACED @ 16" O.C. UNLESS NOTED OTHERWISE
- ADD BLOCKING BETWEEN ALL STUDS AT SHEATHING JOINTS.
- ALL HOLD DOWNS ARE TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
- ALTERNATIVE HOLD DOWN FOR SHEARWALLS (SIMPSON STRONG TIE "STHD10")



SHEAR WALL LAYOUT 1st FLOOR

SCALE 1/8" = 1'-0"

▲ SIMPSON STHD10 OR HTT4 W/ 5/8" DIA ANCHOR BOLTS; INSTALL BOLT W/SIMPSON SET EPOXY, 7" EMBEDMENT.

△ INSTALL SIMPSON "TITEN HD" 1/2"x5" BOLTS

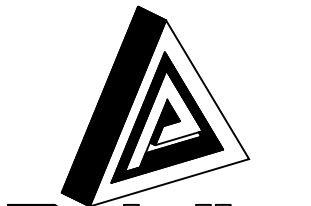
CS-WSP (CONTINUOUS SHEATHING-WOOD STRUCTURAL PANEL) REQUIRES ALL SURFACES FROM BOTTOM PLATE TO TOP PLATE HAVE SHEATHING NAILED AT 6" O.C. OR UNLESS OTHERWISE NOTED.

PFH (PORTAL FRAME WITH HOLD-DOWNS)

WSP (WOOD STRUCTURAL PANEL)

GP (GYPSUM BOARD)

CS-SFB (STRUCTURAL FIBER BOARD)



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Texas Firm Registration Number 14814

PLAN

VAN WALTERS GARAGE

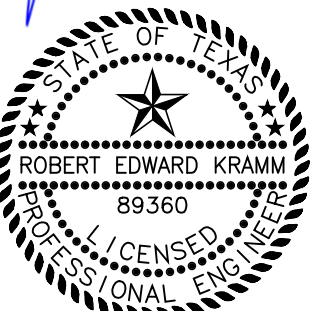
BUILDER

DALTA JEAN VAN WALTERS

ADDRESS

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COUNTRY PLACE ESTATES
704 DANA DR
KELLER, TEXAS

1/9/2025

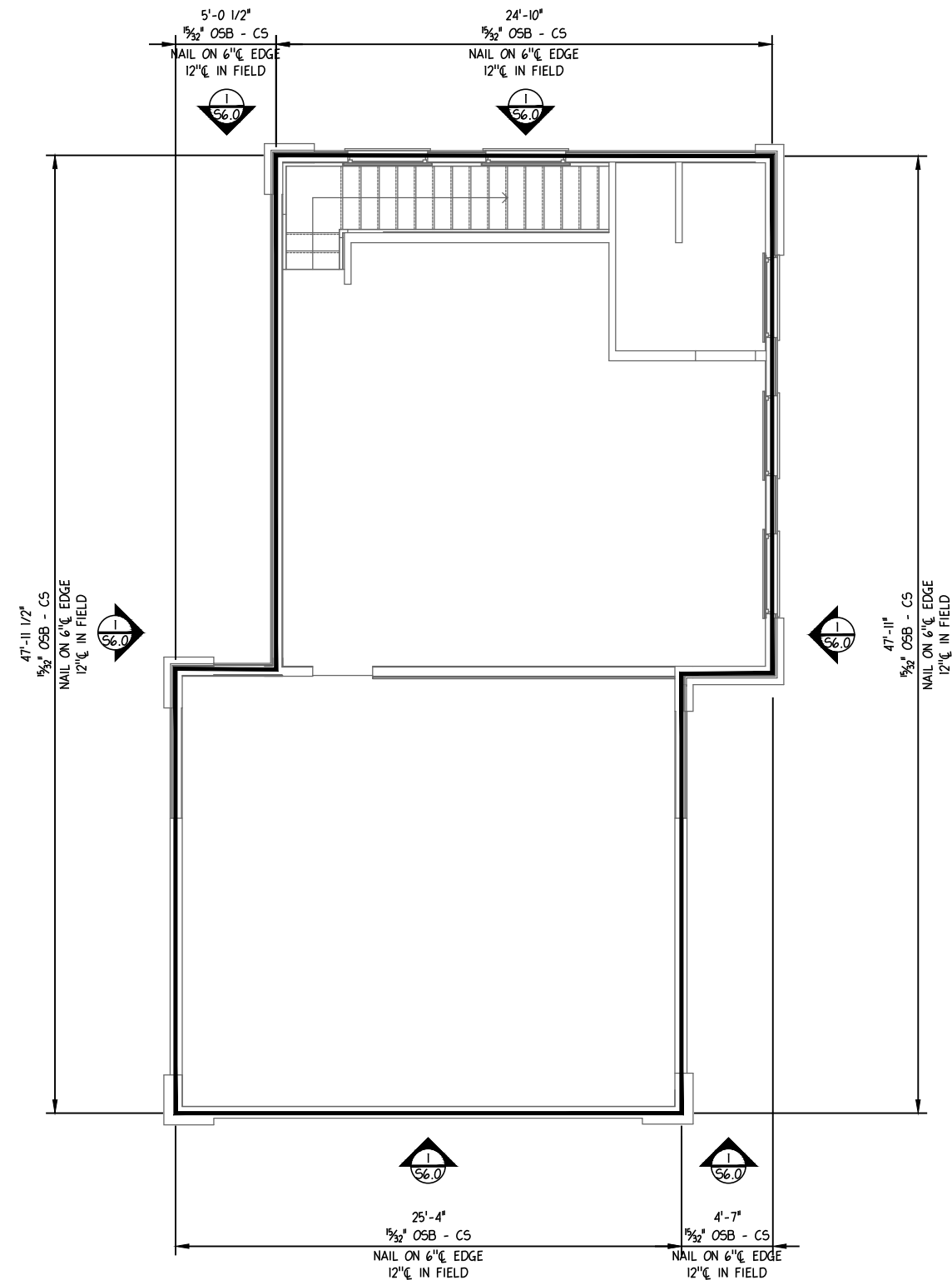


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SHEAR WALL LAYOUT

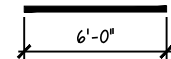
DATE: 01/08/2025

JOB NO. NT-240147 SHEET 52.0 OF 1



NOTES:

- BRACING METHOD USED; WOOD STRUCTURAL PANEL (WSP) AS PER 2021 (IRC) FOR A BASIC WIND SPEED OF 115 mph (3 SECOND GUST).
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- ADD BLOCKING BETWEEN ALL STUDS AT SHEATHING JOINTS.
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- ALTERNATIVE HOLD DOWN FOR SHEARWALLS (SIMPSON STRONG TIE "STHD10")



1
S2.1

SHEAR WALL LAYOUT 2nd FLOOR

SCALE 1/8" = 1'-0"

▲ SIMPSON STHD10 OR HTT4 W/ 5/8" DIA ANCHOR BOLTS; INSTALL BOLT W/SIMPSON SET EPOXY, 7" EMBEDMENT.

△ INSTALL SIMPSON "TITEN HD" 1/2"x5" BOLTS

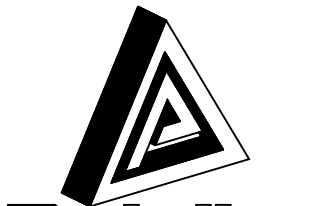
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PFH (PORTAL FRAME WITH HOLD-DOWNS)

WSP (WOOD STRUCTURAL PANEL)

GP (GYPSUM BOARD)

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PLAN

VAN WALTERS GARAGE

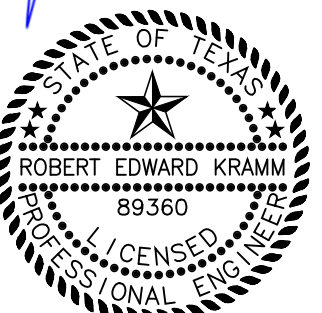
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SHEAR WALL LAYOUT

DATE: 01/08/2025	SHEET
JOB NO. NT-240147	S2.1 OF 1

NOTES

- 1. REFER TO SHEET S6.0 & S6.1 (LATERAL BRACING) FOR FRAMING GENERAL NOTES.
- 2. SEE PLAN FOR SIZE & SPACING FOR ALL CEILING JOISTS.
- 3. ALL CEILING JOIST MUST BE NAILED TO TOP PLATE W/3=8d COMMON NAILS.
- 4. ALL CEILING JOIST MUST BE NAILED TO RAFTER W/9=16d COMMON NAILS.
- 5. JOIST AND BEAM HANGERS, WHERE SPECIFIED, SHALL BE FULLY NAILED PER MANUFACTURER'S CATALOG SPECIFICATIONS.
- 6. MULTIPLE-STUD COLUMN SUPPORTS, WHERE SPECIFIED, SHALL HAVE EACH PLY NAILED TOGETHER WITH 10d COMMONS @ 9" O.C. (2 ROWS OF NAILS REQUIRED FOR 2x6 STUDS).
- 7. DECKING FOR UNINHABITABLE ATTICS WITH LIMITED STORAGE SHALL BE MINIMUM 5/8" PLYWOOD OR OSB, WITH A SPAN RATING THAT MEETS OR EXCEEDS THE CEILING JOIST SPACING.
- 8. MULTIPLE-PLY BEAMS, WHERE SPECIFIED, SHALL HAVE EACH PLY NAILED TOGETHER WITH 2 ROWS OF 16d COMMONS @ 12" O.C. (3 ROWS OF NAILS REQUIRED FOR BEAMS EXCEEDING 12" MIN DEPTH).
- 9. ALL MULTIPLE-PLY BEAM CALLOUTS ON PLANS SHALL BE #2 SOUTHERN PINE UNLESS NOTED OTHERWISE.
- 10. STRONG BACKS MUST BE SAME SIZE AS CEILING JOIST.

REF: INTERNATIONAL RESIDENTIAL CODE 2021

CEILING JOISTS: UNINHABITABLE ATTICS WITH LIMITED STORAGE,
DL= 5psf LL = 10psf, Δ= L/240
DL= 10psf LL = 20psf, Δ= L/240

SPAN CHART FOR #2 D-FIR

	CEILING JOISTS DEAD LOAD = 5 LIVE LOAD = 10				CEILING JOISTS DEAD LOAD = 10 LIVE LOAD = 20			
	12"	16"	19.2"	24"	12"	16"	19.2"	24"
2 x 4	12'-5"	11'-3"	10'-7"	9'-10"	9'-10"	8'-9"	8'-0"	7'-2"
2 x 6	19'-6"	17'-8"	16'-7"	14'-10"	14'-10"	12'-10"	11'-9"	10'-6"
2 x 8	25'-8"	23'-0"	21'-0"	18'-9"	18'-9"	16'-3"	14'-10"	13'-3"
2 x 10	Note-A	Note-A	25'-8"	22'-11"	22'-11"	19'-10"	18'-2"	16'-3"

SPAN CHART FOR #2 SOUTHERN PINE

	CEILING JOISTS DEAD LOAD = 5 LIVE LOAD = 10				CEILING JOISTS DEAD LOAD = 10 LIVE LOAD = 20			
	12"	16"	19.2"	24"	12"	16"	19.2"	24"
2 X 4	11'-10"	10'-9"	10'-2"	9'-3"	9'-3"	8'-0"	7'-4"	6'-7"
2 X 6	18'-8"	16'-11"	15'-7"	13'-11"	13'-11"	12'-0"	11'-0"	9'-10"
2 X 8	24'-7"	21'-7"	19'-8"	17'-7"	17'-7"	15'-3"	13'-11"	12'-6"
2 X 10	26'-0"	25'-7"	23'-5"	20'-11"	20'-11"	18'-1"	16'-6"	14'-9"
2 X 12	26'-0"	26'-0"	25'-4"	23'-0"	23'-0"	20'-3"	18'-8"	16'-10"

Note-A:
SPANS ARE LIMITED TO 26' IN LENGTH.

HEADER SPAN ALLOWANCE
(MAXIMUM)

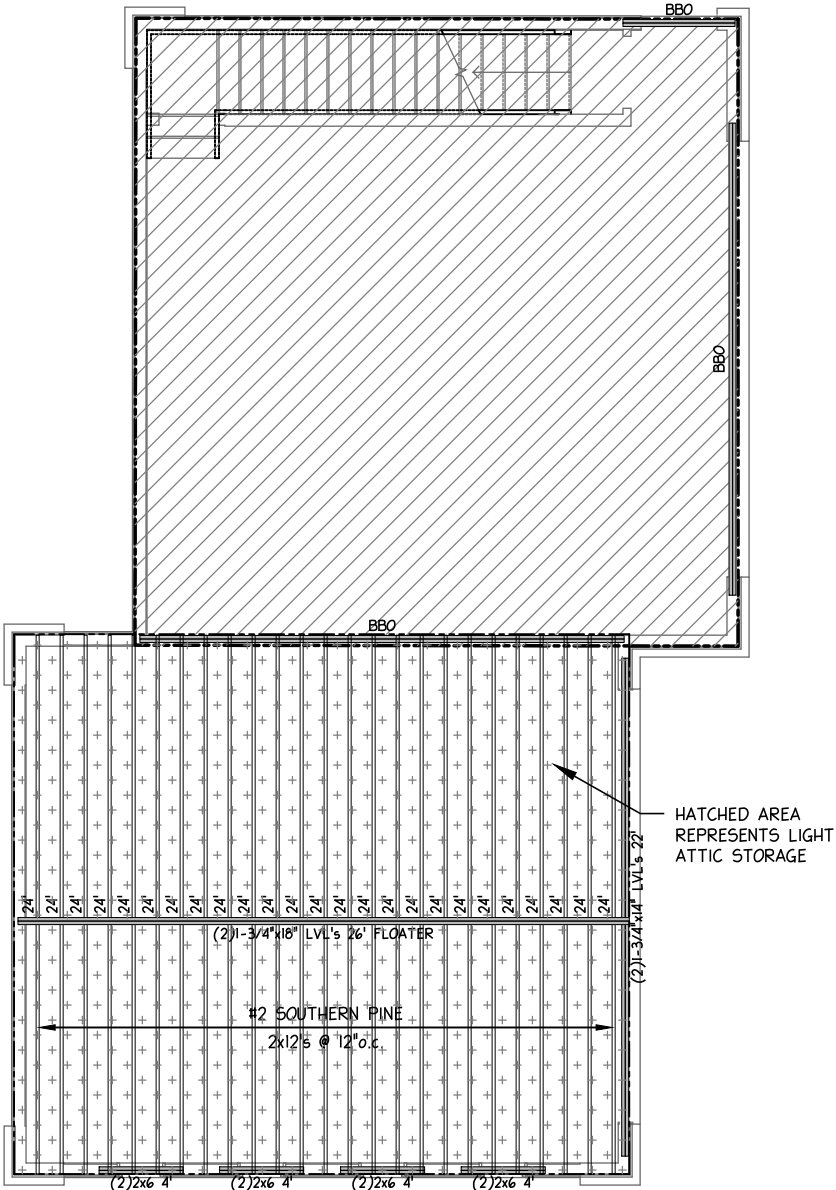
(PLY) SIZE	LOAD BEARING	NON-LOAD BEARING
2=2x6's	-	4ft
2=2x8's	4ft	6ft
2=2x10's	6ft	8ft
2=2x12's	8ft	10ft

LOAD BEARING HEADERS GREATER
THAN 8'-0" NEED TO BE SIZED



X = NUMBER OF STUDS

SIZE OF
STUDS



CEILING JOIST LAYOUT 1st FLOOR

SCALE 1/8" = 1'-0"

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KELLER, TEXAS

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CEILING JOIST LAYOUT

DATE: 01/08/2025

JOB NO. NT-240147

SHEET 53.0 OF 1

NOTES

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7. DECKING FOR UNINHABITABLE ATTICS WITH LIMITED STORAGE SHALL BE MINIMUM 7/8" PLYWOOD OR OSB, WITH A SPAN RATING THAT MEETS OR EXCEEDS THE CEILING JOIST SPACING.
8. MULTIPLE-PLY BEAMS, WHERE SPECIFIED, SHALL HAVE EACH PLY NAILED TOGETHER WITH 2 ROWS OF 16d COMMONS @ 12" O.C. (3 ROWS OF NAILS REQUIRED FOR BEAMS EXCEEDING 12" MIN DEPTH).
9. ALL MULTIPLE-PLY BEAM CALLOUTS ON PLANS SHALL BE #2 SOUTHERN PINE UNLESS NOTED OTHERWISE.
10. STRONG BACKS MUST BE SAME SIZE AS CEILING JOIST.

REF: INTERNATIONAL RESIDENTIAL CODE 2021

CEILING JOISTS: UNINHABITABLE ATTICS WITH LIMITED STORAGE,
DL= 5psf LL = 10psf, Δ= L/240
DL= 10psf LL = 20psf, Δ = L/240

SPAN CHART FOR #2 D-FIR

	CEILING JOISTS DEAD LOAD = 5 LIVE LOAD = 10				CEILING JOISTS DEAD LOAD = 10 LIVE LOAD = 20			
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2 x 6	19'-6"	17'-8"	16'-7"	14'-10"	14'-10"	12'-10"	11'-9"	10'-6"
2 x 8	25'-8"	23'-0"	21'-0"	18'-9"	18'-9"	16'-3"	14'-10"	13'-3"
2 x 10	Note-A	Note-A	25'-8"	22'-11"	22'-11"	19'-10"	18'-2"	16'-3"

SPAN CHART FOR #2 SOUTHERN PINE

	CEILING JOISTS DEAD LOAD = 5 LIVE LOAD = 10				CEILING JOISTS DEAD LOAD = 10 LIVE LOAD = 20			
	12"	16"	19.2"	24"	12"	16"	19.2"	24"
2 X 4	11'-10"	10'-9"	10'-2"	9'-3"	9'-3"	8'-0"	7'-4"	6'-7"
2 X 6	18'-8"	16'-11"	15'-7"	13'-11"	13'-11"	12'-0"	11'-0"	9'-10"
2 X 8	24'-7"	21'-7"	19'-8"	17'-7"	17'-7"	15'-3"	13'-11"	12'-6"
2 X 10	26'-0"	25'-7"	23'-5"	20'-11"	20'-11"	18'-1"	16'-6"	14'-9"
2 X 12	26'-0"	26'-0"	25'-4"	23'-0"	23'-0"	20'-3"	18'-8"	16'-10"

Note-A:
SPANS ARE LIMITED TO 26' IN LENGTH.

HEADER SPAN ALLOWANCE
(MAXIMUM)

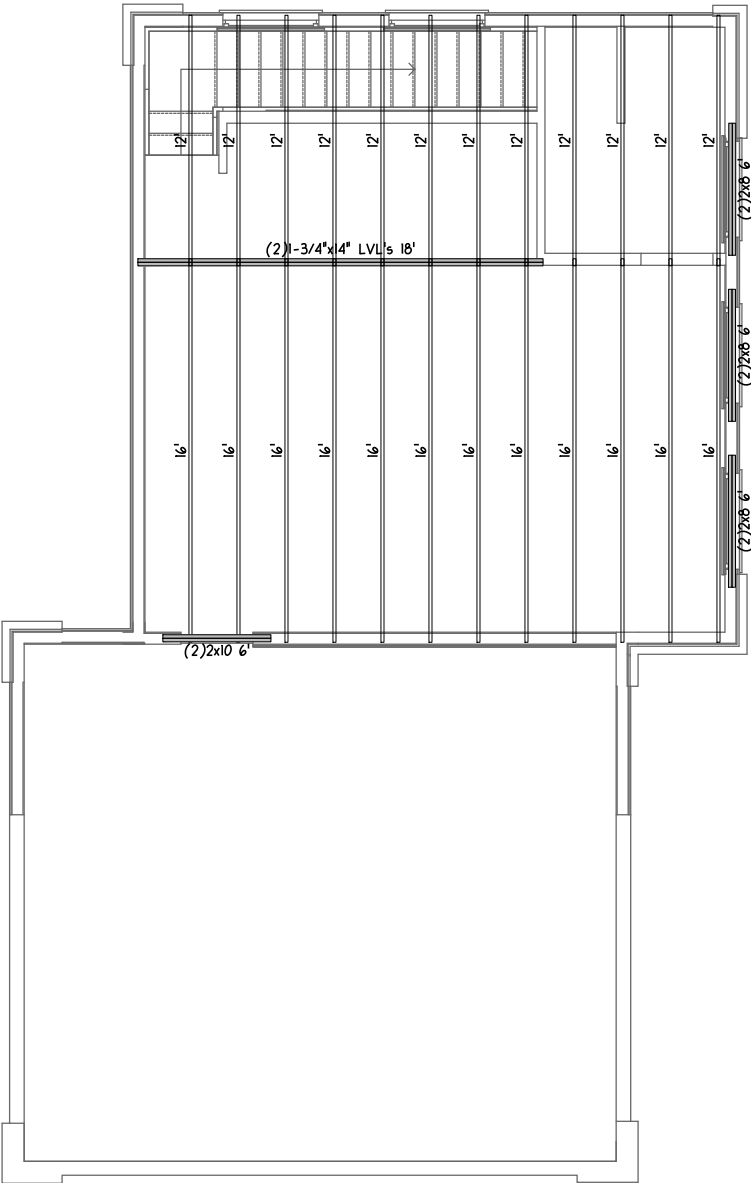
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2=2x8's	4ft	6ft
2=2x10's	6ft	8ft
2=2x12's	8ft	10ft

LOAD BEARING HEADERS GREATER
THAN 8'-0" NEED TO BE SIZED



X = NUMBER OF STUDS

SIZE OF
STUDS



1

CEILING JOIST LAYOUT 2nd FLOOR

SCALE 1/8" = 1'-0"

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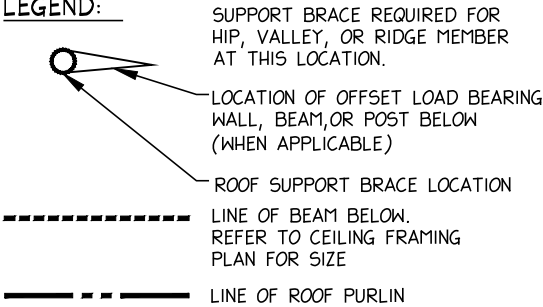
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CEILING JOIST LAYOUT
DATE: 01/08/2025
JOB NO. SHEET
NT-240147 53.1 OF 1

NOTES: ROOF BRACING

1. REFER TO SHEET S6.0 & S6.1 (LATERAL BRACING) FOR FRAMING GENERAL NOTES.
2. RAFTERS, RIDGES, HIPS AND VALLEYS SHALL BE #2 SOUTHERN PINE OR EQUAL.
3. RIDGE, HIP, VALLEY, AND PURLIN LOADS SHALL BE DISTRIBUTED TO WALLS OR BEAMS BELOW BY "T" BRACES OF (2)2x6'S. THE "T" BRACES SHALL BE INSTALLED AT AN ANGLE GREATER THAN 45 DEGREES WITH THE HORIZONTAL. BRACE PURLINS AT 4'-0" O.C.
4. RAFTER SPANS EXCEEDING 11'-0" WITH THE HORIZONTAL SHALL BE BRACED WITH A 2x6 PURLIN.
5. USE 2x6 RAFTERS @ 24" O.C. UNLESS NOTED OTHERWISE. ALTERNATIVELY, USE THE SPAN CHARTS PROVIDED.
6. NAIL RAFTERS TO RIDGE, VALLEY, AND HIP USING 4=16d COMMON TOE NAILED OR 3=16d COMMON FACE NAILED MINIMUM.
7. TOE NAIL ALL CEILING JOIST TO TOP PLATE USING 3 10d COMMON. NO MORE THAN 2 NAILS SHALL BE INSTALLED ON EACH SIDE OF A JOIST WITH 2x4 TOP PLATE AND NO MORE THAN 3 NAILS INSTALLED ON EACH OF JOIST WITH A 2x6 TOP PLATE.
8. ALL SPLICED RAFTERS SHALL BE SPLICED AND BRACED AT PURLIN LOCATION.

LEGEND:



RAFTER SPAN CHART (COMPOSITE SHINGLES)

REFERENCE = INTERNATIONAL RESIDENTIAL CODE 2021

RAFTERS: CEILING NOT ATTACHED TO RAFTERS,
DL = 10 PSF, LL = 20 PSF, $\Delta = L/180$

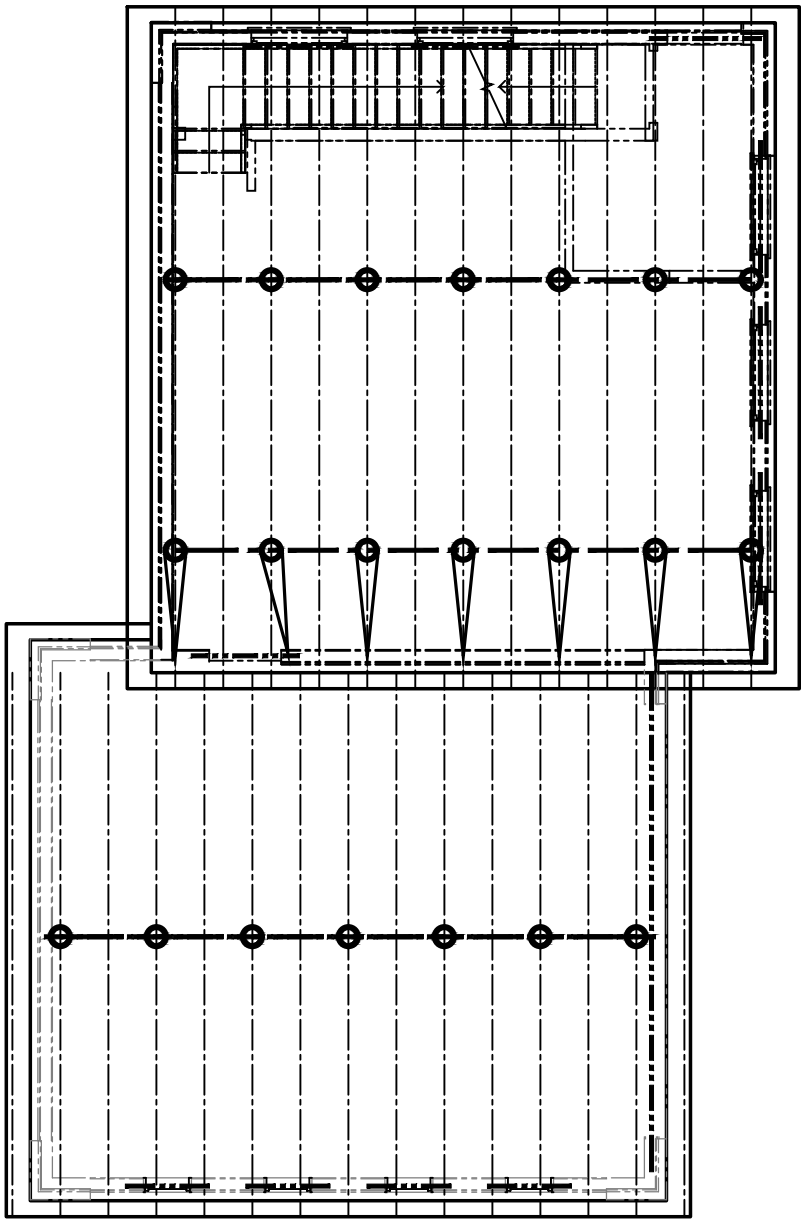
RAFTERS: CEILING ATTACHED TO RAFTERS,
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SPAN CHART FOR #2 D-FIR

	RAFTERS CEILING NOT ATTACHED TO RAFTERS				RAFTERS CEILING ATTACHED TO RAFTERS			
	12"	16"	19.2"	24"	12"	16"	19.2"	24"
2 X 4	10'-10"	9'-10"	8'-11"	8'-0"	9'-10"	8'-11"	8'-5"	7'-10"
2 X 6	16'-7"	14'-4"	13'-1"	11'-9"	15'-6"	14'-1"	13'-1"	11'-9"
2 X 8	21'-0"	18'-2"	16'-7"	14'-10"	20'-5"	18'-2"	16'-7"	14'-10"
2 X 10	25'-8"	22'-3"	20'-2"	18'-2"	25'-8"	22'-3"	20'-3"	18'-2"
2 X 12	22'-6"	25'-9"	23'-6"	21'-0"	26'-0"	25'-9"	23'-6"	21'-0"

SPAN CHART FOR #2 SOUTHERN PINE

	RAFTERS CEILING NOT ATTACHED TO RAFTERS				RAFTERS CEILING ATTACHED TO RAFTERS			
	12"	16"	19.2"	24"	12"	16"	19.2"	24"
2 X 4	10'-4"	9'-0"	8'-2"	7'-4"	9'-5"	8'-7"	8'-1"	7'-4"
2 X 6	15'-7"	13'-6"	12'-3"	11'-0"	14'-9"	13'-5"	12'-3"	11'-0"
2 X 8	19'-8"	17'-1"	15'-7"	13'-11"	19'-6"	17'-1"	15'-7"	13'-11"
2 X 10	23'-5"	20'-3"	18'-6"	16'-6"	23'-5"	20'-3"	18'-6"	16'-6"
2 X 12	26'-0"	23'-10"	21'-9"	19'-6"	26'-0"	23'-10"	21'-9"	19'-6"

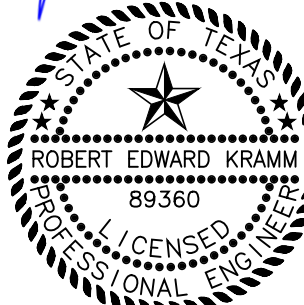


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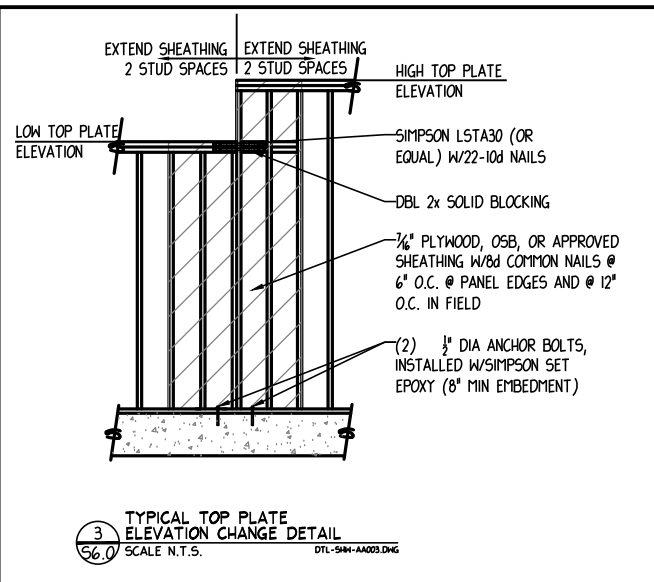
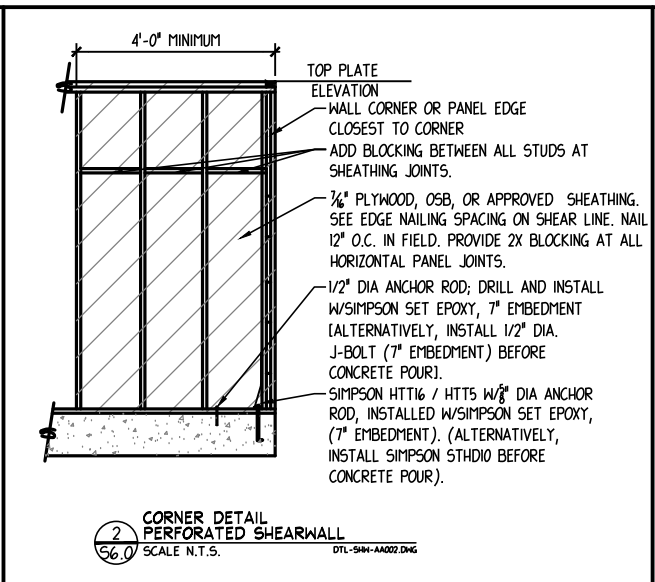
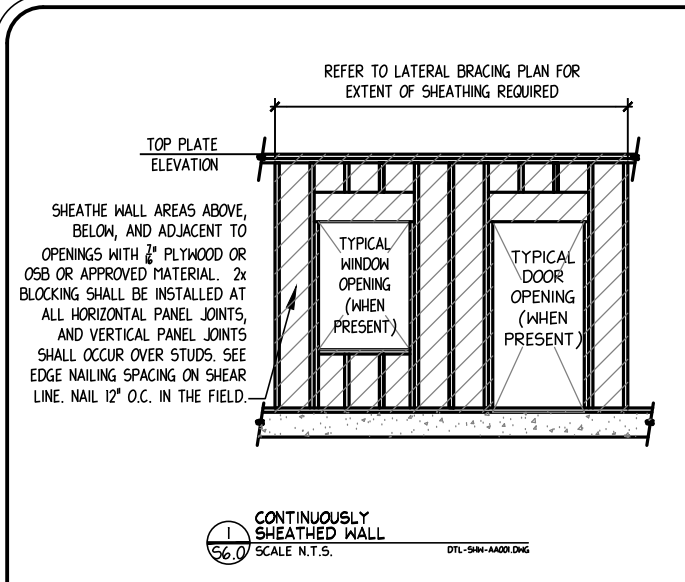
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ROOF BRACING
JOB NO. NT-240147
DATE: 01/08/2025
SHEET S4.0 OF 1

1
S4.0

ROOF BRACING

SCALE 1/8" = 1'-0"



GENERAL NOTES

1. ENGINEERED DESIGN

1.1 THE ENGINEERED DESIGN OF THIS STRUCTURE IS INTENDED TO MEET THE FRAMING ENGINEERED DESIGN REQUIREMENTS BY THE 2021 INTERNATIONAL RESIDENTIAL CODE (IRC).

1.2 PER IRC R301.1.1 THE EXTENT OF THE ENGINEERED DESIGN "SHALL ONLY DEMONSTRATE COMPLIANCE OF THESE NONCONVENTIONAL ELEMENTS WITH OTHER APPLICABLE PROVISIONS AND SHALL BE COMPATIBLE WITH THE PERFORMANCE OF THE CONVENTIONAL FRAMED SYSTEMS."

1.3 ITEMS NOT COVERED ON THESE DRAWINGS SHALL MAINTAIN STRICT COMPLIANCE WITH THE 2021 IRC.

2. WOOD SPECIFICATIONS

2.1 ALL STUDS SHALL BE SPF STUD GRADE OR EQUIVALENT.

2.2 BOTTOM PLATES SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE.

2.3 TOP PLATES, RAFTERS, AND JOISTS SHALL BE SOUTHERN YELLOW PINE #2 WITH A MODULUS OF ELASTICITY, $E=1,600,000$ psi UNLESS NOTED OTHERWISE.

3. EXTERIOR WALL BRACING

3.1 THIS SHEET REPRESENTS THE EXTENT OF THE LATERAL BRACING WHICH NEEDS TO BE INSTALLED TO COMPLY WITH SECTION R602.10.2 OF THE IRC. THERE ARE AREAS WHICH DO NOT CONFORM TO THIS SECTION. ENGINEERED SOLUTIONS AS SHOWN ARE PROVIDED TO ENSURE ADEQUATE PERFORMANCE WITH THE SYSTEM.

3.2 ALL STRUCTURAL PANEL SHEATHING, LOCATED AS SHOWN ON THE PLAN, SHALL BE 7/16" THICK PLYWOOD OR OSB. PANELS SHALL BE SECURED TO FRAMING WITH 8d COMMONS SPACED AT 4" O.C. AROUND THE EDGE AND 12" O.C. IN THE FIELD. UNLESS NOTED OTHERWISE.

3.3 A 2x HORIZONTAL BLOCKING MEMBER SHALL BE INSTALLED AT ALL HORIZONTAL JOINTS FOR STRUCTURAL PANEL WOOD SHEATHING (W/2=16D COMMON NAILS AT EACH END). THE BRACING PLAN AS SHOWN ON THIS SHEET SHALL BE REFERRED TO FOR THE BRACING LOCATIONS.

3.4 IF SIMPSON STRONGWALLS ARE TO BE USED, CONSIDERATION SHALL BE GIVEN TO PLACING THE ORDER WITH APPROPRIATE LEAD TIME (POSSIBLY AS MUCH AS 2 WEEKS) AS ALL PRODUCTS MAY NOT BE IN STOCK.

3.5 WHEN DRILLING INTO THE SLAB FOR HOLD DOWNS OR ANCHOR BOLTS, CARE SHOULD BE TAKEN TO AVOID DAMAGE OF POST-TENSIONED CABLES.

3.6 ALL OTHER EXTERIOR WALL SHEATHING MAY BE OF ANY APPROVED MATERIAL. REFER TO MANUFACTURER FOR INSTALLATION INSTRUCTIONS.

3.7 WOOD STRUCTURAL PANELS SHALL CONFORM TO DOC P5 1 OR DOC P5 2 OR, WHEN MANUFACTURED IN CANADA, CSA 0437 OR CSA 0325. ALL PANELS SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY AN APPROVED AGENCY.

3.8 WOOD SOLE PLATES AT ALL EXTERIOR WALLS ON MONOLITHIC SLABS, WOOD SOLE PLATES OF BRACED WALL PANELS AT RESIDENTIAL INTERIORS ON MONOLITHIC SLABS AND ALL WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH ANCHOR BOLTS SPACED A MAXIMUM OF 6 FEET ON CENTER. BOLTS SHALL BE AT LEAST 1/2 INCH IN DIAMETER AND SHALL EXTEND A MINIMUM OF 7 INCHES INTO CONCRETE. A NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12 INCHES OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION. INTERIOR BEARING WALL SOLE PLATES ON MONOLITHIC SLAB FOUNDATION THAT ARE NOT PART OF A BRACED WALL PANEL SHALL BE POSITIVELY ANCHORED WITH APPROVED FASTENERS.

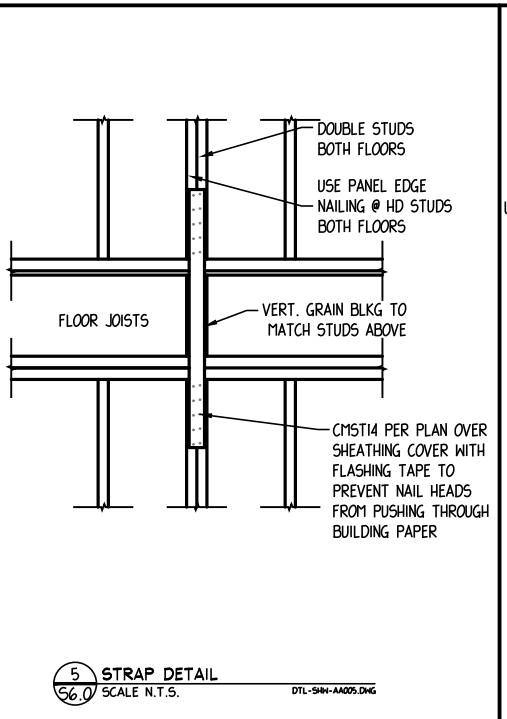
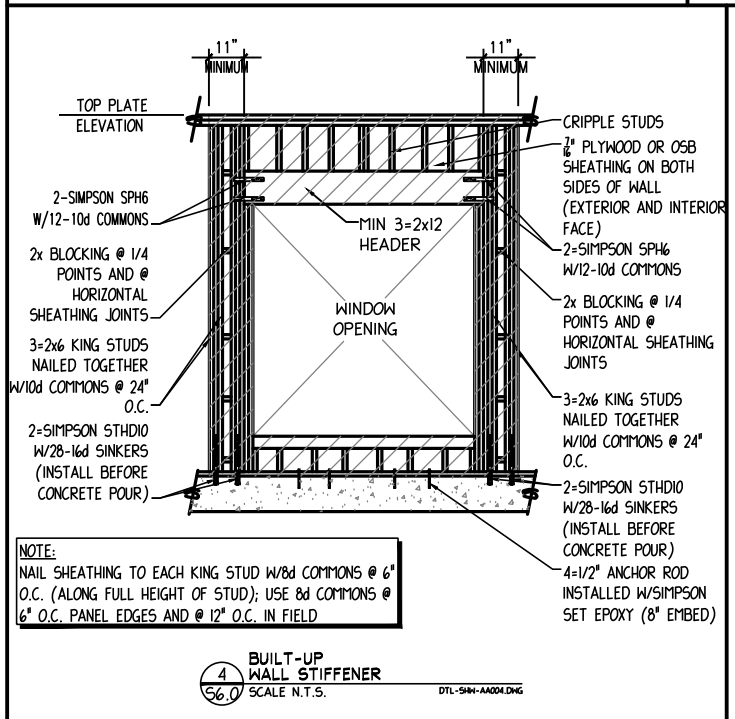


Diagram 6: Elevation View Exterior Column. Shows a cross-section of a wall with a column detail. Labels include: HUC2xTF (x=DEPTH OF JOIST), POST COLUMN, "T" INTERSECTION POST CAP SEE SCHEDULE, "L" INTERSECTION POST CAP SEE SCHEDULE, POST BASE SEE SCHEDULE, USE PRESSURE TREATED LUMBER WHEN WOOD IS PERMANENTLY EXPOSED TO THE ENVIRONMENT, 5/8" ANCHOR ROD INSTALLED WITH SIMPSON SET EPOXY (4" EMBEDMENT).

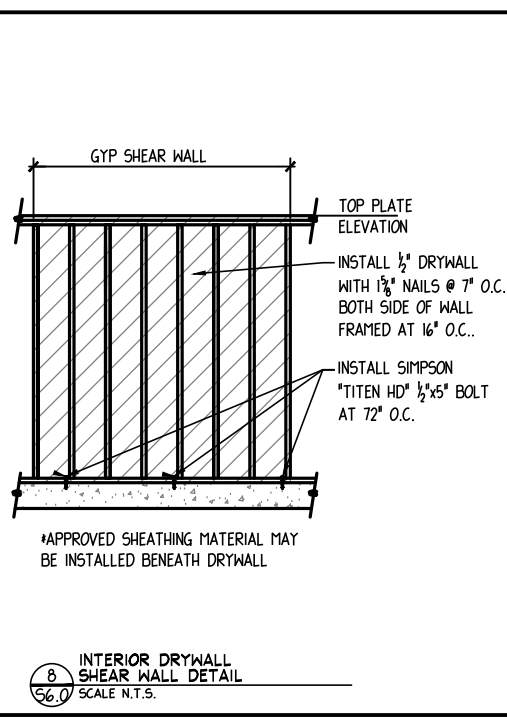
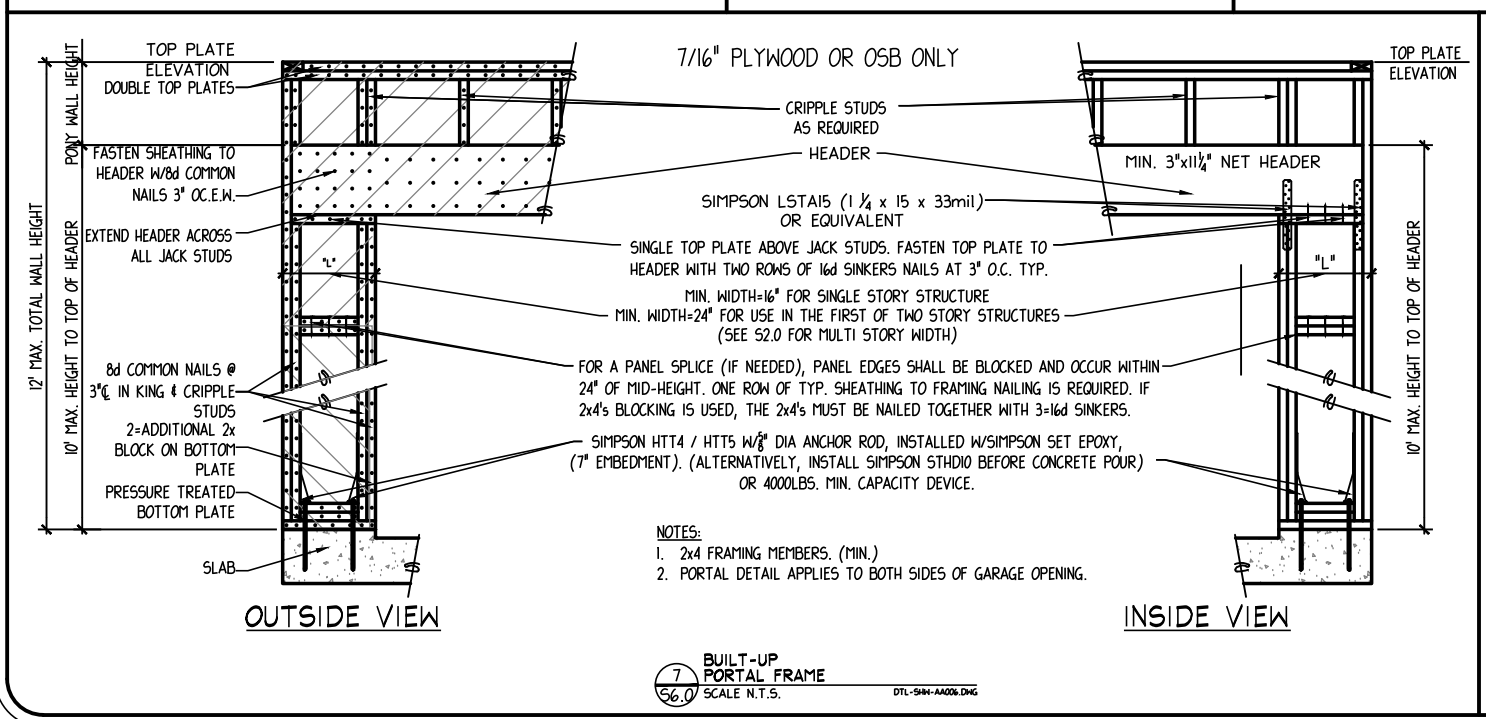
POST SIZE	RECOMMENDED BASE*	RECOMMENDED CAP*	"T" CAP	"L" CAP
4 x 4	ABA44Z, ABU44, ABW44Z	BC4, LCE4, ACA	AC4, LP4Z	LCE4
6 x 6	ABA66Z, ABU66, ABW66Z	BC6, LCE4, AC6	AC6, LPC6Z	LCE4
8 x 8	ABU88	BC8, LCE4, PC88	BC8, PC88, CC88	LCE4
10 x 10	CB1010	THROUGH BOLTS	ACE, THROUGH BOLTS	THROUGH BOLTS
12 x 12	CB1212	THROUGH BOLTS	ACE, THROUGH BOLTS	THROUGH BOLTS

* OR EQUIVALENT

NOTES:

1. USE SIMPSON Z-MAX FINISH or USP EQUIVALENT FOR POST CONNECTORS WITH PERMANENT EXTERIOR EXPOSURE.

2. USE PRESSURE TREATED LUMBER WHEN WOOD IS PERMANENTLY EXPOSED TO THE ENVIRONMENT.



NOTE: THE ELEVATIONS SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY AND MAY DIFFER FROM ACTUAL CONDITIONS

NOTES:

1. BRACING METHOD USED; WOOD STRUCTURAL PANEL (WSP) AS PER 2021 IRC R602.10.2

2. DENOTES MINIMUM AMOUNT OF SHEATHING NEEDED AT LOCATION FROM BOTTOM PLATE TO TOP PLATE. SEE NOTE 4. EXTERIOR WALL BRACING FOR NAILING PATTERNS.

3. ADD BLOCKING BETWEEN ALL STUDS AT SHEATHING JOINTS.

4. ALL HOLD DOWNS ARE TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

5. ALTERNATIVE HOLD DOWN FOR SHEARWALLS (SIMPSON STRONG TIE "STHD10")

CS-WSP (CONTINUOUS SHEATHING-WOOD STRUCTURAL PANEL) REQUIRES ALL SURFACES FROM BOTTOM PLATE TO TOP PLATE HAVE SHEATHING NAILED AT 6" O.C. OR UNLESS OTHERWISE NOTED.

PFH (PORTAL FRAME WITH HOLD-DOWNS)

WSP (WOOD STRUCTURAL PANEL)

GP (GYPSUM BOARD)

P-delta
ENGINEERING
P-delta Engineering, LLC
Ability+Integrity=Quality
6230 N. Beltline Rd. Suite 300, Irving, TX 75063
Mailing Address: P.O. Box 167631, Irving, TX 75016
Office: 214-496-0575 Fax: 214-496-0577
Texas Firm Registration Number 14814

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BUILDER
DALTA JEAN VAN WALTERS
ADDRESS
LOT:1 BLOCK:3
COUNTRY PLACE ESTATES
704 DANA DR
KELLER, TEXAS

1/9/2025

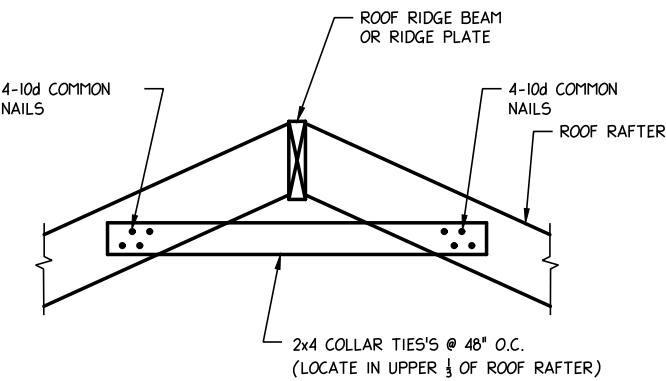
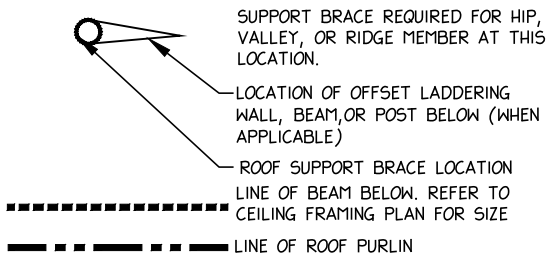
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT E. KRAMM, P.E. 89360

DATE: 01/08/2025
JOB NO. NT-240147
SHEET 56.0 OF 1

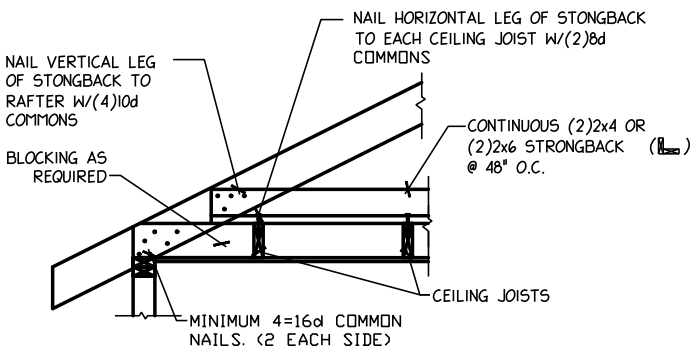
NOTES; ROOF BRACING

1. REFER TO SHEET S6.0 (LATERAL BRACING DETAILS) FOR FRAMING GENERAL NOTES.
2. RAFTERS, RIDGES, HIPs AND VALLEYS SHALL BE #2 SOUTHERN PINE OR EQUAL.
3. RIDGE, HIP, VALLEY, AND PURLIN LOADS SHALL BE DISTRIBUTED TO WALLS OR BEAMS BELOW BY "T" BRACES OF (2)2x6'S. THE "T" BRACES SHALL BE INSTALLED AT AN ANGLE GREATER THAN 45 DEGREES WITH THE HORIZONTAL. BRACE PURLINS AT 4'-0" O.C.
4. RAFTER SPANS EXCEEDING 12'-0" WITH THE HORIZONTAL SHALL BE BRACED WITH A 2x6 PURLIN.
5. USE 2x6 RAFTERS @ 24" O.C. UNLESS NOTED OTHERWISE. ALTERNATIVELY, USE THE SPAN CHARTS PROVIDED.
6. T-BRACES ARE TO BE BUILT IN ACCORDANCE W/ THE T-BRACE CHART ON S6.1.

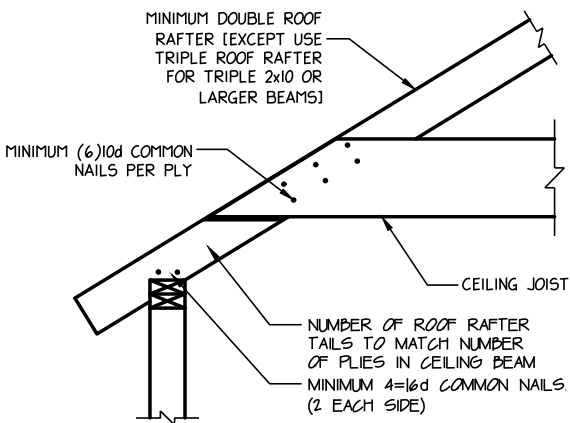
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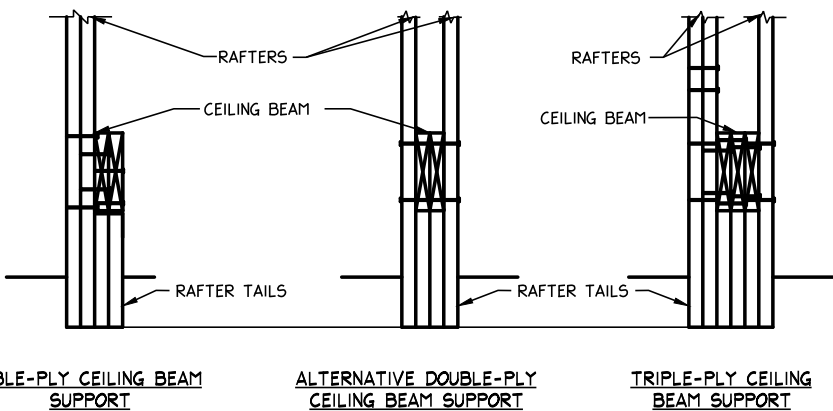
1
S6.1
TYPICAL COLLAR TIE CONNECTION DETAIL
SCALE N.T.S. DTL-RFB-AA001.DWG



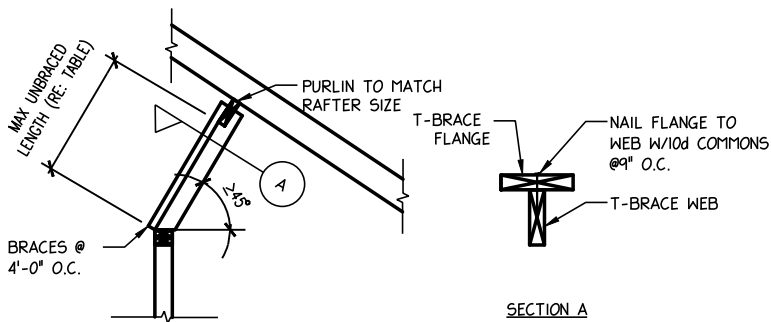
2
S6.1
CEILING JOIST PERPENDICULAR TO ROOF RAFTERS
SCALE N.T.S. DTL-RFB-AA006.DWG



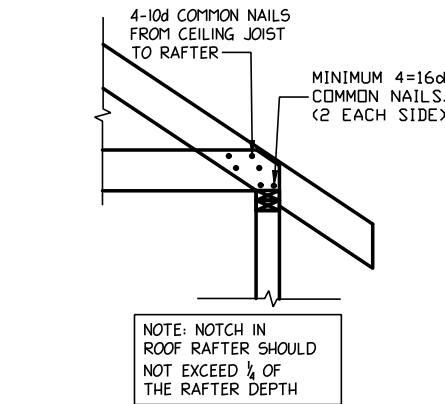
4
S6.1
ROOF SUPPORT JOIST DETAIL
SCALE N.T.S. DTL-RFB-AA004.DWG



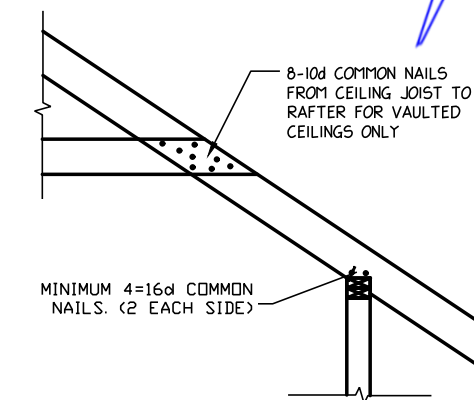
ALTERNATIVE DOUBLE-PLY CEILING BEAM SUPPORT
TRIPLE-PLY CEILING BEAM SUPPORT



5
S6.1
TYPICAL "T" BRACE ROOF PURLIN SUPPORT DETAIL
SCALE N.T.S. DTL-RFB-AA007.DWG



3
S6.1
TYPICAL ROOF RAFTER ATTACHMENT TO TOP PLATE
SCALE N.T.S. DTL-RFB-AA003.DWG



7
S6.1
TYPICAL DETAIL AT VAULTED CEILING
SCALE N.T.S. DTL-RFB-AA002.DWG

SIMPSON STRONG-TIE
JOIST HANGER SCHEDULE

STANDARD					
JOIST SIZE	HANGER SIZE	JOIST SIZE	HANGER SIZE	JOIST SIZE	HANGER SIZE
2x6	U26, LU26	(2)2x6	HUS26-2	(3)2x6	LUS26-3
2x8	U26, LU28	(2)2x8	HUS28-2	(3)2x8	LUS28-3
2x10	U210	(2)2x10	HUS210-2	(3)2x10	LUS210-3
2x12	U210	(2)2x12	HUS212-2	(3)2x12	LUS212-3
LVL's					
JOIST SIZE	HANGER SIZE	JOIST SIZE	HANGER SIZE	HGU5.62-SDS	
(2) 1 3/4 x 11 7/8 LVL's	HB3.56/11.88	(3) 1 3/4 x 11 7/8 LVL's			
(2) 1 3/4 x 14 LVL's	HB3.56/14	(3) 1 3/4 x 14 LVL's			
(2) 1 3/4 x 16 LVL's	HB3.56/16	(3) 1 3/4 x 16 LVL's			
(2) 1 3/4 x 18 LVL's	HB3.56/18	(3) 1 3/4 x 18 LVL's			
(2) 1 3/4 x 20 LVL's	HB3.56/20	(3) 1 3/4 x 20 LVL's			
(2) 1 3/4 x 24 LVL's	HB3.56/24	(3) 1 3/4 x 24 LVL's			

T-BRACE		
UNBRACED LENGTH	FLANGE SIZE	WEB SIZE
UP TO 6'-0"	---	2x4
UP TO 10'-0"	2x4	2x4
UP TO 16'-0"	2x4	2x6
UP TO 20'-0"	2x6	2x6
UP TO 26'-0"	2x6	(2)2x6

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