

# MEDICAL OFFICE AT 377 & MT. GILEAD

**CENTER STAGE LOT 10, BLOCK A  
KELLER, TEXAS**



DEVELOPED BY:



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CITY COUNCIL PLACE 3

TAG GREEN  
CITY COUNCIL PLACE 4

CHRIS WHATLEY  
CITY COUNCIL PLACE 5

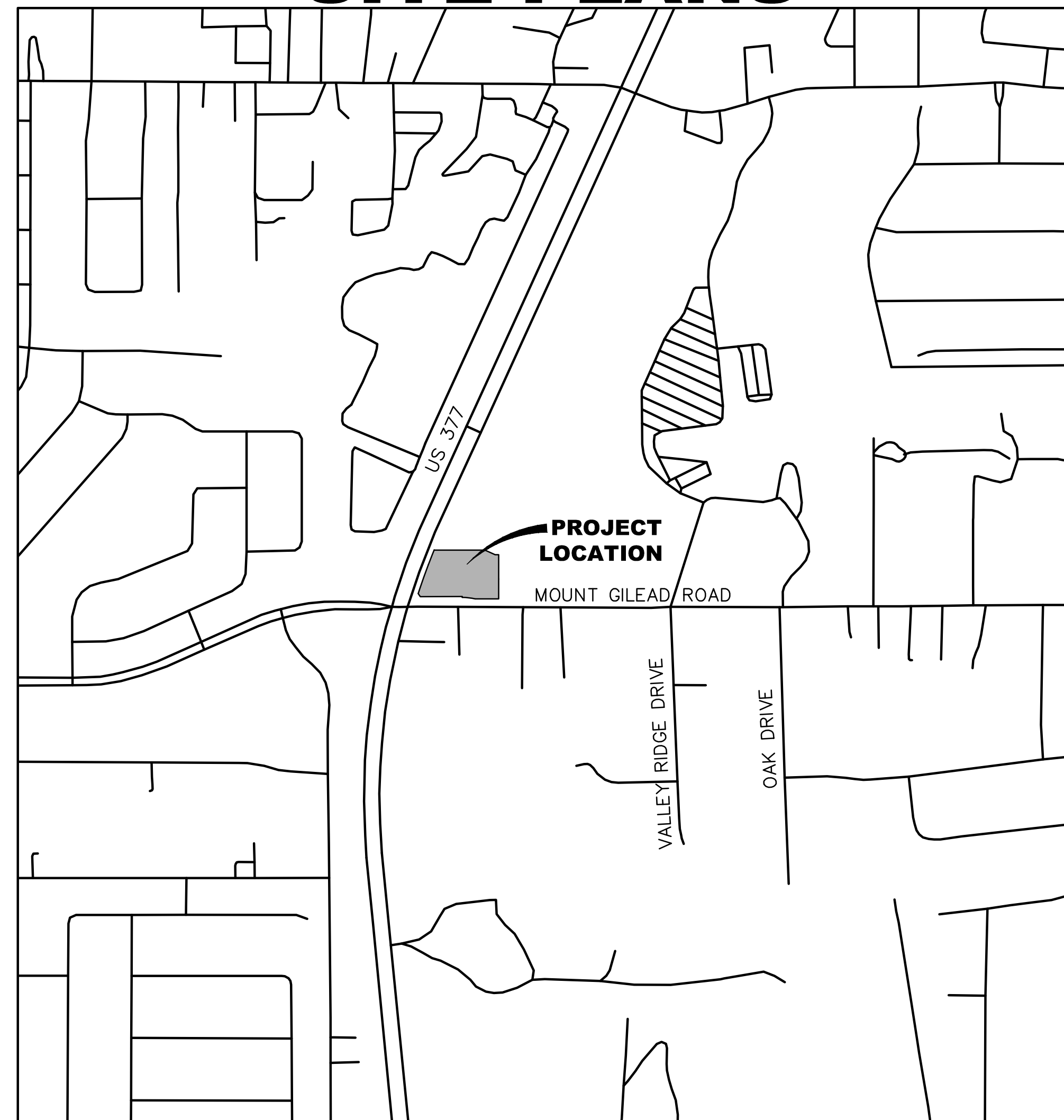
ROSS McMULLIN  
MAYOR PRO TEM

MARK HAFNER  
CITY MANAGER

ALONZO LIÑÁN, P.E.  
DIRECTOR OF PUBLIC WORKS

CHAD BARTEE, P.E.  
CITY ENGINEER

## SITE PLANS



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May 2023



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1/19/2023

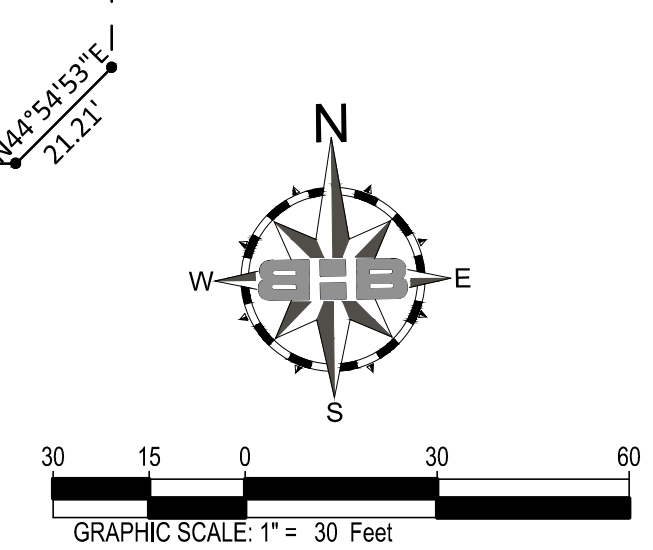
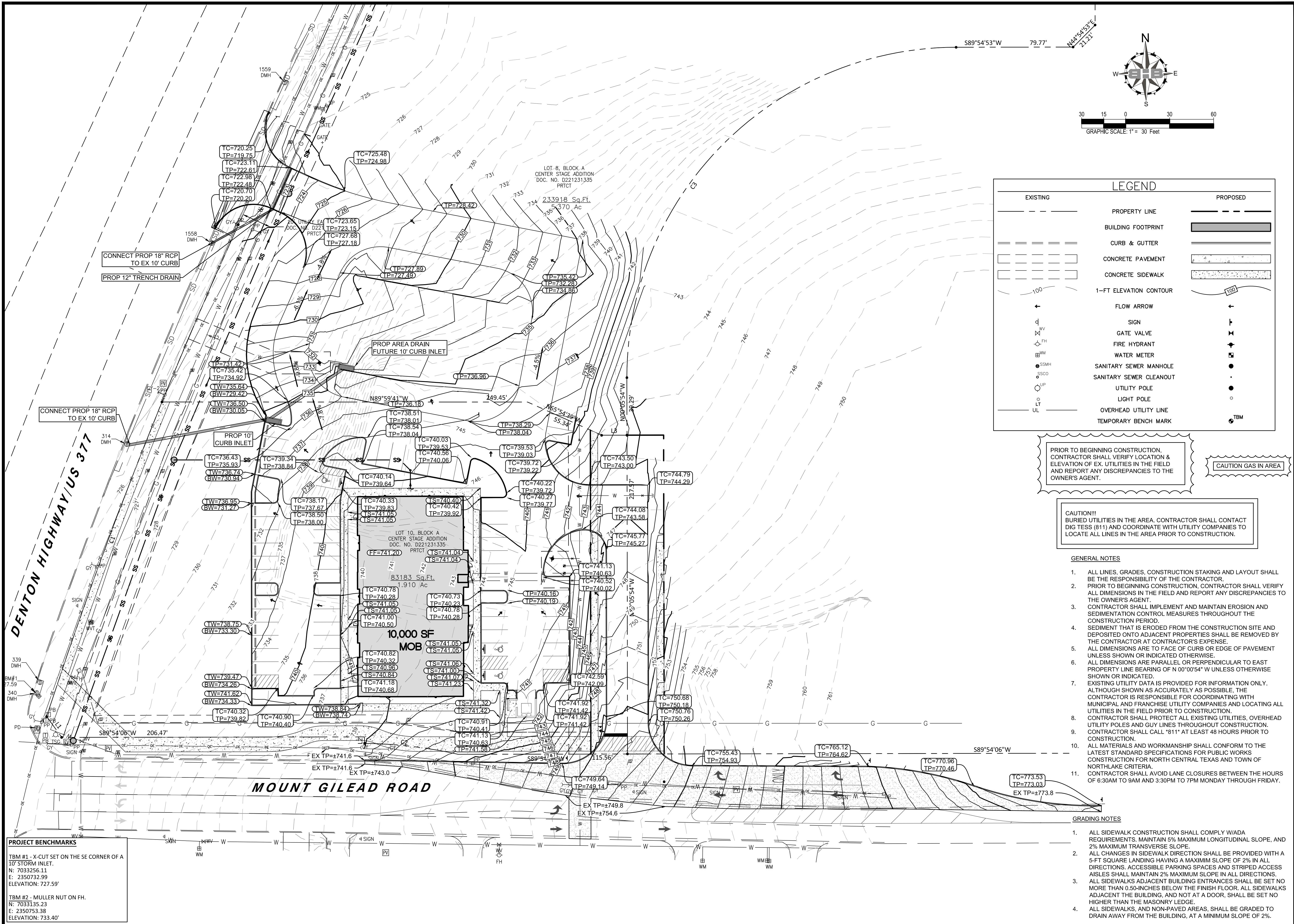
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5/01/2023 2:30PM E:\2023\000\000\2022\700\000 - Medical Office at US 377 & Mt. Gilead - Keller\01 Design & Drafting\02 Civil\700\GRADING PLAN.dwg GRADING PLAN



EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
▭	BUILDING FOOTPRINT	▭
==	CURB & GUTTER	==
▭	CONCRETE PAVEMENT	▭
▭	CONCRETE SIDEWALK	▭
---	1-FIT ELEVATION CONTOUR	---
→	FLOW ARROW	→
+	SIGN	+
+	GATE VALVE	+
+	FIRE HYDRANT	+
+	WATER METER	+
+	SANITARY SEWER MANHOLE	+
+	SANITARY SEWER CLEANOUT	+
+	UTILITY POLE	+
+	LIGHT POLE	+
+	OVERHEAD UTILITY LINE	+
+	TEMPORARY BENCH MARK	+

PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL VERIFY LOCATION & ELEVATION OF EX. UTILITIES IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S AGENT.

CAUTION GAS IN AREA

CAUTION!!! BURIED UTILITIES IN THE AREA. CONTRACTOR SHALL CONTACT DIG TESS (811) AND COORDINATE WITH UTILITY COMPANIES TO LOCATE ALL LINES IN THE AREA PRIOR TO CONSTRUCTION.

**GENERAL NOTES**

1. ALL LINES, GRADES, CONSTRUCTION STAKING AND LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S AGENT.
3. CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
4. SEDIMENT THAT IS ERODED FROM THE CONSTRUCTION SITE AND DEPOSITED ONTO ADJACENT PROPERTIES SHALL BE REMOVED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
5. ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS SHOWN OR INDICATED OTHERWISE.
6. ALL DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO EAST PROPERTY LINE BEARING OF N 00°00'54" W UNLESS OTHERWISE SHOWN OR INDICATED.
7. EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH MUNICIPAL AND FRANCHISE UTILITY COMPANIES AND LOCATING ALL UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION.
8. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, OVERHEAD UTILITY POLES AND GUY LINES THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL CALL "811" AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
9. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS AND TOWN OF NORTHLAKE CRITERIA.
10. CONTRACTOR SHALL AVOID LANE CLOSURES BETWEEN THE HOURS OF 6:30AM TO 9AM AND 3:30PM TO 7PM MONDAY THROUGH FRIDAY.

**GRADING NOTES**

1. ALL SIDEWALK CONSTRUCTION SHALL COMPLY WITH ADA REQUIREMENTS. MAINTAIN 5% MAXIMUM LONGITUDINAL SLOPE, AND 2% MAXIMUM TRANSVERSE SLOPE.
2. ALL CHANGES IN SIDEWALK DIRECTION SHALL BE PROVIDED WITH A 5-FT SQUARE LANDING HAVING A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS. ACCESSIBLE PARKING SPACES AND STRIPED ACCESS AISLES SHALL MAINTAIN 2% MAXIMUM SLOPE IN ALL DIRECTIONS.
3. ALL SIDEWALKS ADJACENT BUILDING ENTRANCES SHALL BE SET NO MORE THAN 0.50-INCHES BELOW THE FINISH FLOOR. ALL SIDEWALKS ADJACENT TO THE BUILDING, AND NOT AT A DOOR, SHALL BE SET NO HIGHER THAN THE MASONRY LEDGE.
4. ALL SIDEWALKS, AND NON-PAVED AREAS, SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDING, AT A MINIMUM SLOPE OF 2%.

**PROJECT BENCHMARKS**

TBM #1 - X-CUT SET ON THE SE CORNER OF A 30" STORM INLET.
N: 7033256.11
E: 2350732.99
ELEVATION: 727.59'
TBM #2 - MULLER NUT ON FH.
N: 7033135.23
E: 2350753.38
ELEVATION: 733.40'

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 TPELS Firm #44, #10011300, #10109144

**CASTLE** DEVELOPMENT GROUP  
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 251 E. SOUTHLAKE BLVD., STE 100  
 SOUTHLAKE, TX 76092  
**Center Stage Lot 10, Block A**  
 NE CORNER OF MT. GILEAD & US 377  
 TARRANT COUNTY, KELLER, TX 76248

**SITE GRADING PLAN**

NO.	DESCRIPTION	DATE

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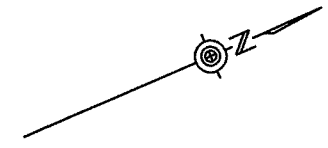
5/1/2023

PROJECT NUMBER: 2022.700.000  
 DATE: 05/01/2023 DRAWN BY: DP  
 DESIGN BY: DP CHECKED BY: SLW

SHEET  
**4**  
 4 of 18

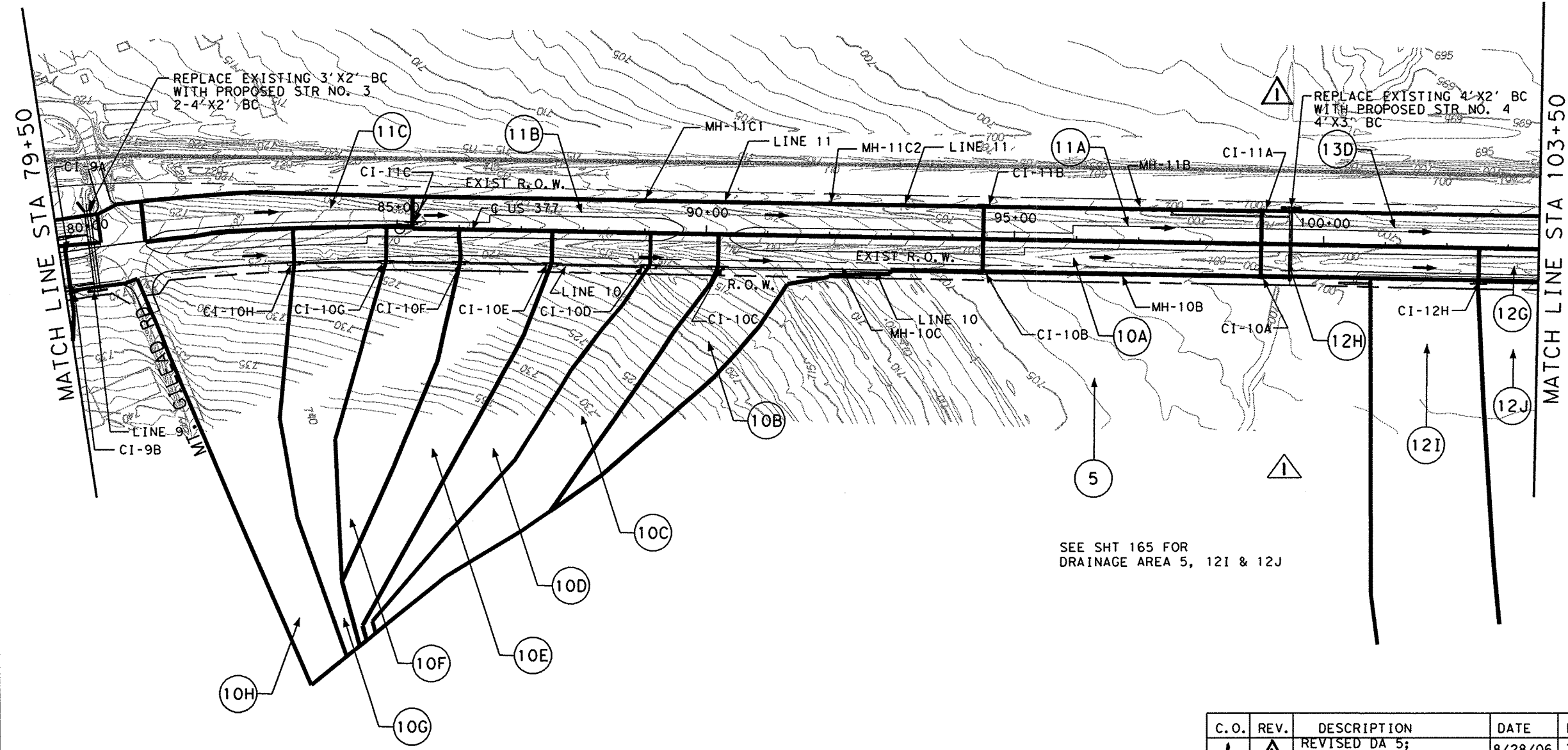
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**LEGEND**

- DRAINAGE AREA BOUNDRY
- FLOW DIRECTION ARROW
- STORM SEWER LINE
- CI=CURB INLET
- MH=MANHOLE



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Texas Department of Transportation

**US 377  
 INTERIOR DRAINAGE  
 AREA MAP  
 SHEET 4 of 7**

C.O.	REV.	DESCRIPTION	DATE	BY
1	Δ	REVISED DA 5; ADDED DA 12H, 12I, 2J	8/28/06	TAL

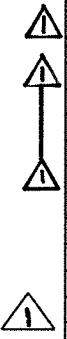
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6	STP 2005 (34) MM	169	
STATE	DIST.	COUNTY	
TEXAS	FTW	TARRANT	
CONT.	SECT.	JOB	HIGHWAY NO.
0081	02	045	US 377

REV-1

# INTERIOR DRAINAGE AREA SUMMARY

INTERIOR DRAINAGE AREA SUMMARY						
DRAINAGE AREA NO.	"C"	AREA (AC)	TC ACTUAL	TC (MIN)	I10* (IN/HR)	Q10* (CFS)
1A	0.9	0.56	3.14	10	7.98	4.02
1B	0.9	0.46	1.87	10	7.98	3.30
1C	0.9	0.26	1.04	10	7.98	1.87
1D	0.9	0.85	3.52	10	7.98	6.10
2A	0.9	0.25	1.44	10	7.98	1.80
2B	0.9	0.38	1.67	10	7.98	2.73
2C	0.9	0.21	1.13	10	7.98	1.51
2D	0.9	0.96	3.78	10	7.98	6.89
3A	0.82	0.56	0.71	10	7.98	3.66
3B	0.82	0.92	0.91	10	7.98	6.02
3C	0.9	0.59	2.03	10	7.98	4.24
3D	0.82	1.06	0.99	10	7.98	6.94
3E	0.82	0.88	1.73	10	7.98	5.76
3F	0.82	0.62	0.96	10	7.98	4.06
3G	0.82	0.81	1.13	10	7.98	5.30
4A	0.9	0.51	3.82	10	7.98	3.66
4B	0.9	0.86	2.29	10	7.98	6.18
4C	0.9	0.29	4.41	10	7.98	2.08
4D	0.9	0.31	1.51	10	7.98	2.23
4D1	0.9	0.34	2.00	10	7.98	2.44
4E	0.7	0.55	3.46	10	7.98	3.07
4F	0.7	1.10	1.3	10	7.98	6.14
4G	0.90	0.93	3	10	7.98	6.68
4H	0.9	0.81	4.62	10	7.98	5.82
5	0.62	92.35	27	27	4.81	275.41
5A	0.9	0.46	2.55	10	7.98	3.30
5B	0.9	0.64	5.78	10	7.98	4.60
5C	0.85	1.60	5.26	10	7.98	10.85
6A	0.82	0.59	4.37	10	7.98	3.86
6B	0.63	1.25	4.34	10	7.98	6.28
6C	0.63	1.70	4.14	10	7.98	8.55
6D	0.63	1.69	4.07	10	7.98	8.50
6E	0.64	1.61	4.1	10	7.98	8.22
6F	0.65	1.02	3.9	10	7.98	5.29
6G	0.64	1.30	3.52	10	7.98	6.64
6F1	0.65	0.78	3.50	10	7.98	4.05
6B1	0.63	1.60	3.50	10	7.98	8.04
7A	0.9	0.51	3.7	10	7.98	3.66
7B	0.9	0.77	3.7	10	7.98	5.53
7C	0.9	0.52	2.08	10	7.98	3.73
8A	0.9	0.94	2.27	10	7.98	6.75
8B	0.64	2.11	3.15	10	7.98	10.78
8C	0.64	2.64	3.17	10	7.98	13.48
8D	0.64	2.47	3.11	10	7.98	12.61
8E	0.65	1.85	3.12	10	7.98	9.60
9A	0.9	0.52	1.42	10	7.98	3.73
9B	0.64	2.14	4.63	10	7.98	10.93
9C	0.64	2.36	4.81	10	7.98	12.05
10A	0.9	0.54	7.5	10	7.98	3.88
10B	0.72	1.39	4.64	10	7.98	7.99
10C	0.65	1.54	2.85	10	7.98	7.99
10D	0.65	1.38	2.69	10	7.98	7.16
10E	0.65	1.51	2.27	10	7.98	7.83
10F	0.65	1.26	2.82	10	7.98	6.54
10G	0.67	1.41	3.16	10	7.98	7.54
10H	0.67	2.60	3.16	10	7.98	13.90

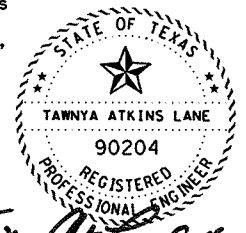
INTERIOR DRAINAGE AREA SUMMARY						
DRAINAGE AREA NO.	"C"	AREA (AC)	TC ACTUAL	TC (MIN)	I10* (IN/HR)	Q10* (CFS)
11A	0.9	0.54	3.75	10	7.98	3.88
11B	0.9	1.10	5.9	10	7.98	7.90
11C	0.9	0.57	1.54	10	7.98	4.09
12A	0.90	0.56	5.00	10	7.98	4.02
12B	0.7	0.60	6.88	10	7.98	3.35
12C	0.7	1.20	5.13	10	7.98	6.70
12D	0.7	1.09	3.65	10	7.98	6.09
12E	0.7	0.58	5.14	10	7.98	3.24
12F	0.90	0.30	2.50	10	7.98	2.15
12G	0.90	0.30	2.50	10	7.98	2.15
12H	0.90	0.42	4.50	10	7.98	3.02
12I	0.62	6.55	10	10	7.98	32.41
12J	0.62	6.06	10	10	7.98	29.98
12K	0.62	7.87	9.87	10	7.98	38.94
13A	0.9	0.85	5.78	10	7.98	6.10
13B	0.9	0.91	4.79	10	7.98	6.54
13C	0.9	0.49	5.58	10	7.98	3.52
13D	0.9	0.57	5.4	10	7.98	4.09
14A	0.9	1.36	4.93	10	7.98	9.77
14B	0.9	0.69	4.67	10	7.98	4.96
14C	0.9	0.68	5.95	10	7.98	4.88
15A	0.9	1.24	4.9	10	7.98	8.91
15B	0.9	0.57	4.89	10	7.98	4.09
15C	0.9	0.52	3.12	10	7.98	3.73
15D	0.9	0.66	2.63	10	7.98	4.74
15E	0.9	0.66	3	10	7.98	4.74
16A	0.9	1.01	5.74	10	7.98	7.25
16B	0.9	0.49	6.94	10	7.98	3.52
16C	0.9	0.76	5.5	10	7.98	5.46
17A	0.9	1.00	4.74	10	7.98	7.18
17B	0.9	0.75	5.09	10	7.98	5.39
17C	0.9	0.42	2.18	10	7.98	3.02
17D	0.75	0.70	2.1	10	7.98	4.19
18A	0.9	0.12	0.9	10	7.98	0.86
18B	0.9	0.14	0.94	10	7.98	1.01
18C	0.9	0.22	1.77	10	7.98	1.58
18D	0.9	0.37	2.5	10	7.98	2.66
18E	0.9	0.55	6.53	10	7.98	3.95
19A	0.9	0.49	7.09	10	7.98	3.52
19B	0.9	0.38	3	10	7.98	2.73
19C	0.9	0.16	3.33	10	7.98	1.15



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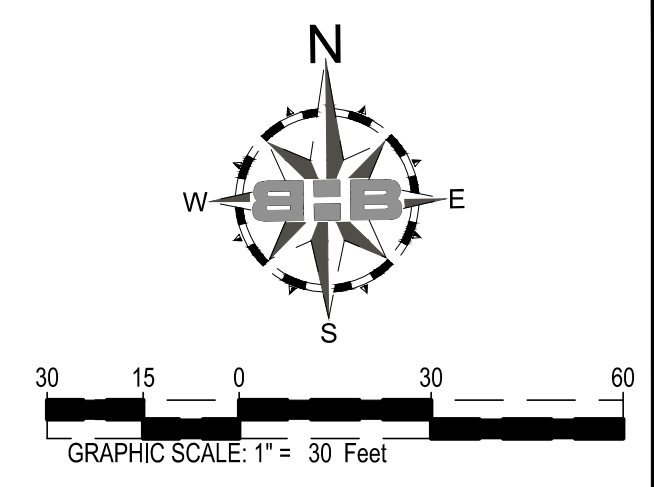
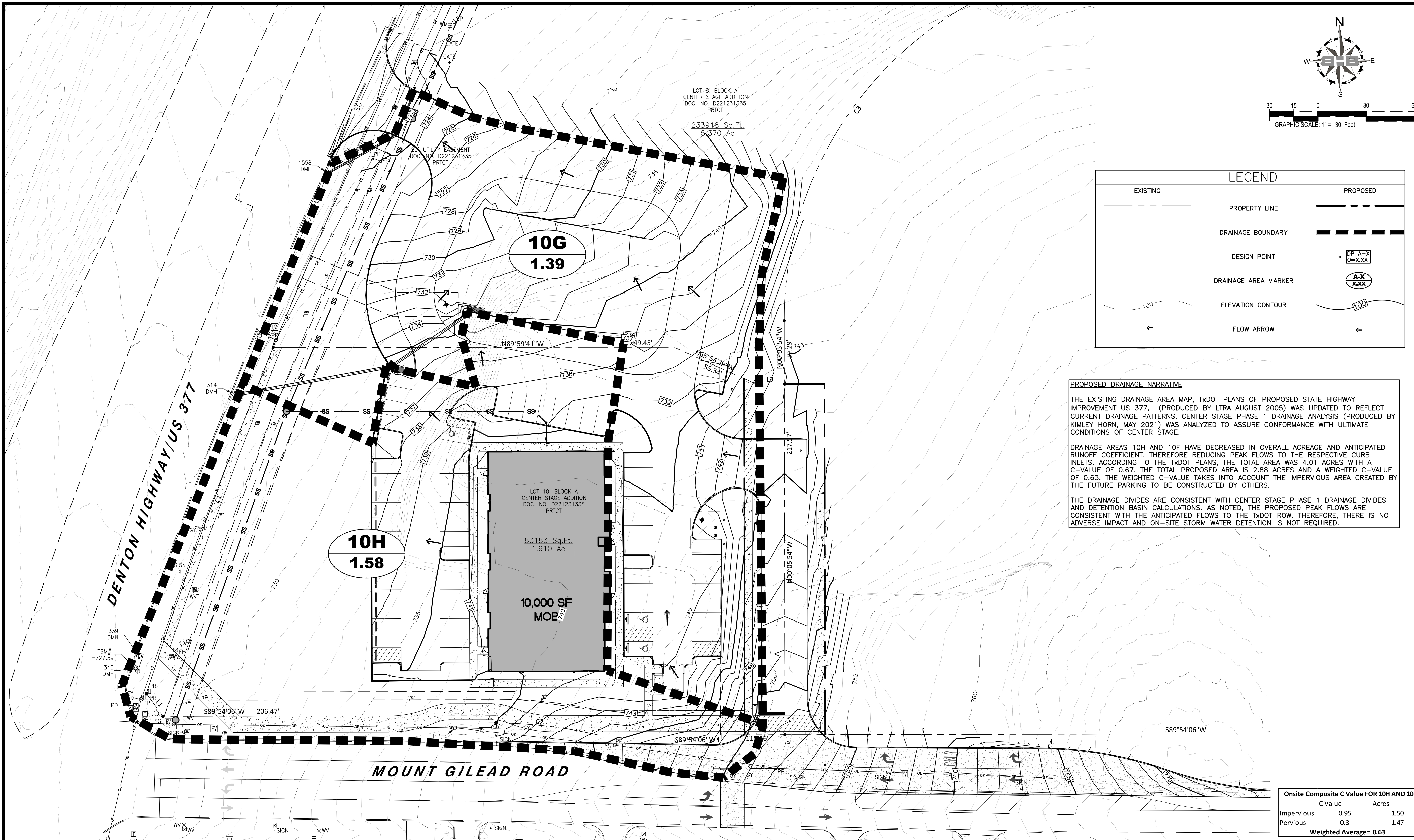
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**LTA**  
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**US 377**  
**INTERIOR DRAINAGE**  
**AREA SUMMARY**

C.O.	REV.	DESCRIPTION	DATE	BY
1	△	REVISED DA 12F, 12G; ADDED DA 5, 12H-12K	8/28/06	TAL

FED. PROJ. DIV. NO.	FEDERAL AIO PROJECT NO.	SHEET NO.	
6	STP 2005(34) MM	173	
STATE	DIST.	COUNTY	
TEXAS	FTW	TARRANT	
CONT.	SECT.	JOB	HIGHWAY NO.
0081	02	045	US 377

5/01/2023 2:31PM E:\2022\000\000\2022\700\000 - Medical Office at US 377 & Mt. Gilead - Keller\01 Design & Drafting\02 Civil\700\DM\Map PROPOSED DRAINAGE AREA MAP



LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE
	DRAINAGE BOUNDARY
	DESIGN POINT
	DRAINAGE AREA MARKER
	ELEVATION CONTOUR
	FLOW ARROW

**PROPOSED DRAINAGE NARRATIVE**

THE EXISTING DRAINAGE AREA MAP, TxDOT PLANS OF PROPOSED STATE HIGHWAY IMPROVEMENT US 377, (PRODUCED BY LTRA AUGUST 2005) WAS UPDATED TO REFLECT CURRENT DRAINAGE PATTERNS. CENTER STAGE PHASE 1 DRAINAGE ANALYSIS (PRODUCED BY KIMLEY HORN, MAY 2021) WAS ANALYZED TO ASSURE CONFORMANCE WITH ULTIMATE CONDITIONS OF CENTER STAGE.

DRAINAGE AREAS 10H AND 10F HAVE DECREASED IN OVERALL ACREAGE AND ANTICIPATED RUNOFF COEFFICIENT, THEREFORE REDUCING PEAK FLOWS TO THE RESPECTIVE CURB INLETS. ACCORDING TO THE TxDOT PLANS, THE TOTAL AREA WAS 4.01 ACRES WITH A C-VALUE OF 0.67. THE TOTAL PROPOSED AREA IS 2.88 ACRES AND A WEIGHTED C-VALUE OF 0.63. THE WEIGHTED C-VALUE TAKES INTO ACCOUNT THE IMPERVIOUS AREA CREATED BY THE FUTURE PARKING TO BE CONSTRUCTED BY OTHERS.

THE DRAINAGE DIVIDES ARE CONSISTENT WITH CENTER STAGE PHASE 1 DRAINAGE DIVIDES AND DETENTION BASIN CALCULATIONS. AS NOTED, THE PROPOSED PEAK FLOWS ARE CONSISTENT WITH THE ANTICIPATED FLOWS TO THE TxDOT ROW. THEREFORE, THERE IS NO ADVERSE IMPACT AND ON-SITE STORM WATER DETENTION IS NOT REQUIRED.

Onsite Composite C Value FOR 10H AND 10G		
C Value	Acres	
Impervious	0.95	1.50
Pervious	0.3	1.47
<b>Weighted Average= 0.63</b>		

**CENTER STAGE LOT 10, BLOCK A HYDROLOGIC COMPUTATIONS**

Rainfall intensity calculations are based on City of Keller UDC  
The coefficients used are for Tarrant County, Texas.

Proposed	Incremental Area	Total Area	Runoff	Incr.	Time of Concentration			2 yr. Design Storm			10 yr. Design Storm			25 yr. Design Storm			100 yr. Design Storm						
					Intensity	Discharge	Total	Intensity	Discharge	Total	Intensity	Discharge	Total	Intensity	Discharge	Total							
Name	Acres	Acres	"C"	"C*A"	min	min	min	iph	cfs	cfs	iph	cfs	cfs	"C"	iph	cfs	cfs	"C"	iph	cfs	cfs		
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
10H	1.58	1.58	0.63	0.99	0	10.00	10.00	4.71	4.68	4.68	6.51	6.46	6.46	1.1	7.55	8.24	8.24	1.25	9.24	11.47	11.47	A-1	Exist 36" RCP
10G	1.39	1.39	0.63	0.87	0	10.00	10.00	4.71	4.11	4.11	6.51	5.69	5.69	1.1	7.55	7.25	7.25	1.25	9.24	10.09	10.09	A-2	Exist 36" RCP

**PROJECT BENCHMARKS**

TBM #1 - X-CUT SET ON THE SE CORNER OF A 10' STORM INLET. N: 7033256.11 E: 2350732.99 ELEVATION: 727.59'
TBM #2 - MULLER NUT ON FH. N: 7033135.23 E: 2350753.38 ELEVATION: 733.40'

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**CASTLE DEVELOPMENT GROUP**  
251 E. SOUTHLAKE BLVD., STE 100  
SOUTHLAKE, TX 76092

**Center Stage Lot 10, Block A**  
NE CORNER OF MT. GILEAD & US 377  
TARRANT COUNTY, KELLER, TX 76248

**PROPOSED DRAINAGE AREA MAP**

NO.	DESCRIPTION	DATE

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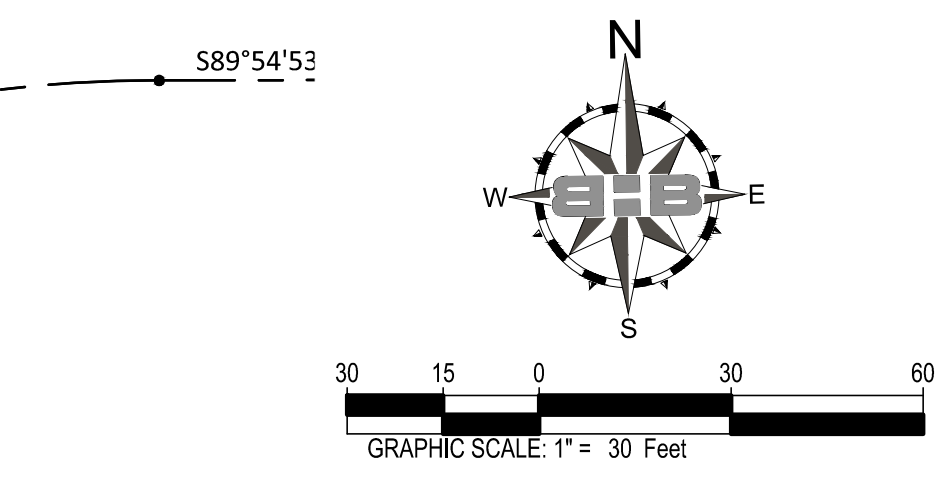
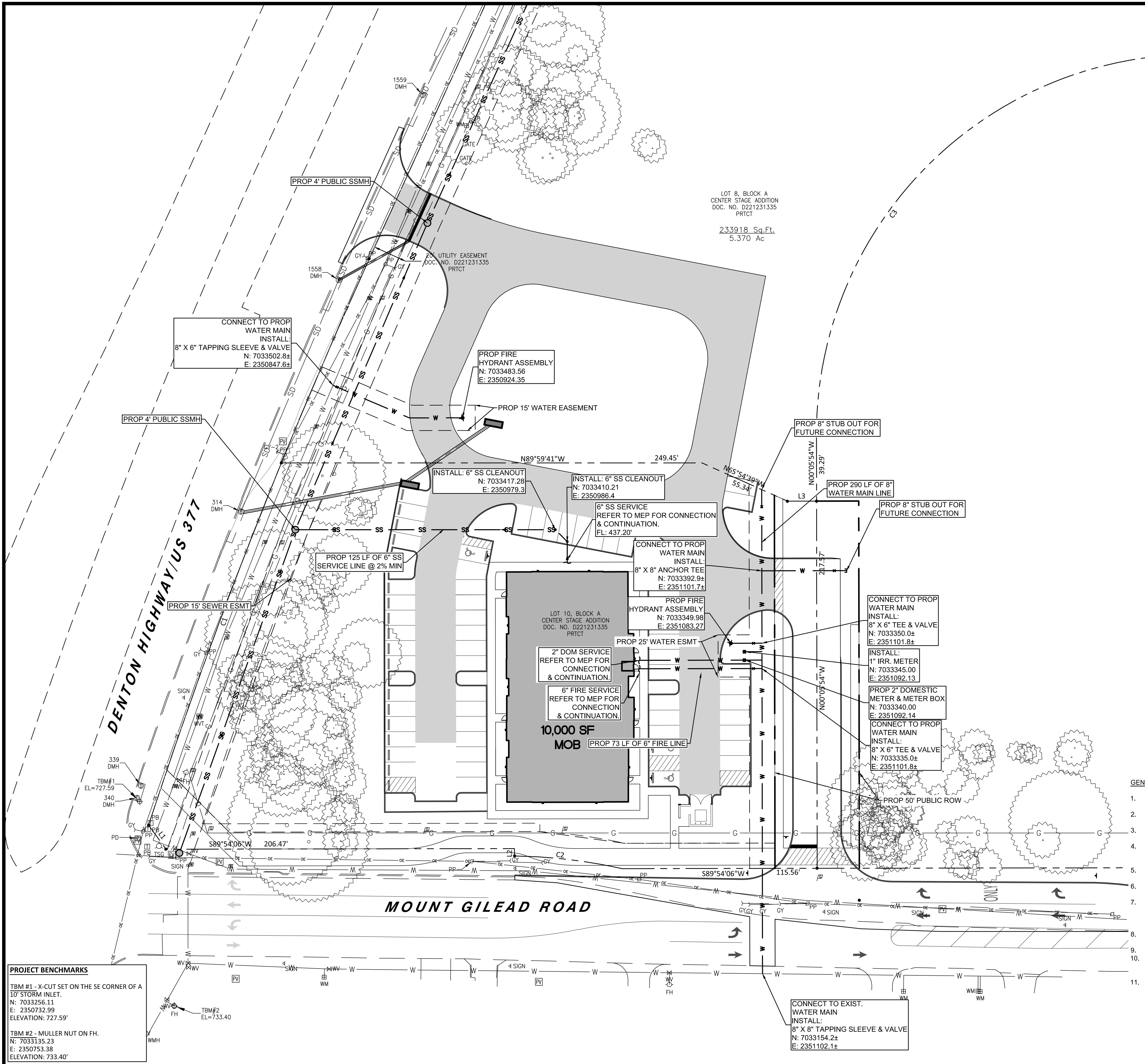
PROJECT NUMBER: 2022.700.000  
DATE: 05/01/2023 DRAWN BY: DP  
DESIGN BY: DP CHECKED BY: SLW

SHEET  
**6**  
6 of 18





5/01/2023 2:31PM E:\2022\000.000\2022.700.000 - Medical Office at US 377 & Mt. Gilead - Keller\01 Design & Drafting\02 Civil\705SITE UTILITY PLAN.dwg SITE UTILITY PLAN



EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
▭	BUILDING FOOTPRINT	▭
==	CURB & GUTTER	==
▭	CONCRETE PAVEMENT	▭
▭	CONCRETE SIDEWALK	▭
	FIRE LANE	▭
↑	SIGN	↑
⊗	GATE VALVE	⊗
⊕	FIRE HYDRANT	⊕
⊕	WATER METER	⊕
⊕	SANITARY SEWER MANHOLE	⊕
⊕	SANITARY SEWER CLEANOUT	⊕
⊕	UTILITY POLE	⊕
—	OVERHEAD ELECTRIC LINE	—
—	TEMPORARY BENCH MARK	⊕
W	WATER	W
SS	SEWER	SS
G	GAS	G
100	1-FT ELEVATION CONTOUR	100

PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL VERIFY LOCATION & ELEVATION OF EX. UTILITIES IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S AGENT.

CAUTION!!! BURIED UTILITIES IN THE AREA. CONTRACTOR SHALL CONTACT DIG TESS (811) AND COORDINATE WITH UTILITY COMPANIES TO LOCATE ALL LINES IN THE AREA PRIOR TO CONSTRUCTION.

CAUTION GAS IN AREA

GENERAL NOTES

- ALL LINES, GRADES, CONSTRUCTION STAKING AND LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S AGENT.
- CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
- SEDIMENT THAT IS ERODED FROM THE CONSTRUCTION SITE AND DEPOSITED ONTO ADJACENT PROPERTIES SHALL BE REMOVED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS SHOWN OR INDICATED OTHERWISE.
- ALL DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO EAST PROPERTY LINE BEARING OF N 00°00'54" W UNLESS OTHERWISE SHOWN OR INDICATED.
- EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH MUNICIPAL AND FRANCHISE UTILITY COMPANIES AND LOCATING ALL UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, OVERHEAD UTILITY POLES AND GUY LINES THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL CALL '811' AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS AND TOWN OF NORTHLAKE CRITERIA.
- CONTRACTOR SHALL AVOID LANE CLOSURES BETWEEN THE HOURS OF 6:30AM TO 9AM AND 3:30PM TO 7PM MONDAY THROUGH FRIDAY.

PROJECT BENCHMARKS	
TBM #1 - X-CUT SET ON THE SE CORNER OF A 30' STORM INLET. N: 7033256.11 E: 2350732.99 ELEVATION: 727.59'	TBM #2 - MULLER NUT ON FH. N: 7033135.23 E: 2350753.38 ELEVATION: 733.40'

**BHB**  
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engineering and surveying  
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mail@bhbc.com • 817.281.8550 • bhbc.com  
TBP&S Firm #44, #10011300, #10011302, #10104146

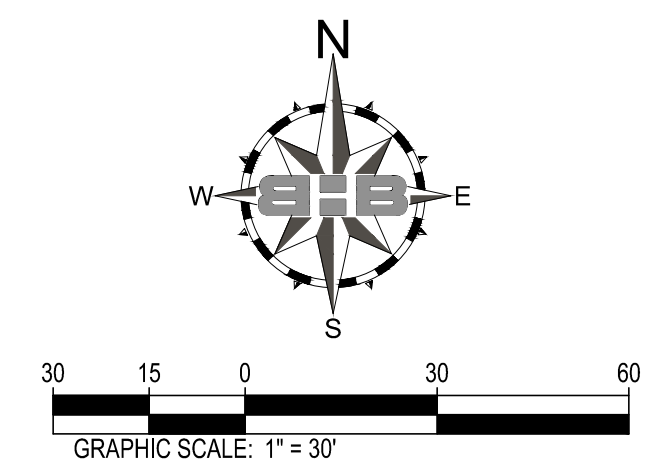
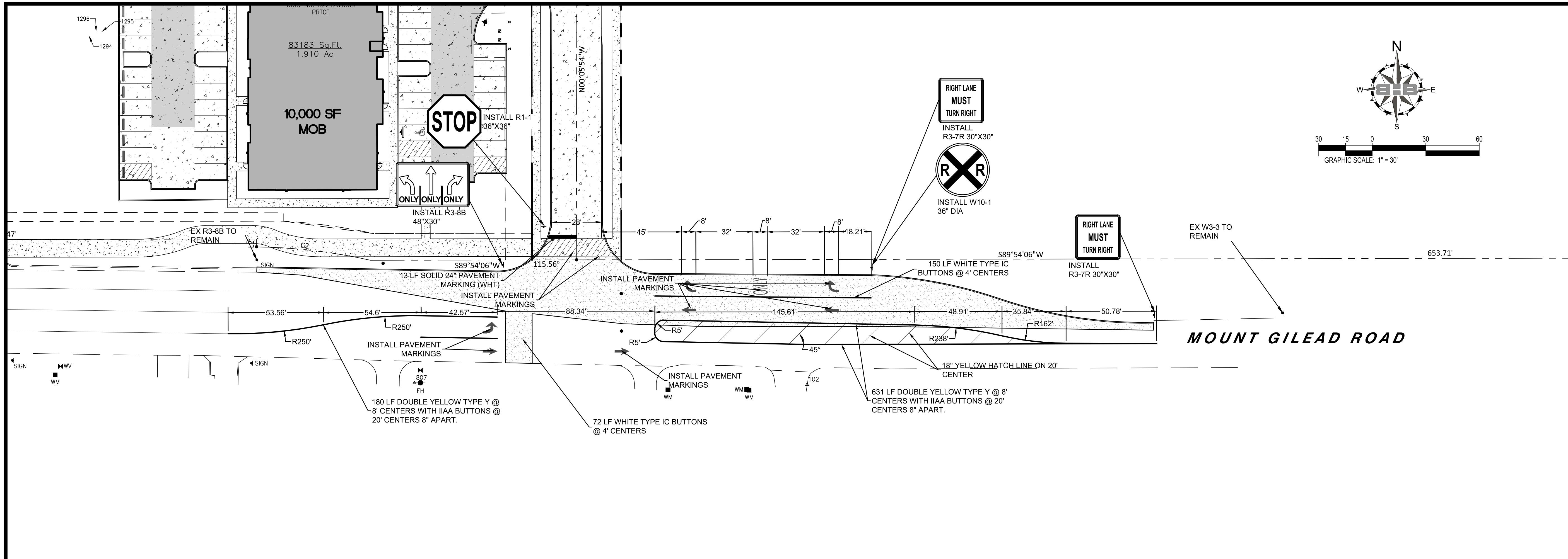
**CASTLE** DEVELOPMENT GROUP  
CASTLE DEVELOPMENT GROUP  
251 E. SOUTHLAKE BLVD., STE 100  
SOUTHLAKE, TX 76092  
Center Stage Lot 10, Block A  
NE CORNER OF MT. GILEAD & US 377  
TARRANT COUNTY, KELLER, TX 76248

SITE UTILITY PLAN		
NO.	DESCRIPTION	DATE

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF LUIS OMAR RUBIO, PE TX 141529. IT IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.  
5/1/2023

PROJECT NUMBER: 2022.700.000	DATE: 05/01/2023	DRAWN BY: DP
DESIGN BY: DP	CHECKED BY: SLW	
SHEET <b>8</b> 8 of 18		

5/1/2023 2:31PM E:\2022\000\000\2022\700\000 - Medical Office at US 377 & Mt. Gilead - Keller\01 Design & Drafting\02 Civil\700PAVEMENT MARKINGS.dwg PAVEMENT MARKINGS PLAN



PROJECT BENCHMARKS	
TBM #1 - X-CUT SET ON THE SE CORNER OF A 30' STORM INLET.	
N: 7033256.11	
E: 2350732.99	
ELEVATION: 727.59'	
TBM #2 - MULLER NUT ON FH.	
N: 7033135.23	
E: 2350753.38	
ELEVATION: 733.40'	

**GENERAL NOTES**

1. ALL LINES, GRADES, CONSTRUCTION STAKING AND LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S AGENT.
3. ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS SHOWN OR INDICATED OTHERWISE.
4. ALL DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO SOUTH PROPERTY LINE BEARING OF N00°05'54" W UNLESS OTHERWISE SHOWN OR INDICATED.
5. EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH MUNICIPAL AND FRANCHISE UTILITY COMPANIES AND LOCATING ALL UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, OVERHEAD UTILITY POLES AND GUY LINES THROUGHOUT CONSTRUCTION.
7. CONTRACTOR SHALL CALL (800) DIG-TESS AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
8. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARD SPECIFICATIONS OF THE CITY OF KELLER.

**TRAFFIC CONTROL NOTES**

1. ALL BARRICADES, WARNING SIGNS, LIGHT DEVICES, ETC., FOR THE GUIDANCE AND PROTECTION OF TRAFFIC AND PEDESTRIANS MUST CONFORM TO THE INSTALLATION SHOWN ON THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AS CURRENTLY AMENDED, BY THE TEXAS STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING GENERAL SAFETY AT AND ADJACENT TO THE PROJECT AREA, INCLUDING THE PERSONAL SAFETY OF THE CONSTRUCTION CREW AND GENERAL PUBLIC AND THE SAFETY OF PUBLIC AND PRIVATE PROPERTY.
3. FLAGS ATTACHED TO SIGNS ARE REQUIRED.
4. CONTRACTOR SHALL AVOID LANE CLOSURES BETWEEN THE HOURS OF 6:30AM TO 9AM AND 3:30PM TO 7PM MONDAY THROUGH FRIDAY.

**SIGNAGE AND PAVEMENT MARKINGS NOTES**

1. ALL MARKINGS AND MARKERS ARE TO BE PLACED IN ACCORDANCE WITH THE CITY OF KELLER
2. ALL MARKINGS AND MARKERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
3. ALL SIGNS AND MOUNTING HARDWARE SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.

EXISTING		LEGEND		PROPOSED	
---	PROPERTY LINE	---	PROPERTY LINE	---	PROPERTY LINE
▬▬▬▬	BUILDING FOOTPRINT	▬▬▬▬	BUILDING FOOTPRINT	▬▬▬▬	BUILDING FOOTPRINT
==	CURB & GUTTER	==	CURB & GUTTER	==	CURB & GUTTER
▬▬▬▬	CONCRETE PAVEMENT	▬▬▬▬	CONCRETE PAVEMENT	▬▬▬▬	CONCRETE PAVEMENT
▬▬▬▬	ASPHALT PAVEMENT	▬▬▬▬	ASPHALT PAVEMENT	▬▬▬▬	ASPHALT PAVEMENT
▬▬▬▬	CONCRETE SIDEWALK	▬▬▬▬	CONCRETE SIDEWALK	▬▬▬▬	CONCRETE SIDEWALK
▬▬▬▬	FIRE LANE	▬▬▬▬	FIRE LANE	▬▬▬▬	FIRE LANE
↑	SIGN	↑	SIGN	↑	SIGN
⊗	GATE VALVE	⊗	GATE VALVE	⊗	GATE VALVE
⊕	FIRE HYDRANT	⊕	FIRE HYDRANT	⊕	FIRE HYDRANT
⊕	WATER METER	⊕	WATER METER	⊕	WATER METER
⊕	SANITARY SEWER MANHOLE	⊕	SANITARY SEWER MANHOLE	⊕	SANITARY SEWER MANHOLE
⊕	SANITARY SEWER CLEANOUT	⊕	SANITARY SEWER CLEANOUT	⊕	SANITARY SEWER CLEANOUT
⊕	UTILITY POLE	⊕	UTILITY POLE	⊕	UTILITY POLE
—	OVERHEAD ELECTRIC LINE	—	OVERHEAD ELECTRIC LINE	—	OVERHEAD ELECTRIC LINE
—	TEMPORARY BENCH MARK	—	TEMPORARY BENCH MARK	—	TEMPORARY BENCH MARK
—	WATER	—	WATER	—	WATER
—	SEWER	—	SEWER	—	SEWER
—	GAS	—	GAS	—	GAS

**B=B**  
**BAIRD, HAMPTON & BROWN**  
 engineering and surveying  
 3807 William D. Tate Ave. Ste 500 Grapevine, TX 76051  
 ba@bhbc.com • 817.251.8550 • bhbc.com  
 TBPELS Firm #44, #10011300, #10011302, #10104146

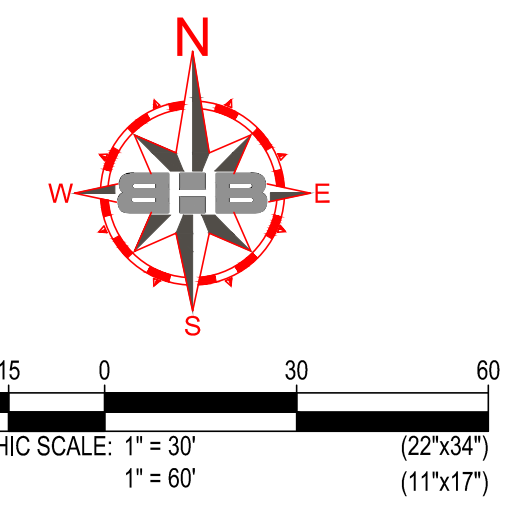
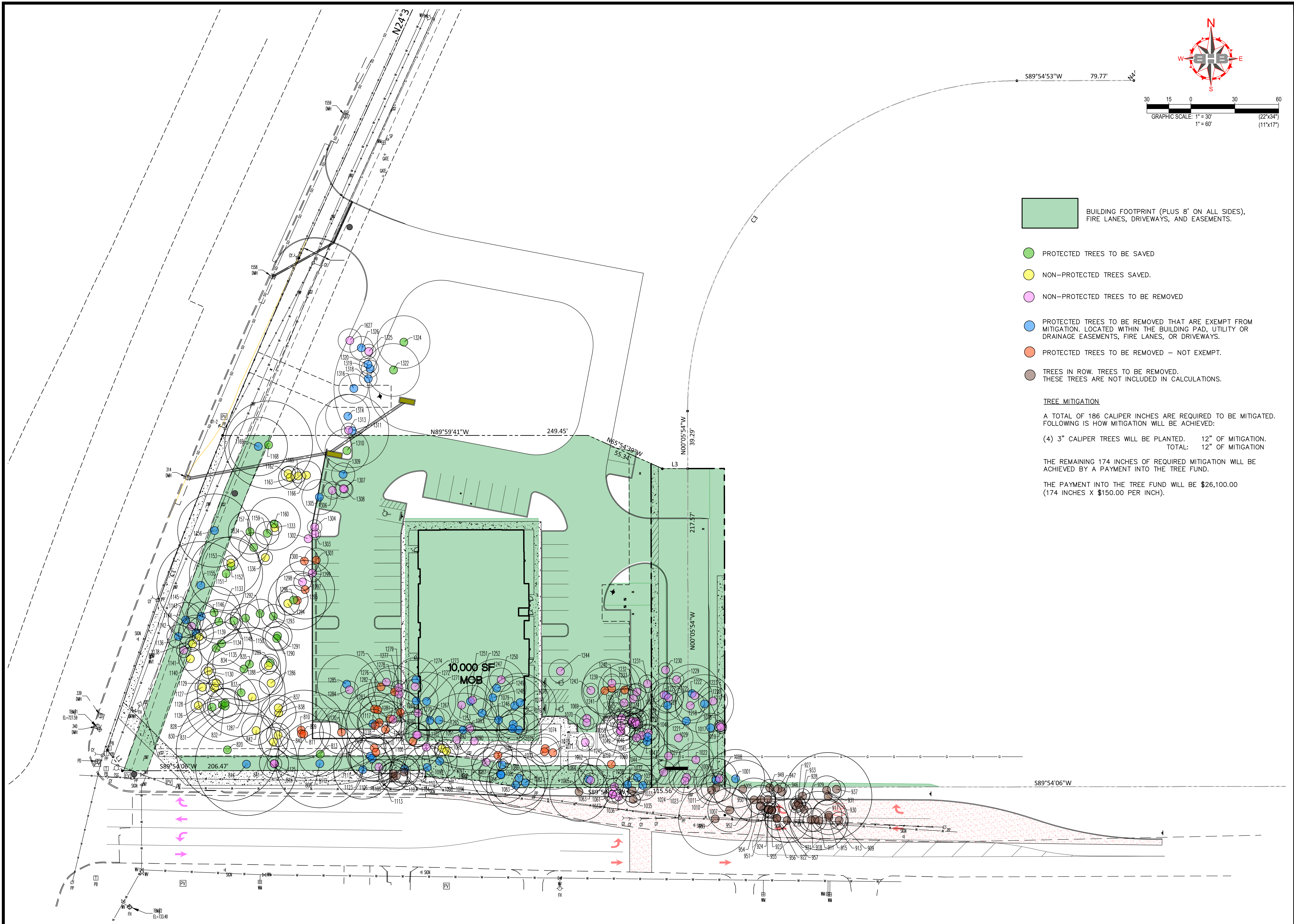
**CASTLE**  
 DEVELOPMENT GROUP  
 251 E. SOUTHLAKE BLVD., STE 100  
 SOUTHLAKE, TX 76092  
**Center Stage Lot 10, Block A**  
 NE CORNER OF MT. GILEAD & US 377  
 TARRANT COUNTY, KELLER, TX 76248

PAVEMENT MARKINGS PLAN		NO.	DESCRIPTION	DATE

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF LUIS OMAR RUBIO, PE TX 141529. IT IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.  
 5/1/2023

PROJECT NUMBER: 2022.700.000  
 DATE: 05/01/2023 DRAWN BY: DP  
 DESIGN BY: DP CHECKED BY: SLW  
 SHEET  
**9**  
 9 of 18

5/01/2023 2:31PM E:\2022\000\000\000\2022 700.000 - Medical Office at US 377 & Mt. Gilead - Keller\01 Design & Drafting\04 Landscape\700 TREE SURVEY AND PRESERVATION PLAN.dwg TREE SURVEY AND PRESERVATION PLAN



- BUILDING FOOTPRINT (PLUS 8' ON ALL SIDES), FIRE LANES, DRIVEWAYS, AND EASEMENTS.
- PROTECTED TREES TO BE SAVED
- NON-PROTECTED TREES SAVED.
- NON-PROTECTED TREES TO BE REMOVED
- PROTECTED TREES TO BE REMOVED THAT ARE EXEMPT FROM MITIGATION. LOCATED WITHIN THE BUILDING PAD, UTILITY OR DRAINAGE EASEMENTS, FIRE LANES, OR DRIVEWAYS.
- PROTECTED TREES TO BE REMOVED - NOT EXEMPT.
- TREES IN ROW. TREES TO BE REMOVED. THESE TREES ARE NOT INCLUDED IN CALCULATIONS.

**TREE MITIGATION**

A TOTAL OF 186 CALIPER INCHES ARE REQUIRED TO BE MITIGATED. FOLLOWING IS HOW MITIGATION WILL BE ACHIEVED:

(4) 3" CALIPER TREES WILL BE PLANTED. 12" OF MITIGATION.  
 TOTAL: 12" OF MITIGATION

THE REMAINING 174 INCHES OF REQUIRED MITIGATION WILL BE ACHIEVED BY A PAYMENT INTO THE TREE FUND.

THE PAYMENT INTO THE TREE FUND WILL BE \$26,100.00 (174 INCHES X \$150.00 PER INCH).

**B=B**

**BAIRD, HAMPTON & BROWN**  
 engineering and surveying

3801 William D. Tate Ave. Ste 500 Grapevine, TX 76051  
 mail@bhbc.com • 817.251.8550 • bhbc.com  
 TBPES Firm #44, #10011300, #10011302, #10104146

**CASTLE**  
 DEVELOPMENT GROUP

**Center Stage Lot 10, Block A**

CASTLE DEVELOPMENT GROUP  
 251 E. SOUTHLAKE BLVD., STE 100  
 SOUTHLAKE, TX 76092

NE CORNER OF MT. GILEAD & US 377  
 TARRANT COUNTY, KELLER, TX 76248

**TREE SURVEY AND PRESERVATION PLAN**

NO.	DESCRIPTION	DATE

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF THOMAS KELLOGG, RLA TX No. 1225. NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.

5/1/2023

PROJECT NUMBER: 2022.700.000  
 DATE: 05/01/2023 DRAWN BY: ZG  
 DESIGN BY: ZG CHECKED BY: TK

SHEET  
 10  
 10 of 18

5/01/2023 2:31PM E:\2022\000\000\2022\700\000 - Medical Office at US 377 & Mt. Gilead - Keller\01 Design & Drafting\04 Landscape\700 TREE SURVEY AND PRESERVATION PLAN.dwg TABLE OF EXISTING TREES

TREE TABLE			
Point #	Description	Reason For Removal	Mitigation Required
808	14" OAK	EASEMENT	
809	6" OAK	GRADING	6" MITIGATION
810	10" OAK	GRADING	10" MITIGATION
811	18" OAK	GRADING	18" MITIGATION
813	8" OAK		
815	5" HACKBERRY	EASEMENT	
816	20" OAK		
820	25" OAK		
828	4" OAK		
830	16" OAK		
831	8" OAK		
832	6" OAK		
833	18" OAK		
834	14" OAK		
835	18" OAK		
837	4" OAK		
838	6" COTTONWOOD		
840	4" COTTONWOOD		
841	6" COTTONWOOD		
842	6" LOCUST		
909	5" CEDAR	ROW ROADWAY	
911	14" OAK	ROW ROADWAY	
913	8" OAK	ROW ROADWAY	
915	6" LOCUST	ROW ROADWAY	
917	6" OAK	ROW ROADWAY	
918	5" OAK	ROW ROADWAY	
921	9" OAK	ROW ROADWAY	
922	6" OAK	ROW ROADWAY	
923	4" OAK	ROW ROADWAY	
924	3" OAK	ROW ROADWAY	
926	3" OAK	ROW ROADWAY	
927	4" OAK	ROW ROADWAY	
928	4" OAK	ROW ROADWAY	
929	3" OAK	ROW ROADWAY	
930	17" OAK	ROW ROADWAY	
931	6" CEDAR	ROW ROADWAY	
933	3" OAK	ROW ROADWAY	
937	4" OAK	ROW ROADWAY	
946	5" OAK	ROW ROADWAY	
947	4" OAK	ROW ROADWAY	
949	5" OAK	ROW ROADWAY	
950	8" OAK	ROW ROADWAY	
951	3" OAK	ROW ROADWAY	
952	8" OAK	ROW ROADWAY	
954	3" OAK	ROW ROADWAY	
955	3" OAK	ROW ROADWAY	
956	4" OAK	ROW ROADWAY	
957	6" OAK	ROW ROADWAY	
959	24" OAK	ROW ROADWAY	
1001	12" OAK	EASEMENT	

TREE TABLE			
Point #	Description	Reason For Removal	Mitigation Required
1005	12" OAK	ROW ROADWAY	
1007	8" OAK	ROW ROADWAY	
1008	5" OAK	EASEMENT	
1009	8" OAK	DRIVEWAY	
1010	8" OAK	ROW ROADWAY	
1011	6" OAK	ROW ROADWAY	
1017	8" OAK	DRIVEWAY	
1018	3" OAK	DRIVEWAY	
1019	3" OAK	DRIVEWAY	
1022	6" LOCUST	DRIVEWAY	
1023	7" LOCUST	DRIVEWAY	
1024	4" LOCUST	DRIVEWAY	
1025	6" LOCUST	DRIVEWAY	
1027	4" LOCUST	DRIVEWAY	
1029	6" LOCUST	DRIVEWAY	
1030	6" OAK	EASEMENT	
1031	6" OAK	GRADING	
1032	6" CEDAR	EASEMENT	
1033	6" OAK	ROW ROADWAY	
1035	6" OAK	ROW ROADWAY	
1036	4" OAK	ROW ROADWAY	
1037	4" LOCUST	ROW ROADWAY	
1038	5" OAK	EASEMENT	
1041	6" CEDAR		
1042	8" LOCUST	GRADING	
1044	8" CEDAR	EASEMENT	
1045	4" OAK	EASEMENT	
1046	4" OAK	EASEMENT	
1047	6" OAK	EASEMENT	
1048	5" OAK	EASEMENT	
1050	3" OAK	EASEMENT	
1051	8" OAK	EASEMENT	
1052	8" HACKBERRY	EASEMENT	
1053	4" OAK	EASEMENT	
1054	4" OAK	EASEMENT	
1055	4" OAK	EASEMENT	
1057	3" CEDAR	GRADING	
1058	5" CEDAR	GRADING	
1059	8" LOCUST	GRADING	
1060	6" OAK	GRADING	6" MITIGATION
1061	4" LOCUST	ROW ROADWAY	
1062	6" LOCUST	EASEMENT	
1063	4" OAK	EASEMENT	
1064	6" OAK	EASEMENT	
1065	10" OAK	ROW ROADWAY	
1069	5" LOCUST	PARKING LOT	
1070	4" LOCUST	PARKING LOT	
1071	14" OAK	GRADING	14" MITIGATION
1072	6" OAK	GRADING	6" MITIGATION
1073	10" OAK	GRADING	10" MITIGATION

TREE TABLE			
Point #	Description	Reason For Removal	Mitigation Required
1074	10" OAK	ON BUILDING	
1075	8" OAK	ON BUILDING	
1076	8" OAK	ON BUILDING	
1077	10" OAK	ON BUILDING	
1078	10" OAK	ON BUILDING	
1079	14" OAK	ON BUILDING	
1081	10" OAK	EASEMENT	
1082	6" OAK	EASEMENT	
1083	10" OAK	EASEMENT	
1084	9" OAK	EASEMENT	
1085	6" CEDAR	GRADING	6" MITIGATION
1086	10" OAK	EASEMENT	
1087	10" OAK	EASEMENT	
1088	6" LOCUST	EASEMENT	
1090	5" HACKBERRY		
1091	15" OAK	ON BUILDING	
1092	5" HACKBERRY		
1093	4" OAK	ON BUILDING	
1095	4" HACKBERRY		
1096	9" OAK	EASEMENT	
1097	4" HACKBERRY		
1098	9" OAK	EASEMENT	
1099	4" OAK		
1100	12" OAK	GRADING	12" MITIGATION
1102	5" HACKBERRY	ON BUILDING	
1103	8" OAK	EASEMENT	
1104	8" OAK	ROW ROADWAY	
1105	6" OAK	ROW ROADWAY	
1106	8" OAK	ROW ROADWAY	
1107	8" OAK	ROW ROADWAY	
1109	6" OAK	GRADING	6" MITIGATION
1110	10" OAK	GRADING	10" MITIGATION
1111	10" OAK	EASEMENT	
1112	8" OAK	EASEMENT	
1113	5" LOCUST	EASEMENT	
1115	22" OAK	GRADING	22" MITIGATION
1117	8" OAK	GRADING	8" MITIGATION
1118	10" OAK	GRADING	10" MITIGATION
1119	6" OAK	PARKING	
1120	10" OAK	GRADING	10" MITIGATION
1123	12" OAK	EASEMENT	
1125	5" HACKBERRY	EASEMENT	
1126	4" OAK		
1127	4" OAK		
1128	4" LOCUST		
1129	3" OAK		
1130	3" OAK		
1133	8" OAK		
1134	8" OAK		
1135	16" OAK		

TREE TABLE		
Point #	Description	Reason For Removal
1136	8" CEDAR	EASEMENT
1138	3" OAK	
1139	3" OAK	
1140	6" LOCUST	
1141	5" OAK	EASEMENT
1142	6" OAK	EASEMENT
1143	9" OAK	EASEMENT
1144	4" OAK	EASEMENT
1145	6" OAK	EASEMENT
1146	8" OAK	
1148	6" OAK	
1150	6" OAK	
1151	14" OAK	
1152	17" OAK	
1153	4" OAK	SAVE
1155	22" OAK	EASEMENT
1156	16" OAK	EASEMENT
1157	8" CEDAR	
1159	6" OAK	
1160	8" CEDAR	
1162	4" LOCUST	
1163	5" LOCUST	
1165	4" LOCUST	
1166	5" LOCUST	
1168	24" OAK	
1169	14" OAK	EASEMENT
1217	5" OAK	DRIVEWAY
1218	12" OAK	DRIVEWAY
1220	5" LOCUST	DRIVEWAY
1221	10" OAK	DRIVEWAY
1222	12" OAK	DRIVEWAY
1223	6" HACKBERRY	DRIVEWAY
1224	6" OAK	DRIVEWAY
1225	5" OAK	DRIVEWAY
1226	8" OAK	DRIVEWAY
1227	5" OAK	EASEMENT
1229	5" LOCUST	DRIVEWAY
1230	3" LOCUST	EASEMENT
1231	5" OAK	EASEMENT
1232	5" OAK	EASEMENT
1233	6" HACKBERRY	EASEMENT
1234	8" OAK	PARKING LOT
1235	6" HACKBERRY	PARKING LOT
1236	10" OAK	PARKING LOT
1237	12" OAK	PARKING LOT
1239	10" OAK	PARKING LOT
1240	5" LOCUST	PARKING LOT
1241	11" OAK	PARKING LOT
1243	3" LOCUST	PARKING LOT
1244	5" LOCUST	PARKING LOT

TREE TABLE			
Point #	Description	Reason For Removal	Mitigation Required
1245	3" LOCUST	PARKING LOT	
1246	7" OAK	ON BUILDING	
1247	6" OAK	ON BUILDING	
1248	10" OAK	ON BUILDING	
1249	12" OAK	ON BUILDING	
1250	3" LOCUST	ON BUILDING	
1251	8" OAK	ON BUILDING	
1252	5" OAK	ON BUILDING	
1253	10" OAK DEAD	ON BUILDING	
1265	6" OAK	ON BUILDING	
1267	6" OAK	ON BUILDING	
1268	5" HACKBERRY	ON BUILDING	
1269	8" OAK	PARKING LOT	
1270	3" HACKBERRY	ON BUILDING	
1271	10" OAK	ON BUILDING	
1272	8" OAK	ON BUILDING	
1273	3" HACKBERRY	ON BUILDING	
1274	8" OAK	ON BUILDING	
1275	4" HACKBERRY	PARKING LOT	
1276	9" OAK	PARKING LOT	
1277	3" HACKBERRY	PARKING LOT	
1278	8" OAK	PARKING LOT	
1279	6" OAK DEAD	PARKING LOT	
1280	4" OAK	PARKING LOT	
1281	8" OAK	PARKING LOT	
1282	6" OAK	PARKING LOT	
1283	10" OAK	PARKING LOT	
1284	4" HACKBERRY	PARKING LOT	
1285	13" OAK	PARKING LOT	
1286	6" HACKBERRY		
1287	6" HACKBERRY		
1288	4" OAK		
1289	4" OAK		
1290	6" OAK		
1291	6" OAK		
1292	6" CEDAR		
1293	5" CEDAR		
1294	3" HACKBERRY		
1295	15" OAK	GRADING	15" MITIGATION
1296	6" CEDAR		
1297	11" OAK	GRADING	11" MITIGATION
1298	3" HACKBERRY	GRADING	
1299	3" OAK	PARKING LOT	
1300	6" OAK	GRADING	6" MITIGATION
1301	5" CEDAR	PARKING LOT	
1302	6" LOCUST DEAD	GRADING	
1303	3" LOCUST	GRADING	
1304	3" CEDAR	GRADING	
1305	8" CEDAR	PARKING LOT	
1306	3" CEDAR	PARKING LOT	

TREE TABLE		
Point #	Description	Reason For Removal
1307	4" LOCUST	DRIVEWAY
1308	4" LOCUST	DRIVEWAY
1309	6" CEDAR	DRIVEWAY
1310	7" OAK	DRIVEWAY
1311	14" OAK	DRIVEWAY
1313	3" HACKBERRY	DRIVEWAY
1314	8" OAK	DRIVEWAY
1316	6" CEDAR	DRIVEWAY
1318	4" CEDAR	DRIVEWAY
1319	4" CEDAR	DRIVEWAY
1320	4" CEDAR	DRIVEWAY
1322	8" OAK	
1324	11" OAK	
1325	3" OAK	DRIVEWAY
1326	6" CEDAR	DRIVEWAY
1333	4" LOCUST	
1334	6" CEDAR	
1336	3" OAK	
1627	6" LOCUST	DRIVEWAY

- PROTECTED TREES TO BE SAVED
- NON-PROTECTED TREES SAVED.
- NON-PROTECTED TREES TO BE REMOVED
- PROTECTED TREES TO BE REMOVED THAT ARE EXEMPT FROM MITIGATION. LOCATED WITHIN THE BUILDING PAD, UTILITY OR DRAINAGE EASEMENTS, FIRE LANES, OR DRIVEWAYS.
- PROTECTED TREES TO BE REMOVED - NOT EXEMPT.
- TREES IN ROW. TREES TO BE REMOVED. THESE TREES ARE NOT INCLUDED IN CALCULATIONS.

## TABLE OF EXISTING TREES

NO.	DESCRIPTION	DATE

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PROJECT NUMBER: 2022.700.000  
DATE: 05/01/2023 DRAWN BY: ZG  
DESIGN BY: ZG CHECKED BY: TK

**CASTLE**  
DEVELOPMENT GROUP

251 E. SOUTHLAKE BLVD., STE 100  
SOUTHLAKE, TX 76092

Center Stage Lot 10, Block A

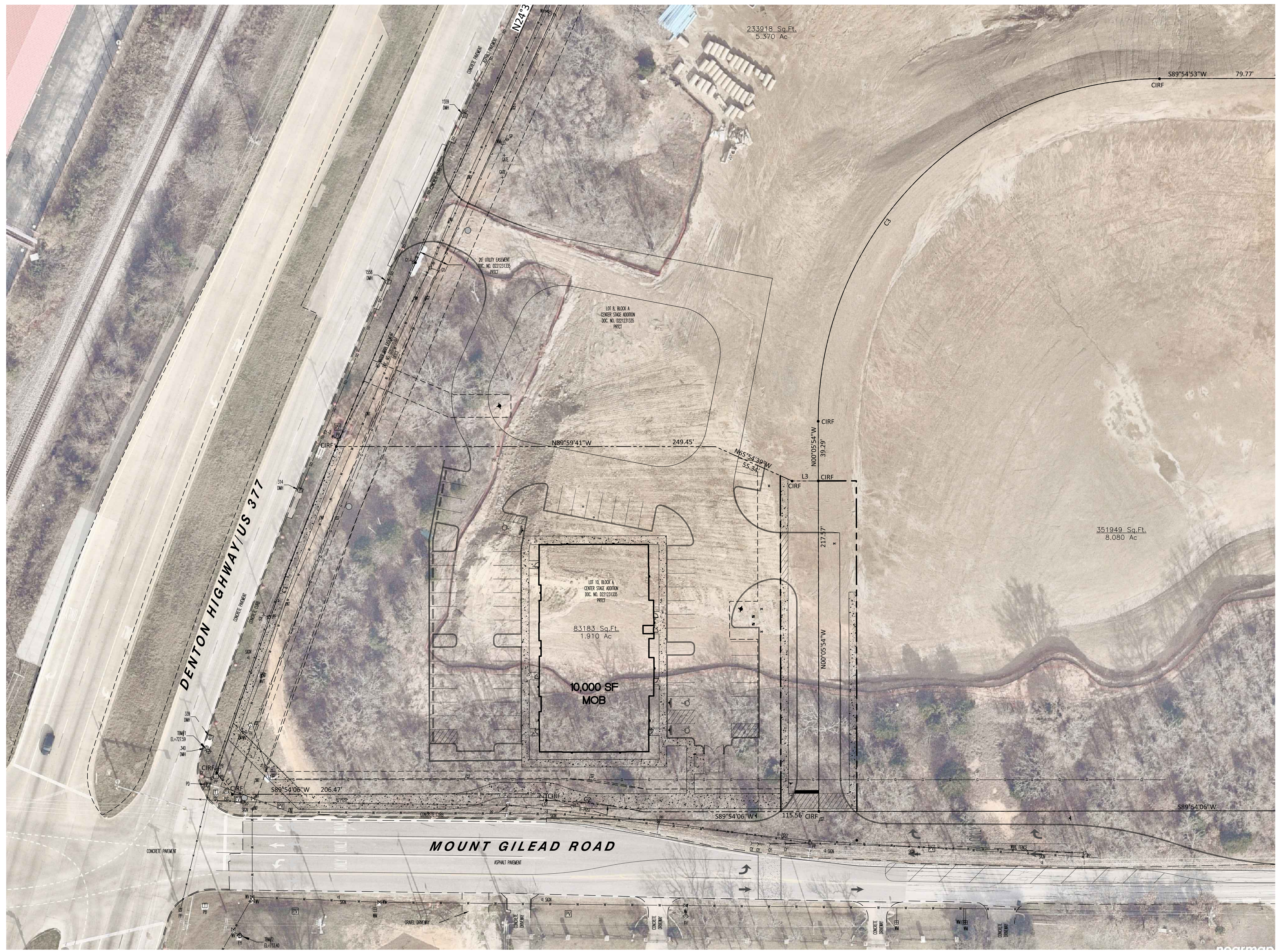
NE CORNER OF MT. GILEAD & US 377  
TARRANT COUNTY, KELLER, TX 76248

**B=B**

BAIRD, HAMPTON & BROWN

engineering and surveying  
3801 William D. Tate Ave. Ste 500 Grapevine, TX 76051  
mail@bhbc.com • 817.251.8550 • bhbc.com  
TBPES Firm #44, #10011300, #10011302, #10194146

5/1/2023 2:31PM E:\2022\000\000\2022\700\000 - Medical Office at US 377 & Mt. Gilead - Keller\01 Design & Drafting\04 Landscape\700TREE SURVEY AND PRESERVATION PLAN.dwg AERIAL PHOTO EXHIBIT



**AERIAL PHOTO EXHIBIT**

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SHEET  
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**CASTLE**  
 DEVELOPMENT GROUP

CASTLE DEVELOPMENT GROUP  
 251 E. SOUTHLAKE BLVD., STE 100  
 SOUTHLAKE, TX 76092

**Center Stage Lot 10, Block A**  
 NE CORNER OF MT. GILEAD & US 377  
 TARRANT COUNTY, KELLER, TX 76248

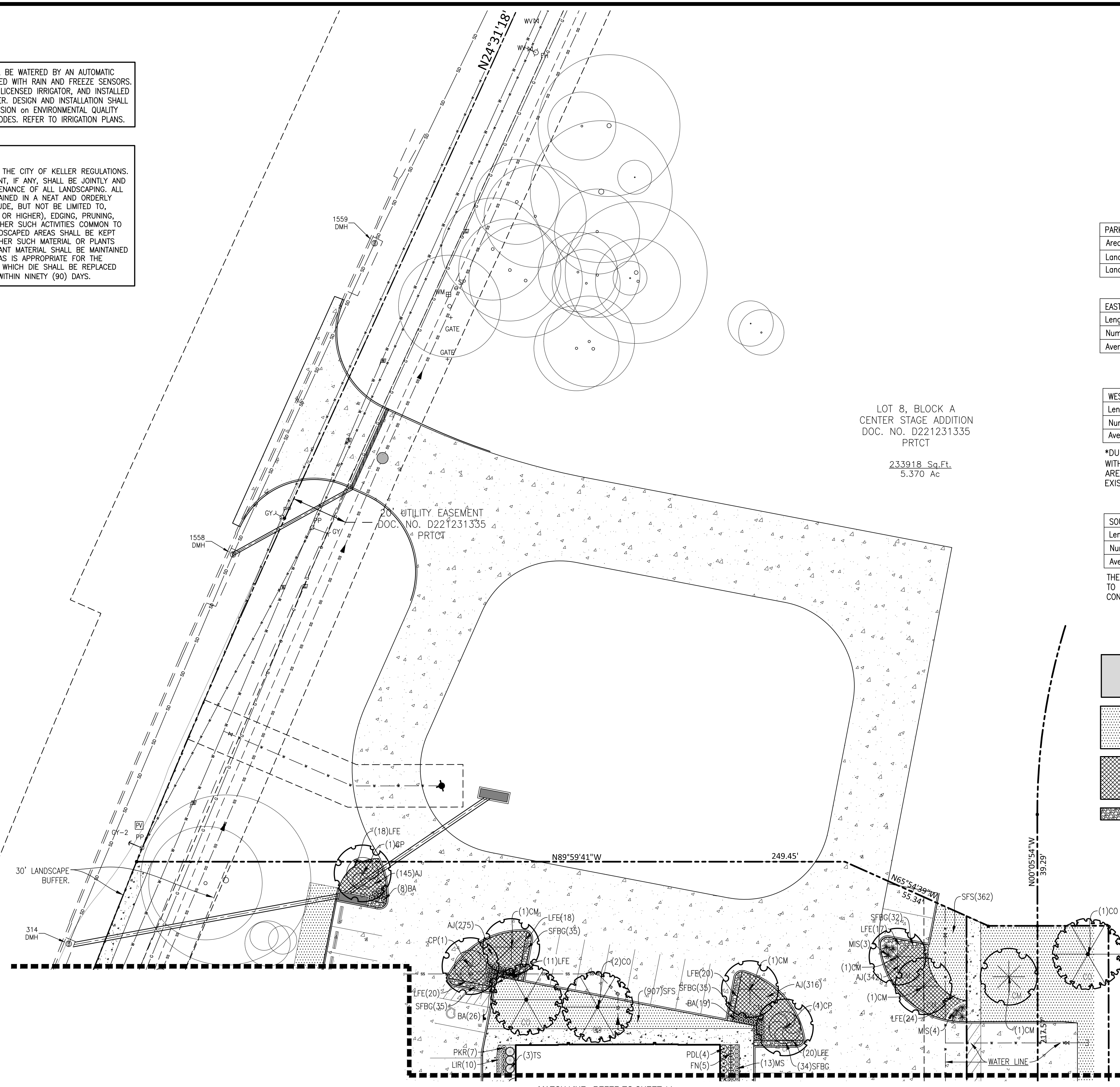
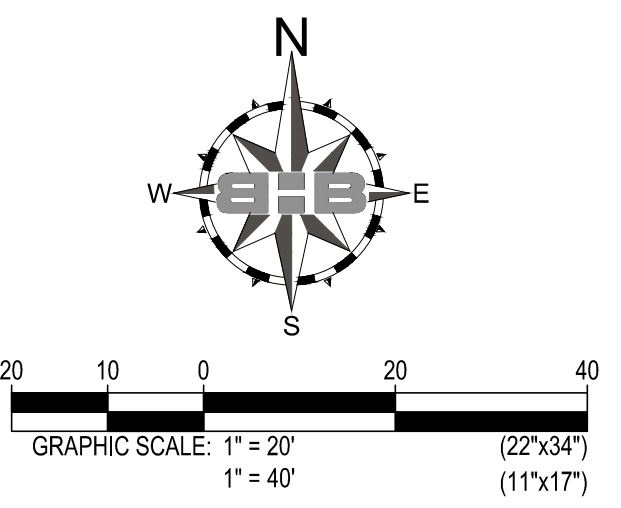
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5/01/2023 2:32PM E:\2022\000.000\2022.700.000 - Medical Office at US 377 & Mt. Gilead - Keller\01 Design & Drafting\04 Landscape\700LANDSCAPE PLAN.dwg LANDSCAPE PLAN 1 of 2

NOTE: ALL NEW LANDSCAPED AREAS SHALL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH RAIN AND FREEZE SENSORS. SYSTEM SHALL BE DESIGNED BY A TEXAS LICENSED IRRIGATOR, AND INSTALLED BY A TEXAS LICENSED IRRIGATOR. DESIGN AND INSTALLATION SHALL CONFORM TO ALL CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY REQUIREMENTS, AND OTHER APPLICABLE CODES. REFER TO IRRIGATION PLANS.

MAINTENANCE NOTE:  
TO BE MAINTAINED IN ACCORDANCE WITH THE CITY OF KELLER REGULATIONS. THE OWNER, TENANT AND/OR THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, MOWING (OF GRASS OF SIX INCHES (6") OR HIGHER), EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THE LANDSCAPING. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE, WITHIN NINETY (90) DAYS.



LOT 8, BLOCK A  
CENTER STAGE ADDITION  
DOC. NO. D221231335  
PRTCT  
233918 Sq.Ft.  
5.370 Ac

PARKING LOT LANDSCAPE	
Area of Parking Lot	26,233 SF
Landscape area required (26,233 x 15%)	3,849 SF
Landscape area provided	4,950 SF

EAST BUFFERYARD (10' WIDE)	
Length of Buffer	217'
Number of Canopy Trees Provided	3
Average Spacing of Trees	40

WEST BUFFERYARD (30' WIDE)	
Length of Buffer	228'
Number of Canopy Trees Provided	0*
Average Spacing of Trees	N/A

\*DUE TO A WATER LINE, SANITARY SEWER LINE, AND GAS LINE WITHIN THE ENTIRE LENGTH OF THE 30' BUFFER, NO TREES ARE TO BE PLANTED IN THE BUFFERYARD. THERE ARE EXISTING TREES WITHIN AND CLOSE TO THE BUFFERYARD.

SOUTH BUFFERYARD (15' WIDE)	
Length of Buffer	360'
Number of Canopy Trees Provided	6
Average Spacing of Trees (of 4 trees to be planted)	27-30'

THE SOUTH BUFFERYARD INCLUDES MANY EXISTING TREES IN ADDITION TO THE 6 WHICH WILL BE PLANTED. THE EXISTING TREES WILL CONTRIBUTE TO THE BUFFERYARD TREE REQUIREMENT.

**EASEMENTS, BUILDING ENVELOPE, FIRE LANES, DRIVEWAYS**

**AREAS OF NEW SOD**

**AREAS OF ASIAN JASMINE GROUNDCOVER**

**AREAS OF BASALT GRAVEL**

**PLANT and MATERIAL ABBREVIATION KEY**

CE	Cedar Elm
CO	Chinkapin Oak
CP	Chinese Pistache
CM	Caddo Maple
PDL	Purple Diamond Loropetalum
DDL	Daydream Loropetalum
TS	Compact Texas Sage
MG	Muhly Grass
SSL	Sunshine Ligustrum
BA	Blonde Ambition Grass
IH	Pinkie Indian Hawthorn
DBH	Dwarf Burford Holly
PKR	Petite Knockout Rose
RCA	Rose Creek Abelia
FN	Firepower Nandina
CL	Cleyera
LIR	Liriope
DL	Stella de Oro Day Lilly
MS	Maynight Salvia
DIA	Dianthus Firewitch
AJ	Asian Jasmine
LFE	Linear Feet Steel Edging
SFS	Square Feet Sod
SFBG	Square Feet Basalt Gravel

SUMMARY OF PROPOSED CANOPY TREE PLANTING ON SITE	
(8) 4" CALIPER TREES WILL BE PLANTED ON SITE -	32 CALIPER INCHES
(27) 3" CALIPER TREES WILL BE PLANTED ON SITE -	81 CALIPER INCHES
	TOTAL: 113 CALIPER INCHES
SUMMARY OF PROPOSED CANOPY TREE PLANTING OFF SITE (IN R.O.W.)	
(1) 4" CALIPER TREE WILL BE PLANTED IN ROW -	4 CALIPER INCHES
(7) 3" CALIPER TREES WILL BE PLANTED IN ROW -	21 CALIPER INCHES
	TOTAL: 25 CALIPER INCHES

**B=B**  
**BAIRD, HAMPTON & BROWN**  
engineering and surveying  
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**CASTLE DEVELOPMENT GROUP**  
251 E. SOUTHLAKE BLVD., STE 100  
SOUTHLAKE, TX 76092  
**Center Stage Lot 10, Block A**  
NE CORNER OF MT. GILEAD & US 377  
TARRANT COUNTY, KELLER, TX 76248

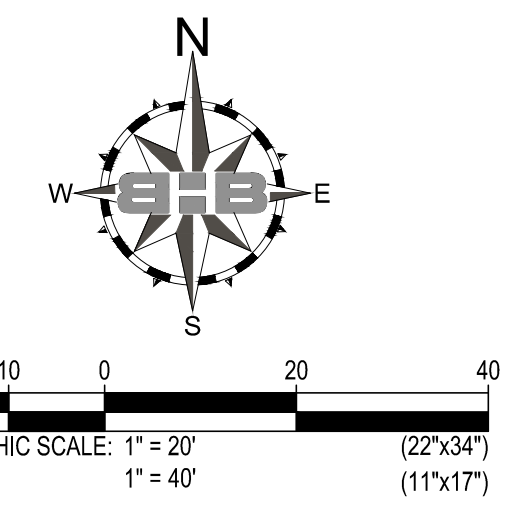
**LANDSCAPE PLAN 1 OF 2**

NO.	DESCRIPTION	DATE

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**DENTON HIGHWAY/US 377**



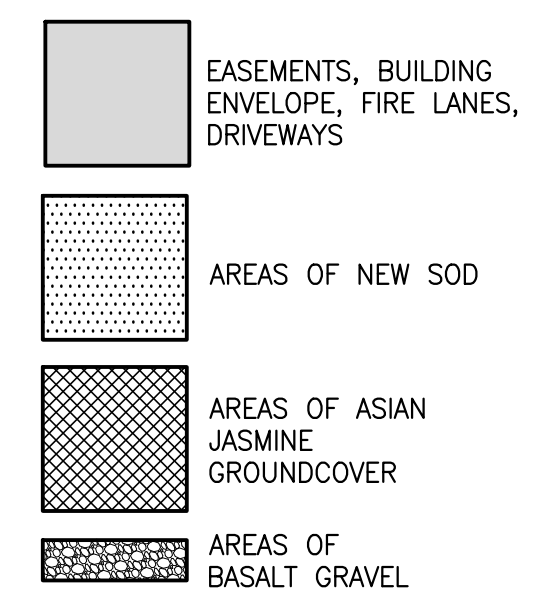
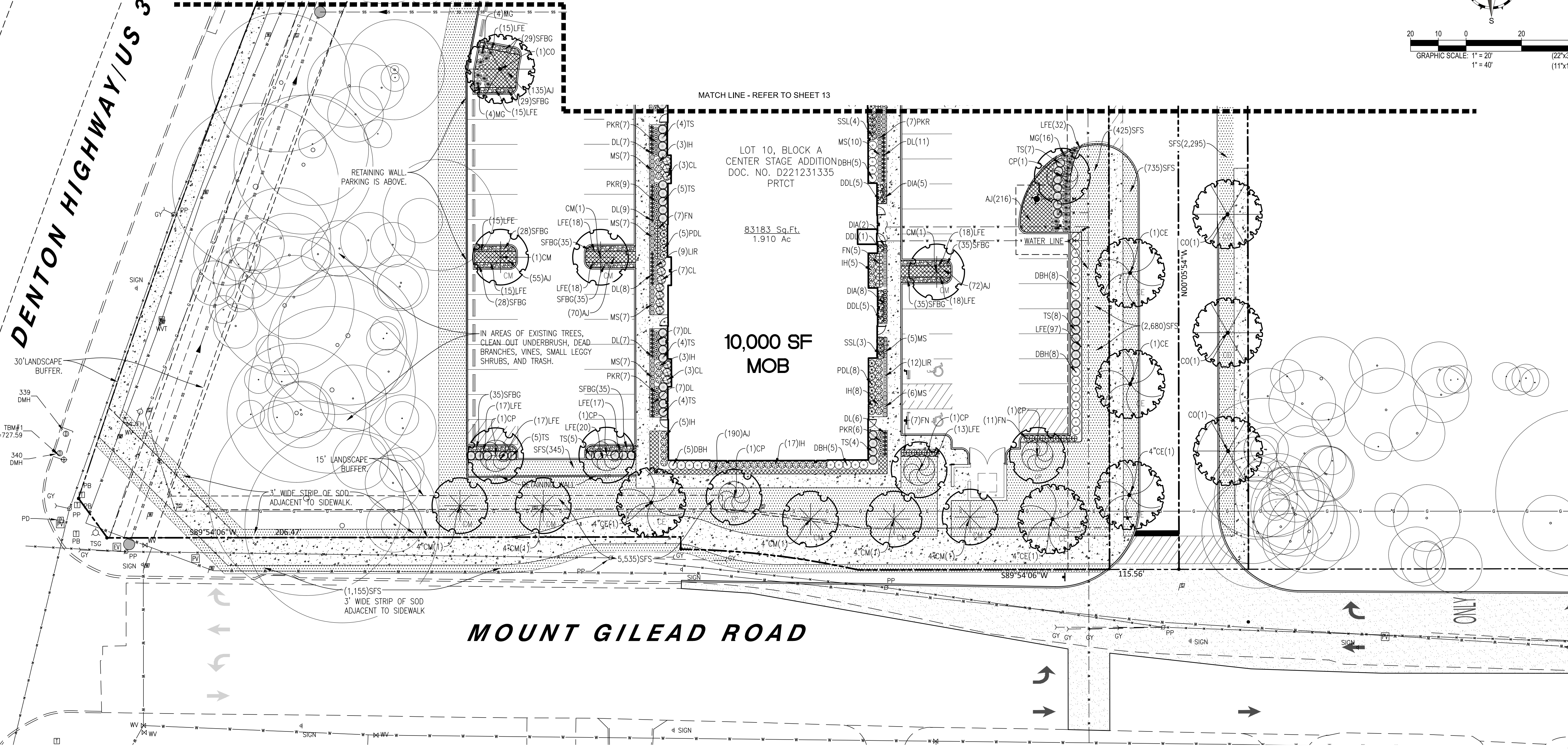
MATCH LINE - REFER TO SHEET 13

LOT 10, BLOCK A  
CENTER STAGE ADDITION  
DOC. NO. D221231335  
PRCT

8,318.3 Sq.Ft.  
1.910 Ac

**10,000 SF  
MOB**

**MOUNT GILEAD ROAD**



PLANT and MATERIAL ABBREVIATION KEY

CE	Cedar Elm
CO	Chinkapin Oak
CP	Chinese Pistache
CM	Caddo Maple
PDL	Purple Diamond Loropetalum
DDL	Daydream Loropetalum
TS	Compact Texas Sage
MG	Muhly Grass
SSL	Sunshine Ligustrum
BA	Blonde Ambition Grass
IH	Pinkie Indian Hawthorn
DBH	Dwarf Burford Holly
PKR	Petite Knockout Rose
RCA	Rose Creek Abelia
FN	Firepower Nandina
CL	Cleyera
LIR	Liriope
DL	Stella de Oro Day Lilly
MS	Maynight Salvia
DIA	Dianthus Firewitch
AJ	Asian Jasmine
LFE	Linear Feet Steel Edging
SFS	Square Feet Sod
SFBG	Square Feet Basalt Gravel

5/01/2023 2:32PM E:\2022\000\000\2022\700\000 - Medical Office at US 377 & Mt. Gilead - Keller\01 Design & Drafting\04 Landscape\700\LANDSCAPE PLAN.dwg LANDSCAPE PLAN 2 of 2

**CASTLE**  
DEVELOPMENT GROUP  
251 E. SOUTHLAKE BLVD., STE 100  
SOUTHLAKE, TX 76092

**Center Stage Lot 10, Block A**  
NE CORNER OF MT. GILEAD & US 377  
TARRANT COUNTY, KELLER, TX 76248

**LANDSCAPE PLAN 2 OF 2**

NO.	DESCRIPTION	DATE

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# PLANT and MATERIALS LIST

## Trees

KEY	PLANT NAME	QUANTITY	MIN. CALIPER	MIN. HT/SPR	NOTES
4"CE	Cedar Elm Ulmus crassifolia	3	4" Caliper	14'/6'	NURSERY GROWN; FULL; 7' MIN. BRANCHING HEIGHT
4"CM	Caddo Maple Acer saccharum 'Caddo'	5	4" Caliper	14'/6'	NURSERY GROWN; FULL ROUNDED HEAD; 6' MIN. BRANCHING HEIGHT
CE	Cedar Elm Ulmus crassifolia	2	3" Caliper	12'/6'	NURSERY GROWN; FULL; 7' MIN. BRANCHING HEIGHT
CM	Caddo Maple Acer saccharum 'Caddo'	8	3" Caliper	12'/6'	NURSERY GROWN; FULL ROUNDED HEAD; 6' MIN. BRANCHING HEIGHT
CP	Chinese Pistachio Pistacia chinensis	9	3" Caliper	12'/6'	NURSERY GROWN; FULL; 7' MIN. BRANCHING HEIGHT
CO	Chinquapin Oak Quercus muhlenbergii	7	3" Caliper	12'/6'	NURSERY GROWN; FULL; 7' MIN. BRANCHING HEIGHT

## Shrubs and Groundcover

KEY	PLANT NAME	QUANTITY	CONTAINER	MIN. HT/SPR.	NOTES
PKR	Petite Knock-out Rose Rosa 'Meibenhino'	50	3 GALLON	18"/14"	FULL
MIS	Maiden Grass Miscanthus sinensis 'Adagio'	7	3 GALLON		FULL
MG	Muhly Grass Muhlenbergia capillaris	24	3 GALLON		FULL
SL	Sunshine Ligustrum Ligustrum sinense 'Sunshine'	7	3 GALLON	24"/18"	FULL
IH	Pinkie Indian Hawthorn (pink flower) Rhapiolepis indica 'Pinkie'	41	3 GALLON	16"/16"	FULL
TS	Compact Texas Sage Leucophyllum candidum 'Compacta'	49		24"/18"	FULL;
DBH	Dwarf Burford Holly Ilex cornuta 'Burfordii nana'	31		24"/18"	FULL
PDL	Purple Diamond Loropetalum Loropetalum chinensis 'Purple Diamond'	17	3 GALLON	16"/14"	FULL
DDL	Daydream Loropetalum Loropetalum chinensis 'Daydream'	9	3 GALLON	16"/14"	FULL
FN	Firepower Nandina Nandina domestica 'Firepower'	34	3 GALLON	14"/12"	FULL
CL	Japanese Clewera ternstroemia gymnanthera	13	3 GALLON	24"/24"	FULL
BA	Blonde Ambition Grass Bouteloua gracilis 'Blonde Ambition'	46	1 GALLON		FULL
DIA	Firewitch Dianthus Dianthus gratianopolitanus 'Firewitch'	15	1 GALLON		FULL
MS	May Night Salvia Salvia 'May Night'	62	1 GALLON		FULL
DL	Day Lilly Hemerocallis x 'Stella de Oro'	55	1 GALLON		FULL
LIR	Liriope Liriope muscari 'Big Blue'	43	1 GALLON		FULL; SPACE AS SHOWN - APPROX. 12" ON CENTER.
AJ	Asian Jasmine Trachelospermum asiaticum	1,820	4" POT		FULL; SPACE 12" ON CENTER. MINIMUM 4 RUNNERS; EACH RUNNER MIN. 5" LONG.

## Grass

SFS	SOLID SOD	Cynodon dactylon Bermudagrass	14,020 Sq. Ft. 1,560 Sq. Yd.	Varieties: Tifway 419, Tex Turf 10, or other improved variety.
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## Miscellaneous

LFE	520 Linear feet steel edging; COMMERCIAL GRADE - 3/16" thick; black (preferred) or green; securely staked. Refer to detail.
SFBG	500 Square feet crushed stone: Minimum 4 inch layer of "Basalt Gravel Small"; available from Whiz-Q Stone, 817-429-0822. Equivalent products may be substituted for stone. Refer to detail.

## NOTES

THE QUANTITIES OF PLANTS AND MATERIALS SHOWN IN THE ABOVE LISTS MUST BE COMPARED TO THE LANDSCAPE PLAN. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.

ACTUAL QUANTITY OF SOD (AND/OR HYDROMULCH) NEEDED MAY DIFFER FROM SQUARE FOOTAGES LABELED. CONTRACTOR SHALL BID QUANTITY SHOWN IN PLANT LIST, AND PROVIDE PER SQUARE FOOT UNIT COSTS FOR ADDING AND SUBTRACTING SOD (AND/OR HYDROMULCH). THE CONTRACTOR IS REQUIRED TO TAKE APPROPRIATE MEASURES TO ENSURE THAT A FULL STAND OF HEALTHY GRASS IS ESTABLISHED IN ALL GRASS AREAS. GRASS SHALL BE PLANTED IN AREAS DISTURBED BY GRADING AND OTHER CONSTRUCTION ACTIVITIES. FIELD VERIFICATION OF GRASS LIMITS IS OFTEN REQUIRED. THESE INSTRUCTIONS ALSO APPLY IF EROSION CONTROL BLANKET IS CALLED FOR ON THE PLANS.

PRIOR TO INSTALLATION OF PLANTS, THE LANDSCAPE CONTRACTOR SHALL WALK THE SITE WITH THE OWNER'S REPRESENTATIVE TO VERIFY ALL AREAS TO BE PLANTED, PLANT SIZES, AND COORDINATION OF PLANTING ACTIVITIES WITH IRRIGATION INSTALLATION.

IF HYDROMULCH IS NOT SHOWN ON THE LANDSCAPE PLANS, THE LANDSCAPE CONTRACTOR SHALL DISCUSS WITH THE OWNER'S REPRESENTATIVE IF IT IS POSSIBLE TO INSTALL HYDROMULCH RATHER THAN SOD IN SOME GRASS AREAS. IF HYDROMULCH IS INSTALLED, IT SHALL BE SULTAN, BLACK JACK, OR SAHARA BERMUDA WITH A TACKIFIER ADDITIVE ON 4:1 OR GREATER SLOPES. BERMUDA HYDROMULCH SHALL ONLY BE APPLIED BETWEEN THE DATES OF MAY 1st AND SEPTEMBER 15th. BETWEEN SEPTEMBER 15th and MAY 1st, HYDROMULCH WITH ANNUAL RYE GRASS, AND RETURN AFTER MAY 1st TO REMOVE OR TILL IN RYE GRASS AND HYDROMULCH (OR SOD IF OWNER REQUESTS) WITH BERMUDA. PRIOR TO HYDROMULCHING, VERIFY WITH OWNER'S REPRESENTATIVE AREAS, DATES, AND TYPE OF GRASS. DISCUSS WITH THE OWNER THE SCHEDULE AND OTHER DETAILS REGARDING RETURNING AFTER MAY 1ST TO ESTABLISH PERMANENT BERMUDA GRASS.

ALL PLANT MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2014."

ALL NEW LANDSCAPED AREAS SHALL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH RAIN AND FREEZE SENSORS. SYSTEM SHALL BE DESIGNED BY A TEXAS LICENSED IRRIGATOR, AND INSTALLED BY A TEXAS LICENSED IRRIGATION INSTALLER. DESIGN AND INSTALLATION SHALL CONFORM TO ALL CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY REQUIREMENTS, AND OTHER APPLICABLE CODES.

THE LANDSCAPE CONTRACTOR AND IRRIGATION CONTRACTOR SHALL TAKE NECESSARY MEASURES TO COORDINATE THE TIMING OF INSTALLATION OF PLANTS AND INSTALLATION OF THE IRRIGATION SYSTEM. COORDINATE WITH THE GENERAL CONTRACTOR IF NECESSARY. THE GENERAL CONTRACTOR OR PAVING CONTRACTOR SHALL CONSULT WITH THE IRRIGATION CONTRACTOR REGARDING THE POSSIBILITY OF IRRIGATION SLEEVES WITHIN AREAS TO BE PAVED.

Note: the specifications below are to be considered guide specifications. Not all the requirements are applicable to this project. Most important are the requirements for plant quality, and the guarantee.

## LANDSCAPE SPECIFICATIONS

### SCOPE OF WORK

A. Furnish all supervision, labor, materials, services, and equipment required to complete the work covered in these specifications and plans, including the following: planting of trees, shrubs, and groundcover, submittals, maintenance, guarantee, cleanup, and acceptance.

### REFERENCES

A. American Standard for Nursery Stock - ANSI Z60.1 - published by American Nursery & Landscape Association; latest edition.

B. Hortis Third, 1976 - Cornell University

### SUBMITTALS (IF REQUESTED BY OWNER OR OWNER'S REPRESENTATIVE)

A. Samples: Provide representative quantities of mulch and stone. Samples shall be approved by Owner's Representative before use on project.

B. If requested by the Owner's Representative, the Landscape Contractor shall provide at the site two (2) representative samples of each variety of trees, shrubs, and groundcover plants for Owner's Representative's approval. Photographs of representative plants are acceptable. Photos must show plant clearly from at least two sides.

C. Plant substitutions must be pre-approved by the Owner's Representative in writing.

### JOB CONDITIONS

A. General Contractor shall leave planting bed areas three (3) inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All construction debris shall be removed prior to Landscape Contractor beginning work.

B. Underground utilities must be located prior to planting. Landscape Contractor shall arrange for utility location service. Contact Texas811.com at least two working days prior to excavation. Landscape Contractor shall be responsible for protecting utility lines. Repairs due to damage shall be at the Landscape Contractors expense.

C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner will not be responsible for theft or damage.

### MAINTENANCE and GUARANTEE

A. The Landscape Contractor is responsible for maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, or groundcover will be accepted unless they show a healthy growth and satisfactory foliage conditions.

B. Maintenance shall include watering, cultivation, weeding, edging, pruning of trees, cleaning up, and all other necessary maintenance tasks.

C. A written notice requesting final inspection and acceptance should be submitted to the Owner's Representative at least five (5) days prior to completion. If requested, an on-site inspection by the Owner's Representative and the Landscape Contractor will be completed prior to final acceptance.

D. After final acceptance, the Owner assumes responsibility for maintenance.

E. Trees, shrubs, and groundcover shall be guaranteed for a twelve (12) month period after acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner's Representative. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be subject to replacement.

F. First initial plant replacement shall be at the Landscape Contractor's expense. Additional replacement plants beyond the first are not guaranteed.

G. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified.

H. The Owner agrees that for the guarantee to be effective, he/she will water plants at least twice a week during dry periods. The Landscape Contractor shall visit the site at regular intervals during the guarantee period to observe the condition of the plants, and report any problems and possible remedies to the Owner.

### QUALITY ASSURANCE

A. Owner's Representative has the right to inspect all plant materials at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.

B. Owner's Representative retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.

C. Owner's Representative may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately.

### PRODUCT DELIVERY, STORAGE AND HANDLING

A. Balled and burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.

B. Container grown plants: Deliver plants in rigid container to hold ball shape and protect root mass.

C. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.

D. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.

E. Do not lift, move, adjust to plumb, or otherwise manipulate plants by trunks or stems.

### PLANTS

A. Plants shall be well-formed nursery grown stock, with tags showing species and variety. Tags must remain until after final acceptance. Plants will be individually approved by the Owner's Representative and his decision as to their acceptability shall be final.

B. The Plant and Materials List shown on the plans is an aid to the Landscape Contractor. Confirm all quantities, and report any discrepancies to the Owner's Representative.

C. Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, fully branched, and well rooted. Plants shall be free from insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, and insect eggs and larvae.

D. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Unless specified as multi-trunk, trees shall have a single dominant leader.

E. Substitutions: Plant substitutions may be requested. Substitutions must be pre-approved by the Owner's Representative. In order for a substitution to be considered, the contractor must provide proof that the specified plant is not readily available, either by species, quantity, or size. The contractor shall provide in writing the names, phone numbers, and contact persons from three wholesale nurseries that were contacted. The contractor may suggest an alternative, but the Owner's Representative shall reserve the right as to which substitution, if any, is allowed.

### INSTALLATION

A. Prior to installation, Landscape Contractor shall inspect all existing conditions and report any deficiencies to the Owner's Representative.

B. Areas to receive rock groundcover: Remove existing grass, weeds, rocks, or other obstructions. Lay polypropylene fabric, using pins as necessary to hold securely in place. Place stone groundcover to depths indicated on plans. Surfaces shall be smooth, without visible depressions or ridges.

C. Position the trees and shrubs in their intended location as per plan. Notify the Owner's Representative for inspection and approval of all positioning of plant materials. Plants in the vicinity of fire hydrants, meters, or utility boxes must be placed so that, at plant maturity, a five (5) foot clearance is provided.

D. Dig a wide, rough sided hole the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed. Root flare of trees must be exposed.

E. Backfill trees only with existing material excavated from the pit. Carefully settle by watering to prevent air pockets. Backfill shrubs and groundcover beds with planting soil mix as specified in the planting details.

F. All plant beds and trees shall be mulched with a minimum settled thickness of three (3") inches over the entire bed or pit.

G. In the event that rock, or underground construction work or obstructions are encountered, the Landscape Contractor shall notify the Owner's Representative or Landscape Architect immediately in order to determine if alternate locations can be selected. Where locations cannot be changed, if possible, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6) inches below the bottom of the root ball when plant is properly set at the required grade. For trees, the planting pit shall be at least three times the width of the root ball. Prior to excavating the obstruction(s), the Landscape Contractor shall negotiate with the Owner's Representative to determine if a change order is required.

H. The Landscape contractor shall return after a period of one year to remove all tree staking materials. If any trees appear to need additional time to stabilize, staking will remain for no longer than an additional 6 months. During the period of time when trees are staked, the contractor is responsible for straightening trees that are not plumb, and adjusting stakes and guy wires as necessary. Guy wires must fit loosely as called for in the planting details.

I. Lay sod within 24 hours of harvesting. Do not lay sod if ground is frozen or muddy. Sod shall form a solid mass with tightly fitted joints. Butt ends and sides of sod; do not stretch or overlap. Stagger sod strips or pads to offset joints in adjacent courses. Avoid damage to subgrade or sod during installation. Tamp and roll lightly to ensure contact with subgrade, eliminate air pockets, and form a smooth surface. Work sifted soil or fine sand into minor cracks between pieces of sod; remove excess to avoid smothering sod and adjacent grass. Lay sod across angle of slopes exceeding 1:3. Anchor sod on slopes exceeding 1:6 with biodegradable staples spaced as recommended by sod grower but not less than 2 anchors per sod strip to prevent slippage. Saturate sod with fine water spray within two hours of planting. After planting, water daily or more frequently until sod is established.

### CLEANUP

A. During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each day's work. Site shall be clean and neat at time of final inspection.



CASTLE DEVELOPMENT GROUP  
251 E. SOUTHLAKE BLVD., STE 100  
SOUTHLAKE, TX 76092

Center Stage Lot 10, Block A  
NE CORNER OF MT. GILEAD & US 377  
TARRANT COUNTY, KELLER, TX 76248

## PLANT SCHEDULE & NOTES

NO.	DESCRIPTION	DATE

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5/1/2023

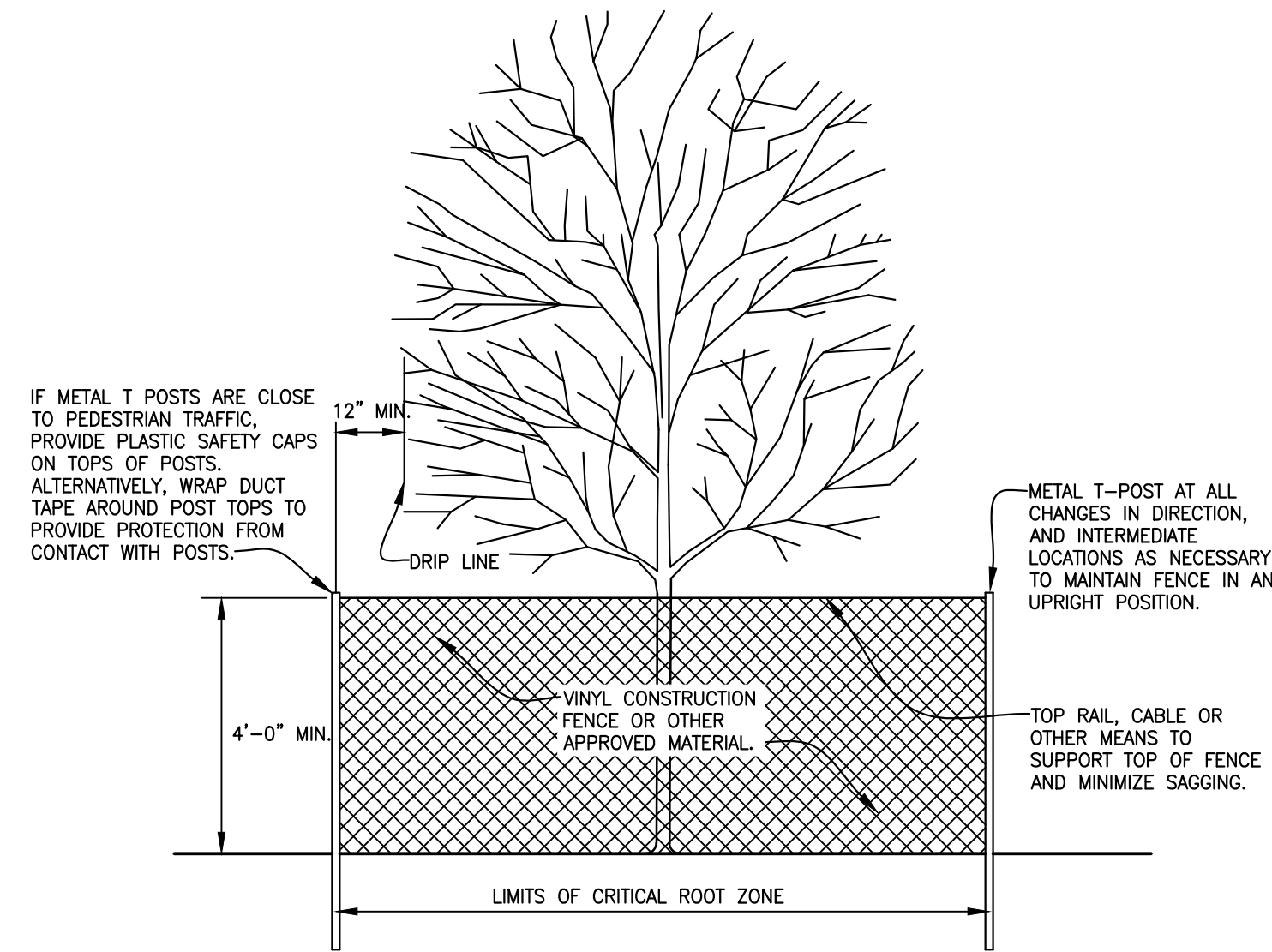
PROJECT NUMBER: 2022.700.000  
DATE: 05/01/2023 DRAWN BY: ZG  
DESIGN BY: ZG CHECKED BY: TK

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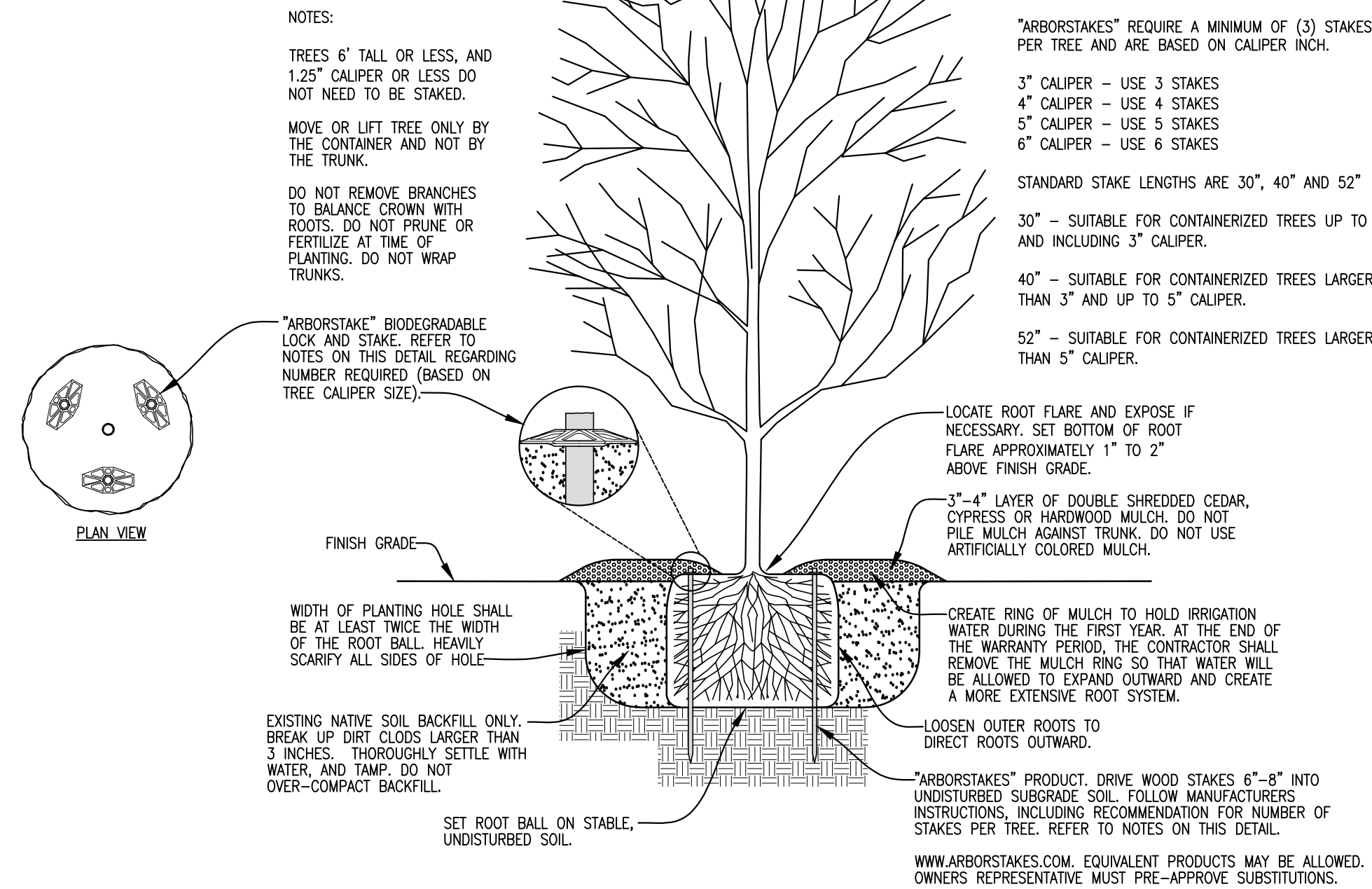


### TREE PROTECTION FENCING

Not to Scale

**NOTES:**

- ALL TREE PROTECTION FENCING MUST BE INSTALLED BEFORE THE BEGINNING OF SITE GRADING OR OTHER CONSTRUCTION. VEHICLE TRAFFIC WITHIN THE DRIP LINE OF TREES TO BE SAVED IS NOT ALLOWED.
- WHEN TREE PROTECTION FENCING IS SHOWN ON THE PLANS, IT IS SHOWN SCHEMATICALLY. FIELD ADJUSTMENTS MAY BE NECESSARY.
- TREE PROTECTION FENCING SHALL BE INSTALLED A MINIMUM OF 12" OUTSIDE OF THE TREE DRIP LINES.
- POSTS SHALL BE SET IN A GENERALLY CIRCULAR PATTERN. SQUARE OR RECTANGULAR SHAPES ARE ALLOWED ONLY IF THE ENTIRE DRIP LINE IS ENCLOSED. TREES MAY BE FENCED IN GROUPS.
- IF CONSTRUCTION INTERFERES WITH PLACING TREE PROTECTION FENCING AROUND THE ENTIRE CRITICAL ROOT ZONE, SET THE FENCE SO THAT AS MUCH AREA OF THE CRITICAL ROOT ZONE AS POSSIBLE IS PROTECTED. FENCING MAY BE REMOVED TEMPORARILY TO ALLOW FOR CONSTRUCTION ACTIVITIES. FENCING MUST BE REPLACED IMMEDIATELY UPON COMPLETION OF WORK WITHIN THE CRITICAL ROOT ZONE.
- WHEN LOCATIONS OF TREE PROTECTION FENCING ARE NOT SHOWN ON THE PLANS, PLACE FENCING AT ALL TREES WITHIN 50 FEET OF A CONSTRUCTION AREA. MAINTAIN FENCE UNTIL PROJECT COMPLETION.
- THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE DRIP LINE OF EXISTING TREES TO BE SAVED: STORING MATERIALS, EQUIPMENT CLEANING, LIQUID DISPOSAL, VEHICLE TRAFFIC, GRADE CHANGES, IMPERVIOUS PAVING, & SOIL COMPACTION.

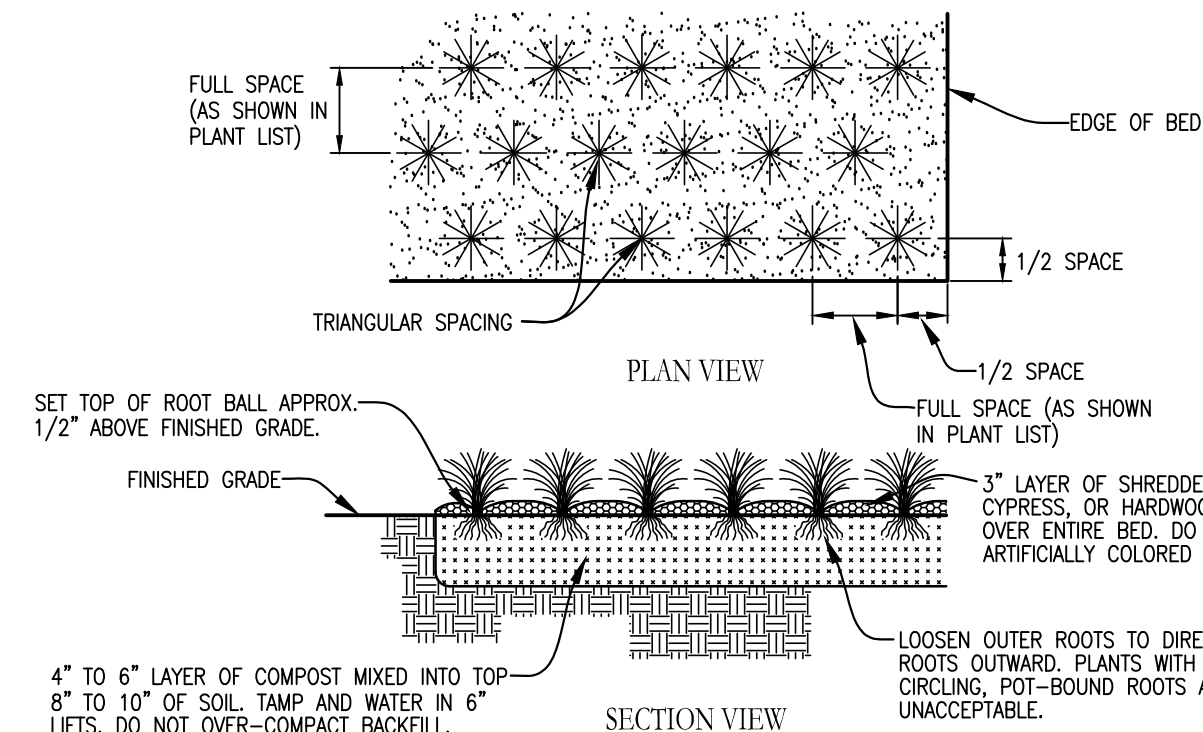


### TREE PLANTING

Section Not to Scale

**NOTES:**

- WITHIN 18" TO 24" (HORIZONTAL DISTANCE) OF EXTERIOR BUILDING FACADES, REDUCE DEPTH OF MULCH TO 1" TO ENSURE THAT MULCH IS AT LEAST SEVERAL INCHES BELOW FINISH FLOOR ELEVATION. NEVER INSTALL MULCH ABOVE FFE.
- REMOVE CONTAINER WHILE KEEPING ROOT BALL INTACT.
- IF ROOT BALL IS B&B, REMOVE TOP ONE-THIRD OF BURLAP WHILE KEEPING ROOT BALL INTACT.
- ONCE PLANT IS PROPERLY PLACED IN HOLE AND BACKFILLED, WATER SUFFICIENTLY TO SETTLE THE SOIL AND THOROUGHLY WET ROOT BALL.
- DO NOT FERTILIZE AT TIME OF PLANTING.

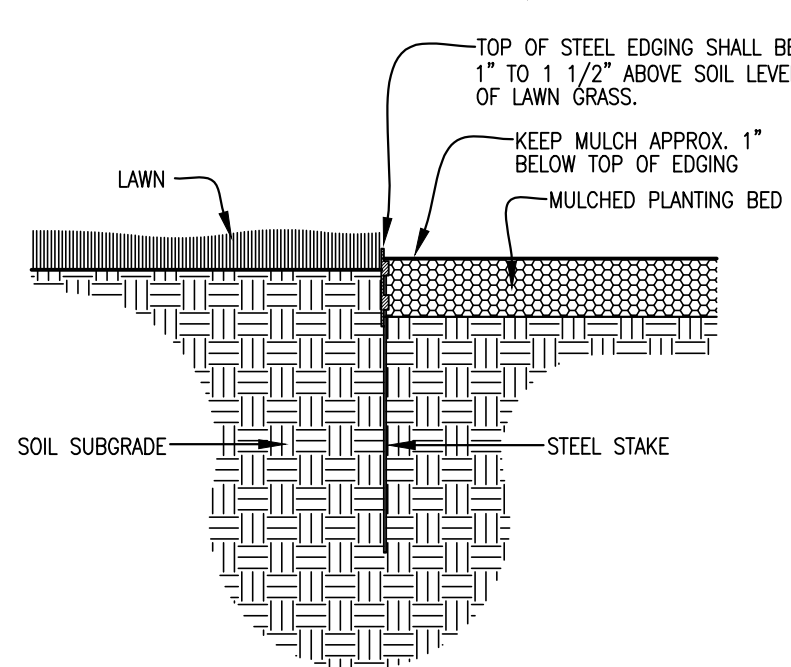


### GROUNDCOVER/ANNUAL PLANTING

Plan/Section Not to Scale

**NOTES:**

- STEEL EDGING SHALL BE COMMERCIAL GRADE, 3/16" THICK; BLACK COLOR (PREFERRED) OR GREEN.
- INSTALL EDGING SO THAT CURVED SECTIONS FORM SMOOTH RADIIUSES. STRAIGHT SECTIONS SHALL BE STRAIGHT AND TRUE, WITHOUT BOWS OR WAIVERS.
- AT ENDS OF RUNS, CUT A CHAMFER (ABOUT 1 INCH) INTO THE EXPOSED TOP END POINT TO ELIMINATE SHARP POINTS. POINTS MAY ALSO BE GROUND SMOOTH TO FORM A MINIMUM 3/4 INCH RADIUS.

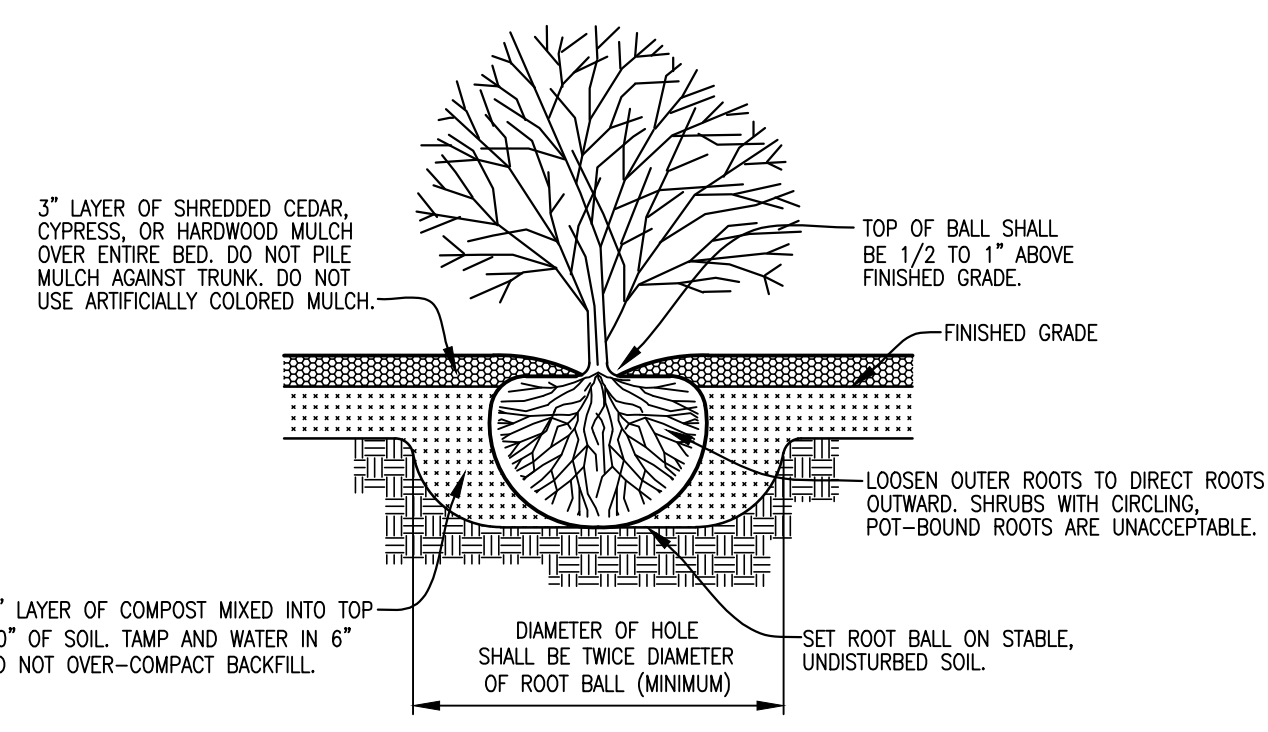


### STEEL EDGING

Section Not to Scale

**NOTES:**

- WITHIN 18" TO 24" (HORIZONTAL DISTANCE) OF EXTERIOR BUILDING FACADES, REDUCE DEPTH OF MULCH TO 1" TO ENSURE THAT MULCH IS AT LEAST SEVERAL INCHES BELOW FINISH FLOOR ELEVATION. NEVER INSTALL MULCH ABOVE FFE.
- REMOVE CONTAINER WHILE KEEPING ROOT BALL INTACT.
- IF ROOT BALL IS B&B, REMOVE TOP ONE-THIRD OF BURLAP WHILE KEEPING ROOT BALL INTACT.
- ONCE PLANT IS PROPERLY PLACED IN HOLE AND BACKFILLED, WATER SUFFICIENTLY TO SETTLE THE SOIL AND THOROUGHLY WET ROOT BALL.
- DO NOT FERTILIZE AT TIME OF PLANTING.



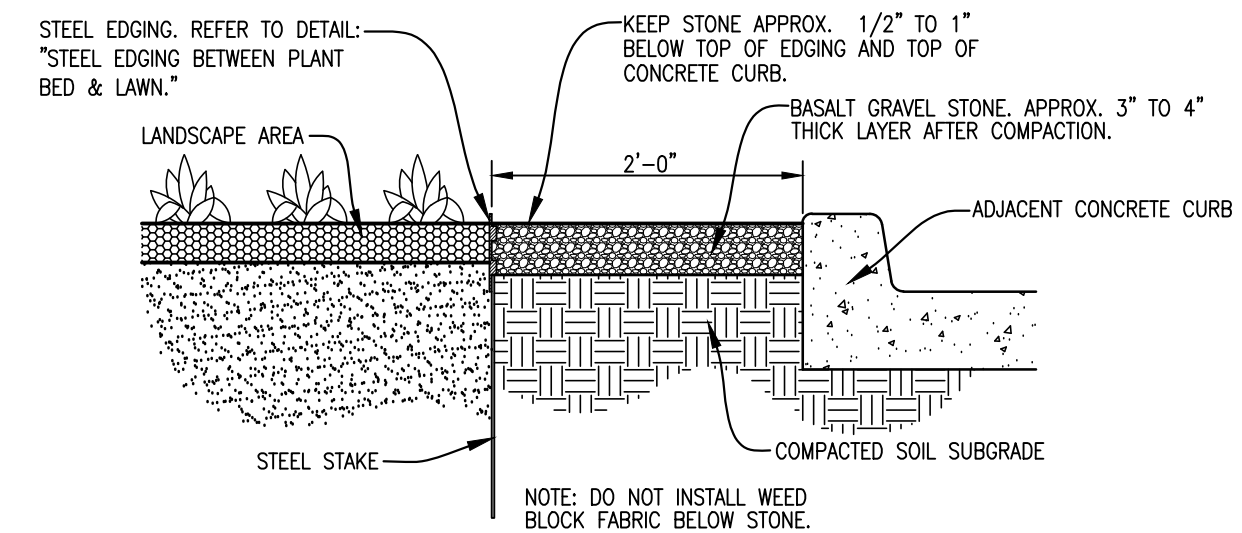
### SHRUB/PERENNIAL PLANTING

Section Not to Scale



**NOTES:**

- THIS DETAIL ILLUSTRATES AN APPLICATION WHERE THE STONE IS ADJACENT TO A PARKING SPACE. THIS DETAIL ALSO APPLIES TO OTHER APPLICATIONS.
- STONE SHALL BE CRUSHED BASALT GRAVEL, OR EQUIVALENT. REFER TO PLANT AND MATERIALS LIST.
- MOISTEN BASALT GRAVEL AND COMPACT WITH VIBRATORY PLATE COMPACTOR. MAKE SEVERAL PASSES, AND TOP OFF WITH ADDITIONAL STONE IF NEEDED. RE-COMPACT SO THAT TOP SURFACE OF STONE WILL BE SLIGHTLY BELOW ADJACENT CURB AND STEEL EDGING.

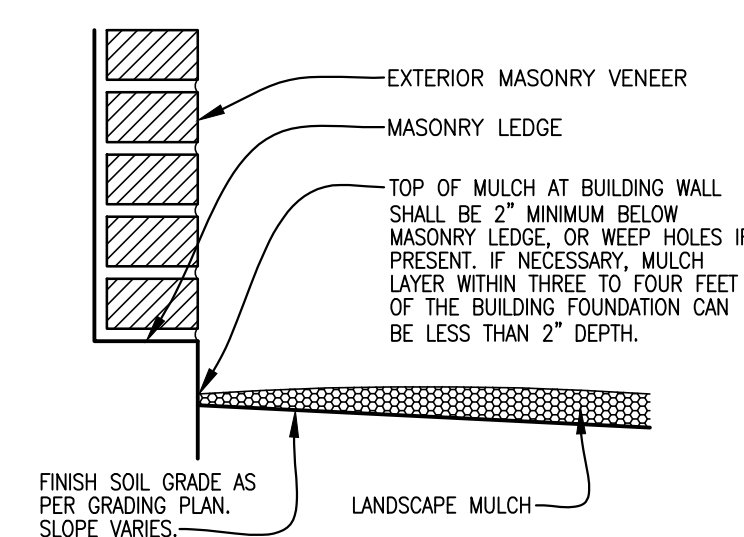


### BASALT GRAVEL GROUNDCOVER

Section Not to Scale

**NOTES:**

- LANDSCAPE CONTRACTOR SHALL COORDINATE CLOSELY WITH GRADING/GENERAL CONTRACTOR TO ENSURE THAT FINISH GRADE IS CORRECT AND WILL ALLOW MULCH TO BE PLACED AS SHOWN IN THIS DETAIL.
- IN LOCATIONS WHERE THERE IS AN EXTERIOR BUILDING MATERIAL OTHER THAN MASONRY, THE TOP LEVEL OF MULCH SHALL BE AT LEAST 4" BELOW FINISH FLOOR ELEVATION.



### LANDSCAPE MULCH AT BUILDING WALL

Section Not to Scale



CASTLE DEVELOPMENT GROUP  
251 E. SOUTHLAKE BLVD., STE 100  
SOUTHLAKE, TX 76092

Center Stage Lot 10, Block A

NE CORNER OF MT. GILEAD & US 377  
TARRANT COUNTY, KELLER, TX 76248

## LANDSCAPE DETAILS

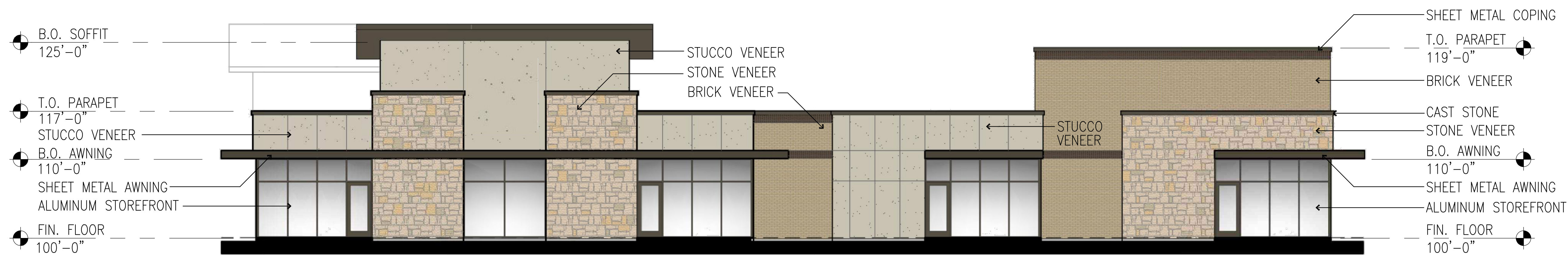
NO.	DESCRIPTION	DATE

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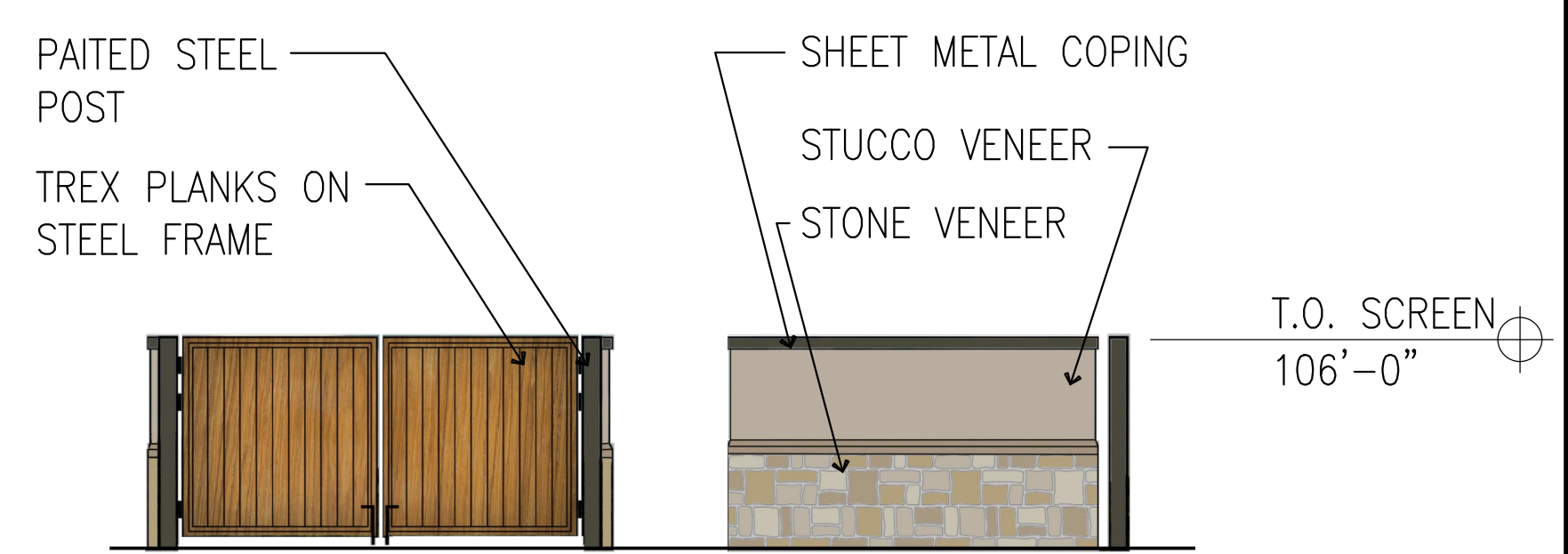
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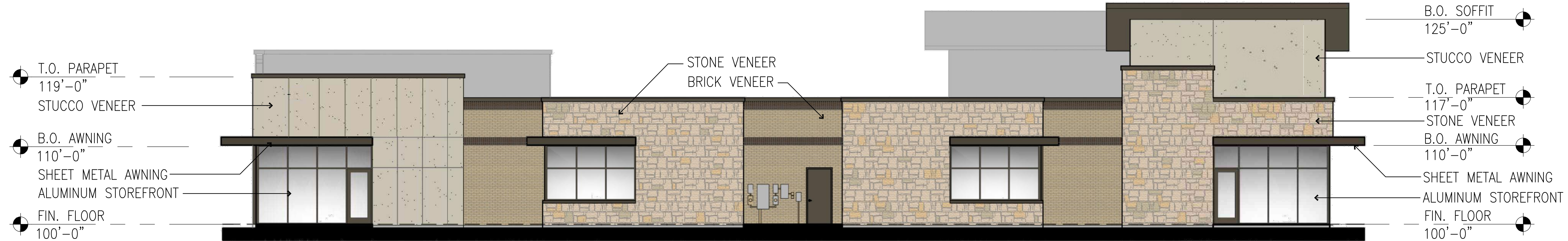
01 PRELIMINARY EAST ELEVATION



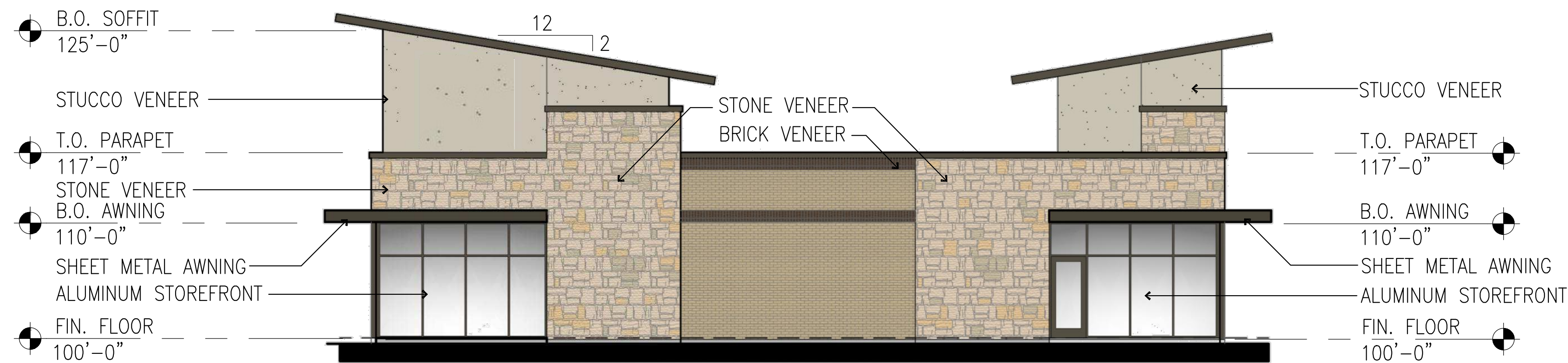
02 PRELIMINARY NORTH ELEVATION



05 DUMPSTER SCREEN



03 PRELIMINARY WEST ELEVATION



04 PRELIMINARY SOUTH ELEVATION

MATERIAL SUMMARY			
<b>EAST ELEVATION</b>			
GROSS AREA	2,123 sf		
BRICK AREA	604 sf	28%	
STONE AREA	640 sf	30%	
STUCCO AREA	661 sf	31%	
METALS AREA	218 sf	11%	
<b>NORTH ELEVATION</b>			
GROSS AREA	1,340 sf		
BRICK AREA	588 sf	44%	
STONE AREA	251 sf	19%	
STUCCO AREA	406 sf	30%	
METALS AREA	95 sf	7%	
<b>WEST ELEVATION</b>			
GROSS AREA	2,081 sf		
BRICK AREA	481 sf	23%	
STONE AREA	897 sf	43%	
STUCCO AREA	532 sf	26%	
METALS AREA	171 sf	8%	
<b>SOUTH ELEVATION</b>			
GROSS AREA	1,217 sf		
BRICK AREA	313 sf	26%	
STONE AREA	565 sf	46%	
STUCCO AREA	248 sf	20%	
METALS AREA	91 sf	8%	

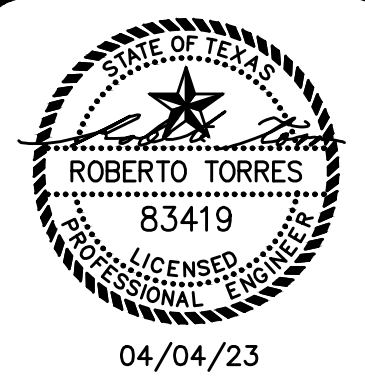
**CASTLE DEVELOPMENT  
 MEDICAL OFFICE BUILDING**

1400 N MAIN STREET  
 KELLER, TX

ISSUE DATE  
 08-28-2022

PRELIM DRAWING  
 NOT FOR BIDDING,  
 PERMITTING, OR  
 CONSTRUCTION

MATT WILLIAMS  
 17691



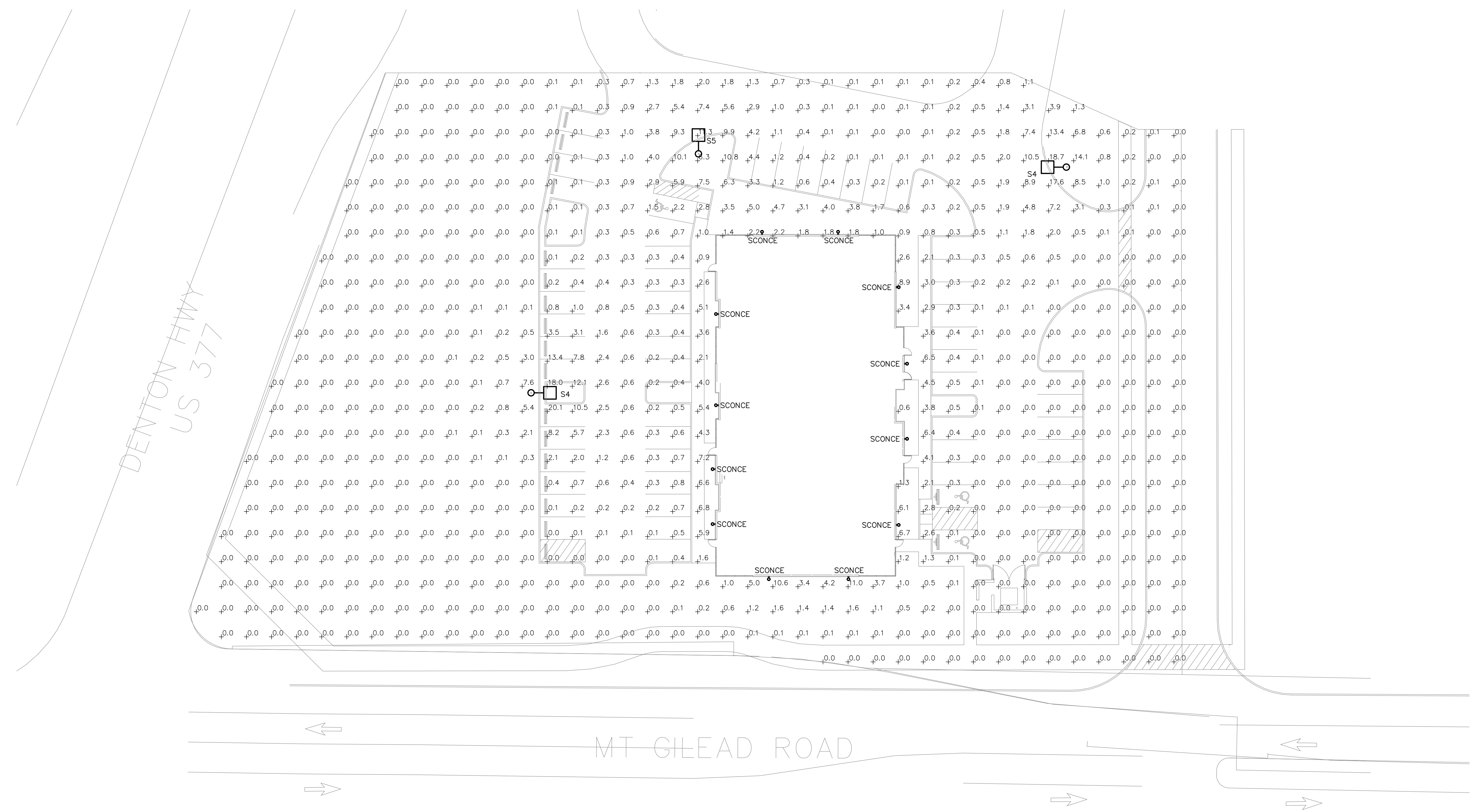
**Covenant**  
Architecture  
106E Church Street  
Weatherford, TX 76086  
(817) 565-9826  
matt@covenantarch.com

**CASTLE DEVELOPMENT  
MEDICAL OFFICE BUILDING**  
1400 N MAIN STREET  
KELLER, TX



ISSUE DATE  
04-04-2023

**E1.01**



**01 PHOTOMETRICS SITE PLAN**

20'

PROPERTY LINE LIGHTING LEVELS			
BOUNDARY	NEIGHBOR	MAX ALLOWED	MAX IN DESIGN
NORTH	COMMERCIAL	N/A	2.0
EAST	RESIDENTIAL	0.2	0.0
SOUTH	THOROUGHFARE	N/A	0.1
WEST	THOROUGHFARE	N/A	0.0

LIGHTING FIXTURE SCHEDULE					
CALLOUT	SYMBOL	DESCRIPTION	MOUNTING	MODEL	INPUT WATTS
S4		LED POLE-MOUNTED FIXTURE WITH TYPE 4 DISTRIBUTION	POLE	LUMARK; PRV C40 D UNV T4	131
S5		LED POLE-MOUNTED FIXTURE WITH TYPE 5 DISTRIBUTION	POLE	LUMARK; PRV C40 D UNV T4	131
SCONCE		UP/DOWN LED SCONCE	8"-6" AFG	PARAFLEX; C06 D 40W 40K BZ	37