

April 16, 2026

City of Keller

2101 Meadowview Dr. Specific Use Permit Application — Detached Garage

Dear Members of the Planning & Zoning Commission and City Staff:

We respectfully submit this written statement in support of our Specific Use Permit (SUP) application for a detached garage located at our residence in Keller, Texas. We appreciate the opportunity to address the Commission and provide context regarding this project, and we want to express our sincere desire to work cooperatively with the City to bring this structure into full compliance.

1. Purpose and Intended Use of the Structure

The detached garage is being constructed for the following exclusively residential and accessory uses:

- Storage of family-owned classic automobiles belonging to our in-laws
- Storage of lawn care equipment, including a riding mower
- Storage of yard tools, garden equipment, and general household items
- Attic space within the structure, intended solely for additional storage — not for habitation, living, or sleeping quarters of any kind

There is no intention to use this structure for any commercial purpose, for a home occupation, or as a dwelling unit. The garage is and will remain a purely accessory residential structure.

2. Background and History of the Project

We want to be fully transparent with the Commission regarding the circumstances that have led to this SUP application. Construction on this project was initiated after our contractor represented to us that all required building permits had been obtained and that the project was approved to proceed. We relied on that representation in good faith and authorized construction to begin.

During the course of construction, we became aware on two separate occasions that holds had been placed on the project. Each time, our contractor informed us that the matter had been resolved and that we were cleared to continue work. We trusted those assurances and were not made aware of the specific nature of the compliance concerns — including the fact that the building height as constructed was not in conformance with the City's regulations for a standard detached garage.

It was only after conducting our own inquiry that we came to understand the full scope of the issue. We believe the height of the structure as designed may be attributable, at least in part, to the fact that the garage sits approximately five feet below the finished floor grade of our primary residence. We believe the original plans may have accounted for this grade differential in an effort to create a structure that would appear visually proportionate and cohesive with the existing home from the street. While we understand

this does not eliminate the compliance concern, we offer it as context for how this situation developed.

3. Change of Contractor and Commitment to Compliance

Upon learning the full extent of the permitting and height compliance issues, we made the decision to part ways with the original contractor and engage a new contractor in whom we have confidence — one with prior experience working with the City of Keller on permitted projects, including prior work on our own home.

We are committed to completing this project in a manner that fully satisfies the City's requirements. The SUP process represents, in our view, the appropriate path to achieve that outcome, and we are grateful the City has a mechanism by which structures such as ours can be reviewed and, where appropriate, approved through a transparent public process.

4. Compatibility with the Surrounding Neighborhood

We believe this structure, once completed, will be compatible with the character of the surrounding neighborhood. The garage is located on our residential lot and is accessory to our primary home. The attic space is entirely enclosed within the roofline of the structure and is not visible as a separate story or habitable level. The materials and design of the garage are consistent with those of the primary residence.

Given the grade differential between the garage pad and the main house, we respectfully ask the Commission to consider the height of the structure in that context. The elevation as seen from the street is influenced by the topography of our lot, and the actual visual impact of the structure is mitigated by that grade change.

5. Conclusion and Request

We respectfully request that the Commission approve our Specific Use Permit application, allowing us to complete the construction of this detached garage in a fully permitted and compliant manner. We want nothing more than to have a cooperative and positive relationship with the City of Keller, and we are committed to working through whatever additional steps may be required to accomplish that.

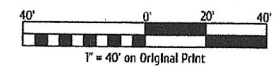
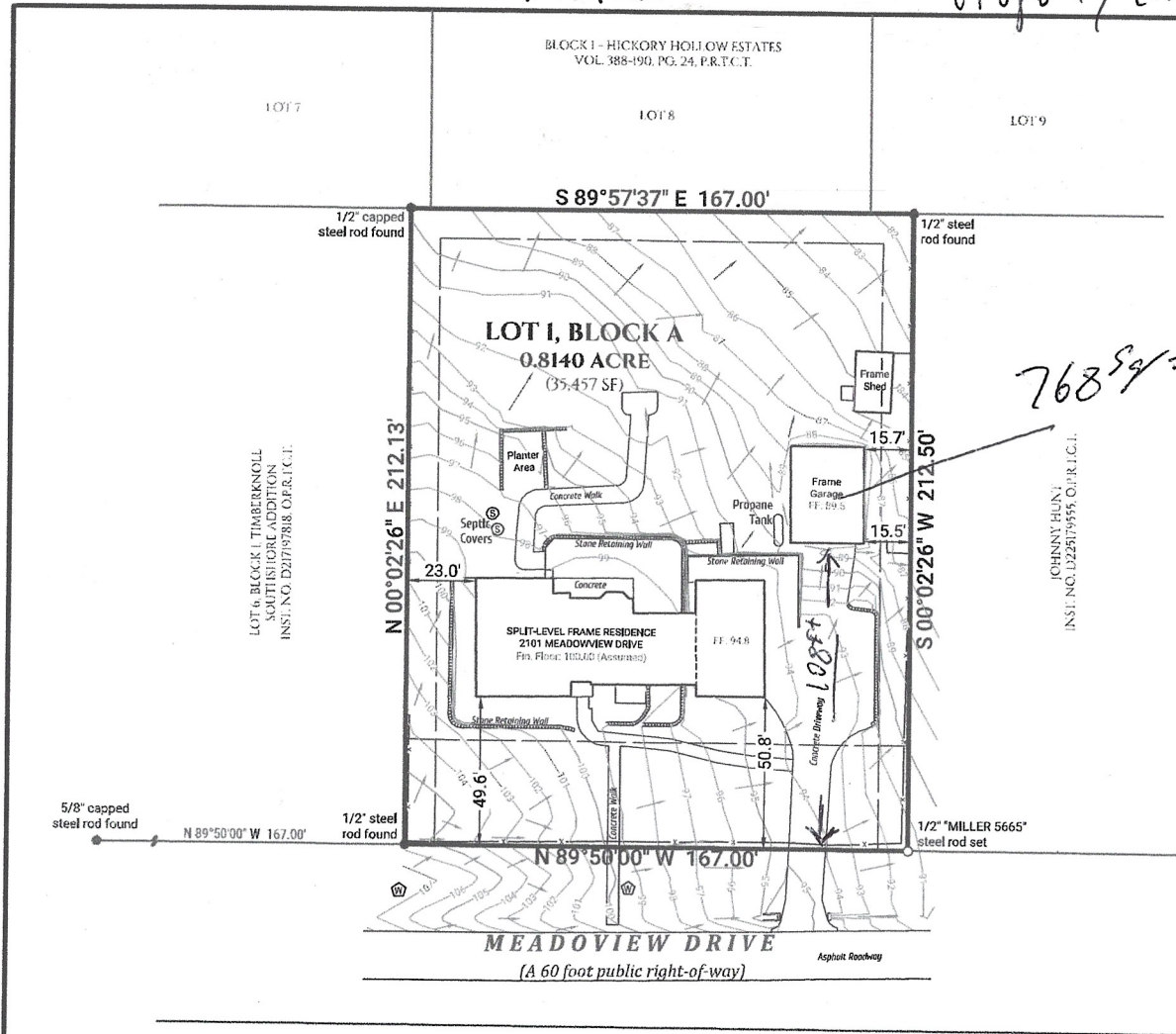
We are happy to provide any additional information, documentation, or revised plans that may assist in the Commission's review. We appreciate your time and consideration of this application.

Respectfully submitted,

David Andriese
2101 Meadowview Dr. Keller, Texas
682-261-0906



Distance between Property line and Facade of Structure



BOUNDARY & TOPOGRAPHIC SURVEY 2101 MEADOWVIEW DRIVE, KELLER, TARRANT COUNTY, TEXAS

I, Jason B. Rawlings, Registered Professional Land Surveyor No. 5665 of the State of Texas, by placing my seal hereon, certify to the above parties that: a) This document serves as my graphic representation of a land survey of Lot 1, Block A, Agape Addition, an Addition to the City of Keller, Tarrant County, Texas according to the plat thereof recorded as Instrument No. D224161322 of the Official Public Records of Tarrant County, Texas (O.P.R.T.C.T.) (the "Surveyed Tract"); b) Said survey being performed on the ground, under my supervision, on January 20, 2026; c) The boundary lines and dimensions indicated hereon are based on said survey and are true and correct; d) As of the Date of Certification, the corner monuments shown hereon were in place as indicated; e) The location of all buildings and Improvements shown hereon are as depicted and are set back from the tract boundaries by the dimensions shown; f) There are no visible encroachments, protrusions, boundary line conflicts, visible easements, or easements of record as furnished to me, affecting the surveyed tract, except as shown or noted otherwise.

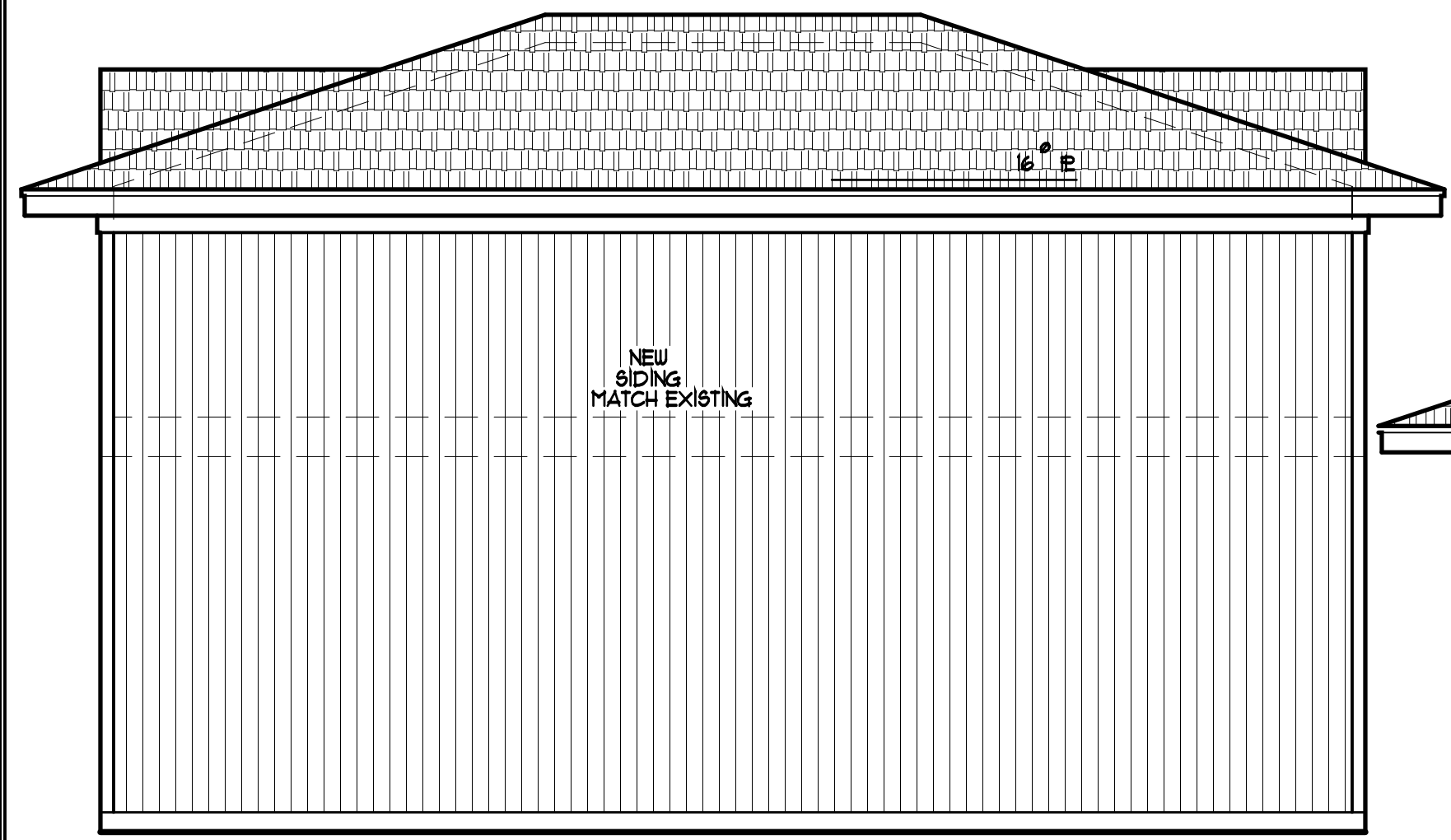
Date of Certification: January 22, 2026



MILLER
SURVEYING, INC

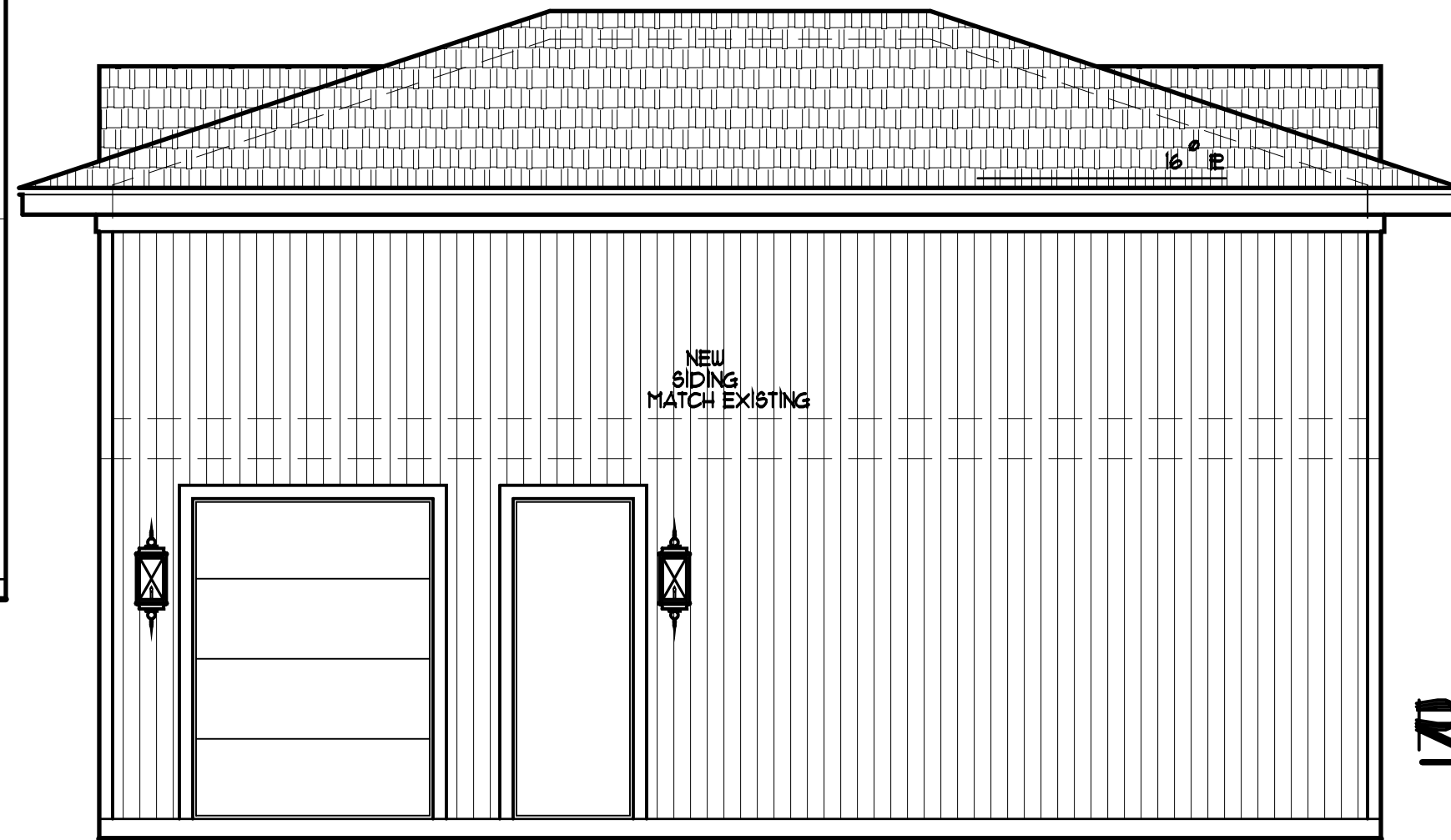
Professional Precision.

PO Box 1041 • Colleyville TX 76034
817-577-1052
millersurvey.net
TxD.SF No. 10100400



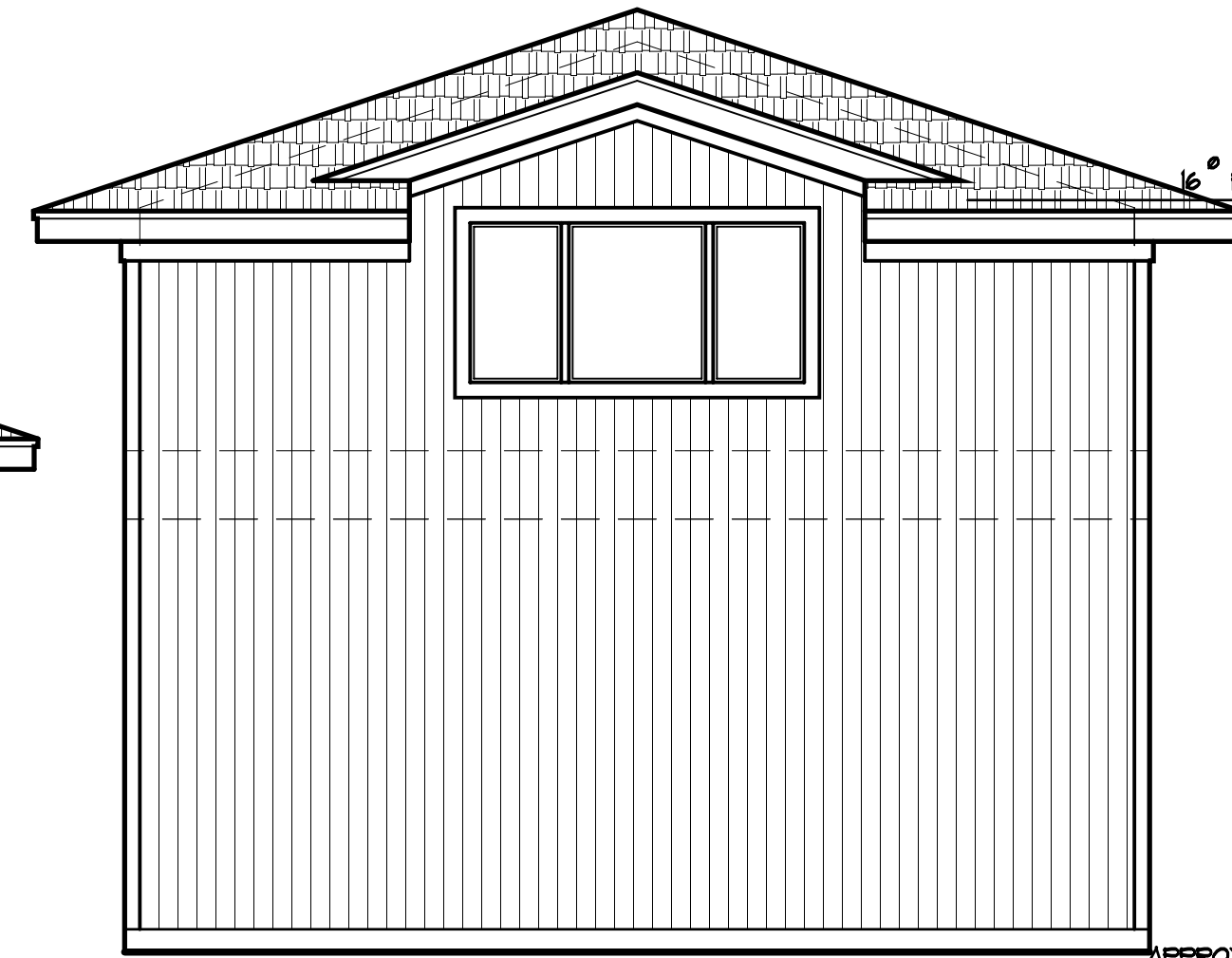
RIGHT ELEVATION

1/4" = 1'-0"



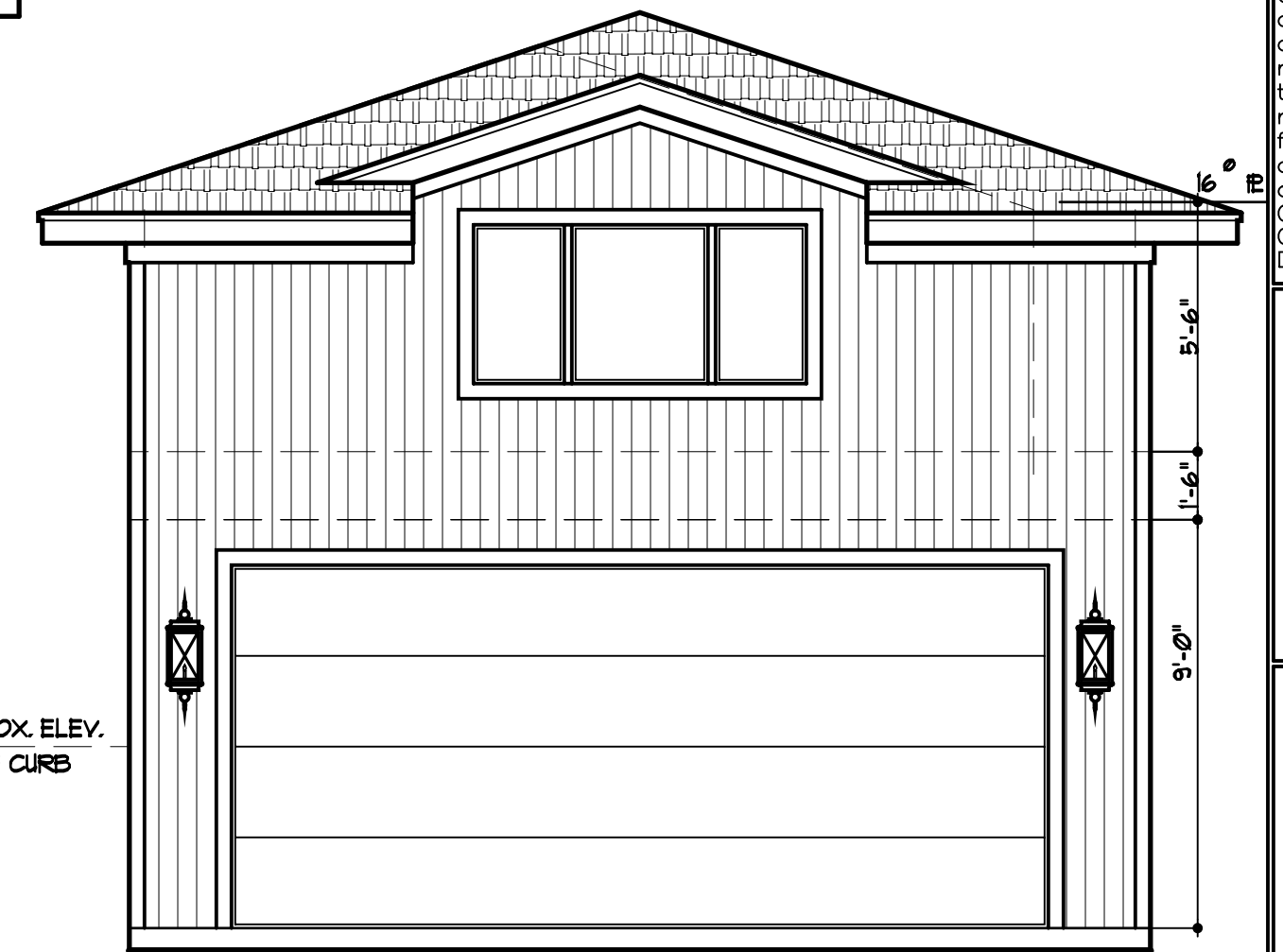
LEFT ELEVATION

1/4" = 1'-0"



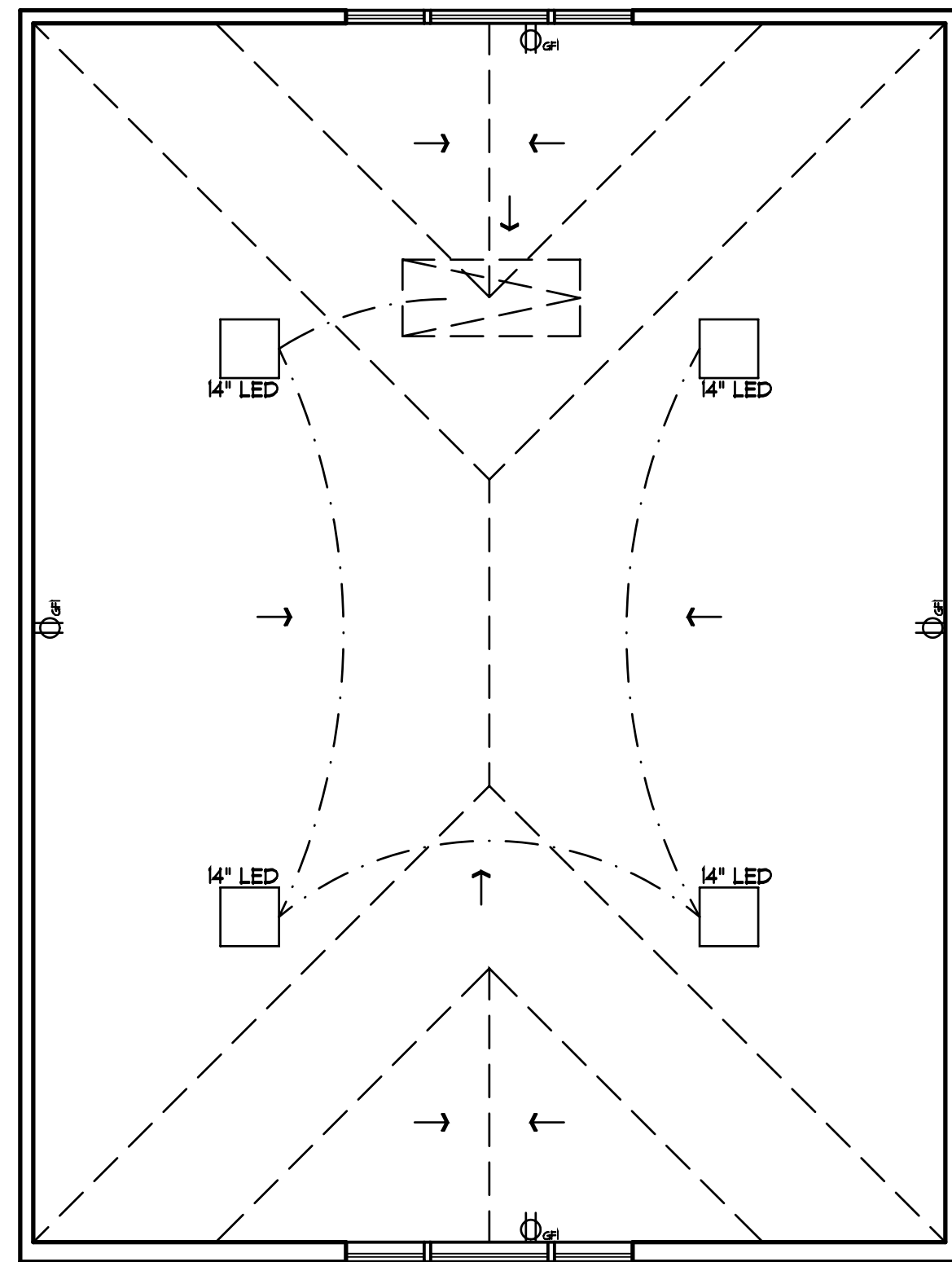
REAR ELEVATION

1/4" = 1'-0"



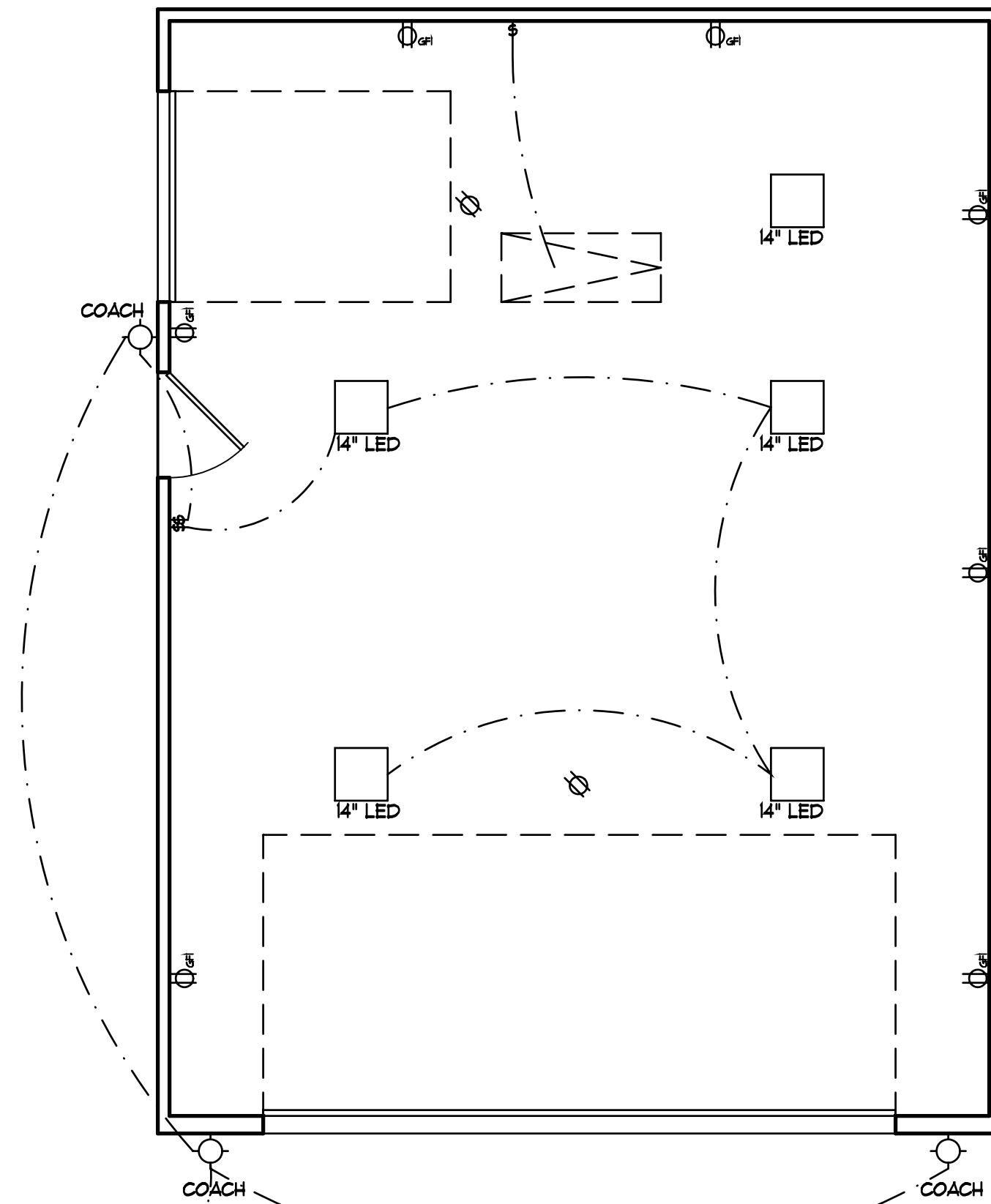
FRONT ELEVATION

1/4" = 1'-0"



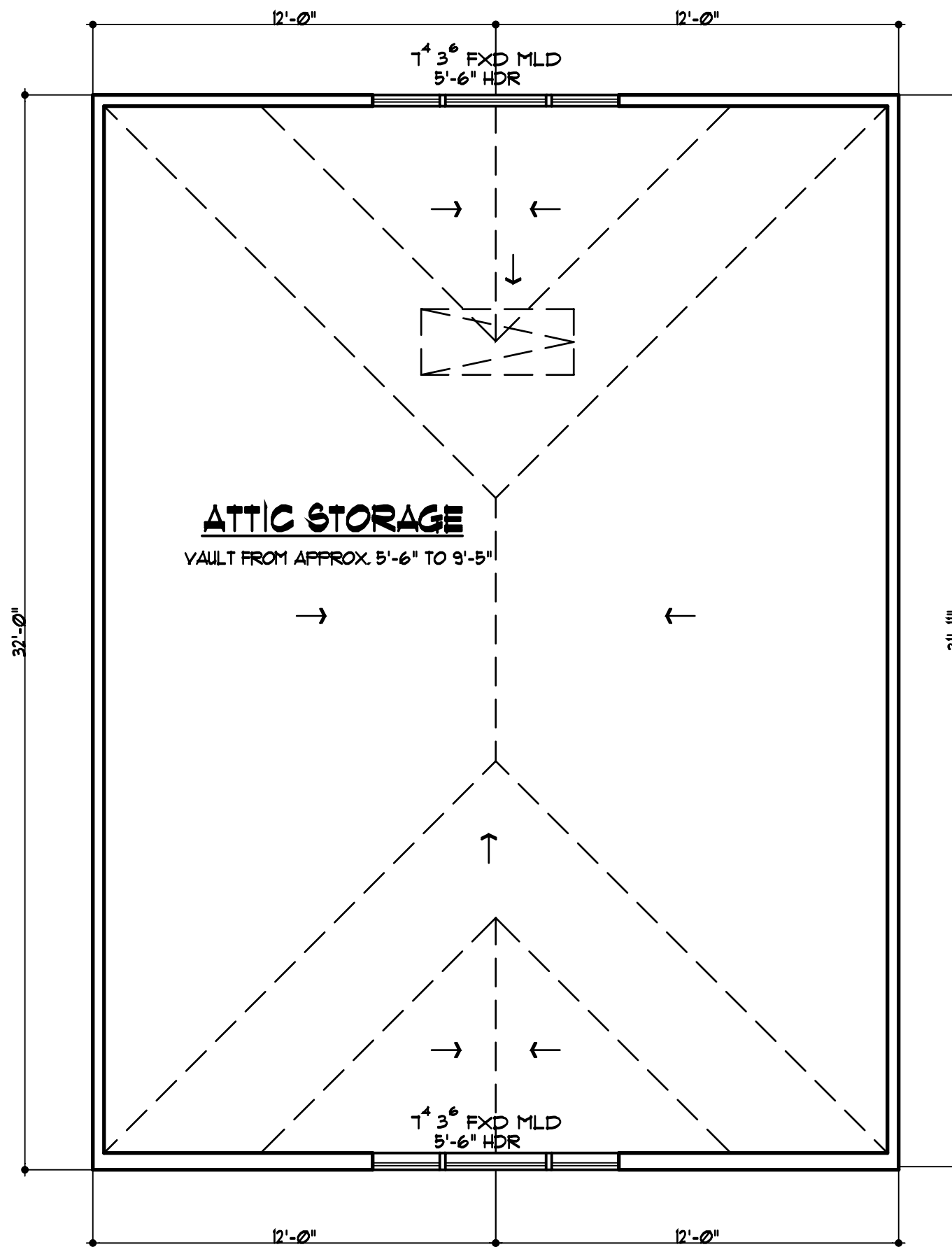
**ATTIC PLAN
ELECTRICAL**

1/4" = 1'-0"



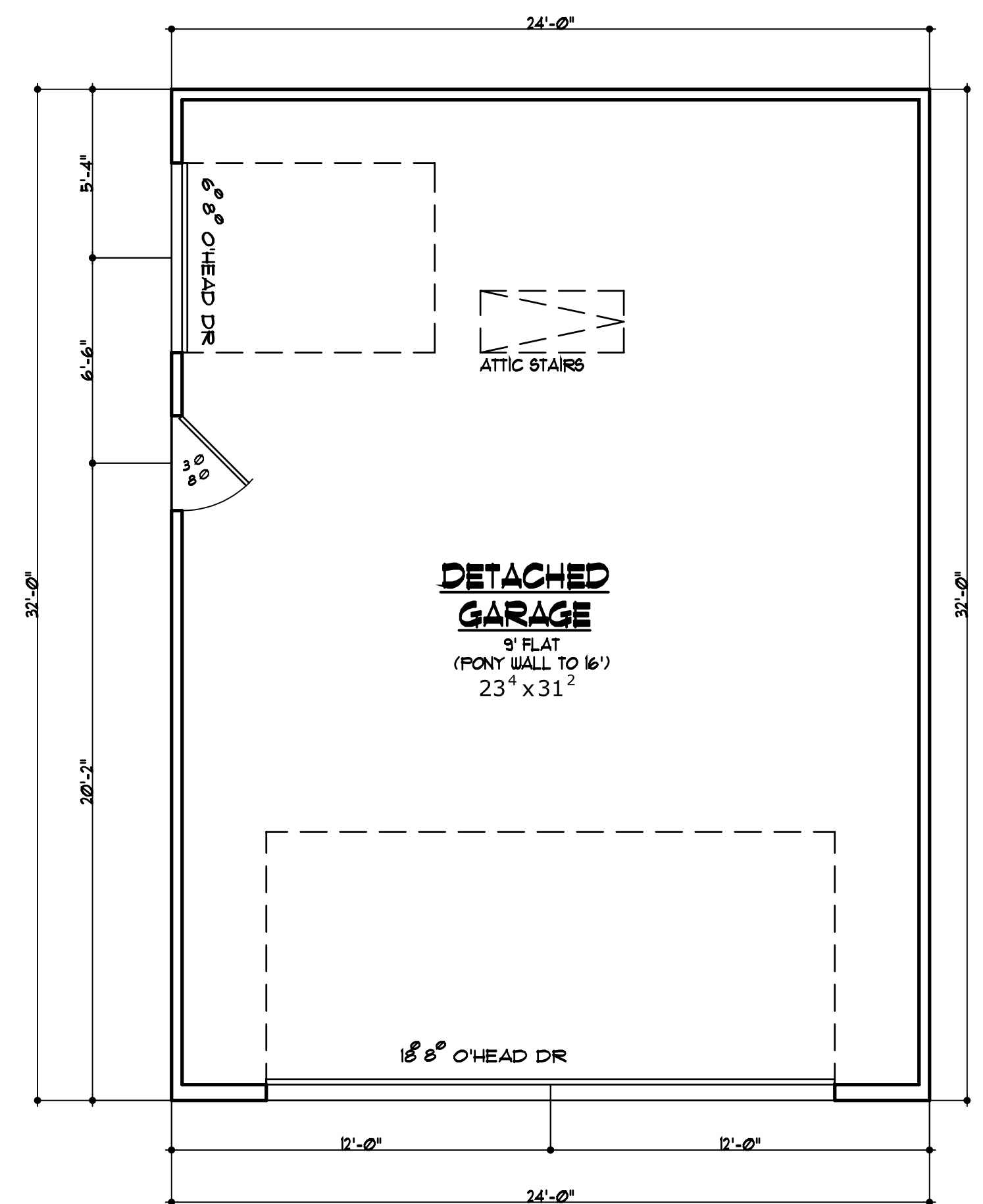
**FLOOR PLAN
ELECTRICAL**

1/4" = 1'-0"



ATTIC PLAN

1/4" = 1'-0"



FLOOR PLAN

1/4" = 1'-0"

TOTAL AREA = 768#

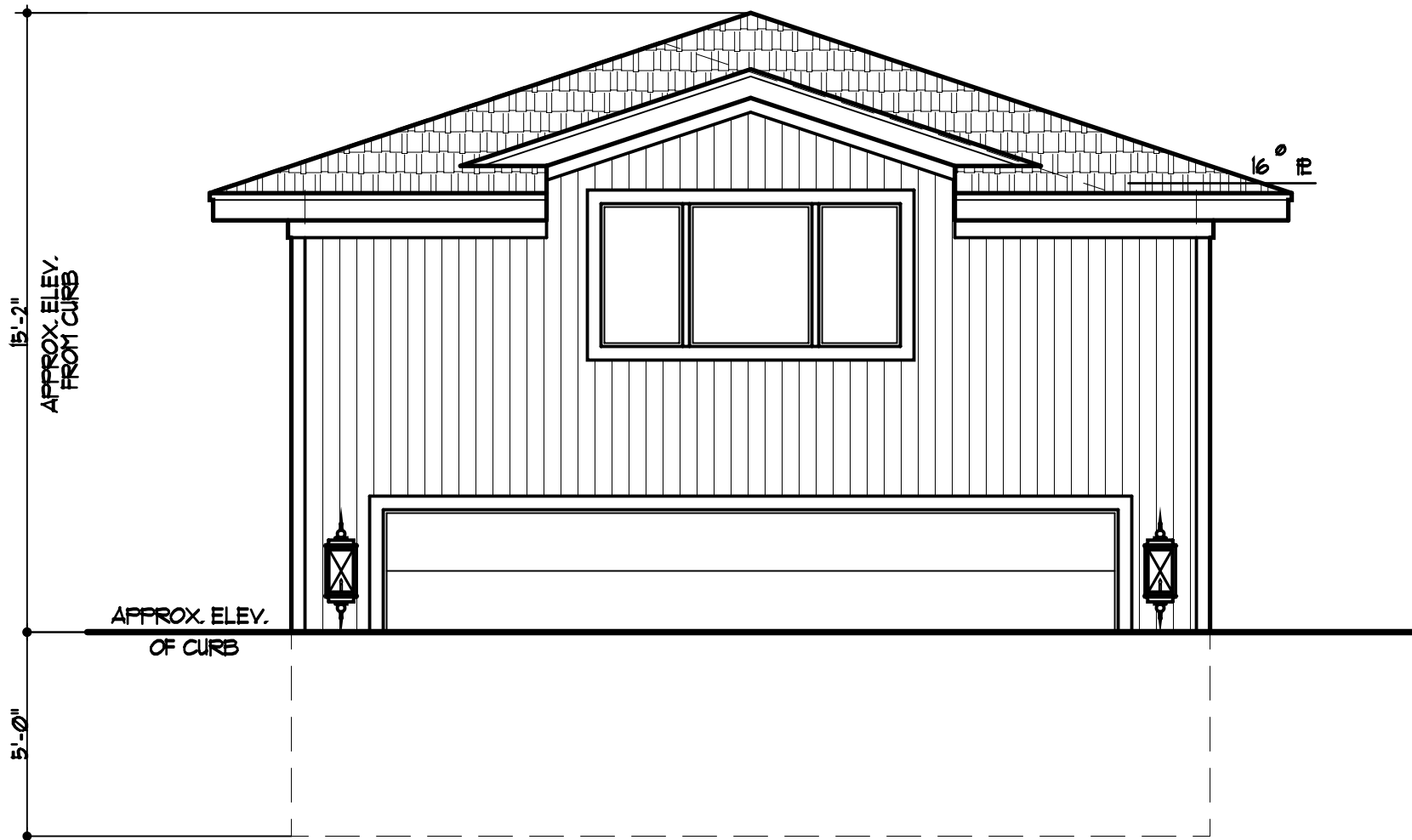
It is the responsibility of the Builder/Owner to verify that the plans provided meet all State, County, Local or Additional Municipalities Codes and Regulations as well as Structural Requirements. Any discrepancy should be reported to the Builder and Designer before Construction. Furthermore, it is the responsibility of the Builder/Owner or their Agents (Sub-contractors) to verify the dimensions of all plans and report any discrepancy to the Designer prior to construction. Any discrepancy found after Construction commencement is the responsibility of the Builder/Owner.
Copyright © 2002 Distinctive Dwellings

DRAWN BY: TWH
DATE: 2-12-26
CHECKED BY: ---
DATE: ---
REVISION 1
DATE: ---
REVISION 2
BY: ---
DATE: ---

CUSTOMER: ANDRIESE DETACHED GARAGE
BUILDER: KENSINGTON RENOVATIONS LLC
2101 MEADOWVIEW DR., KELLER TX

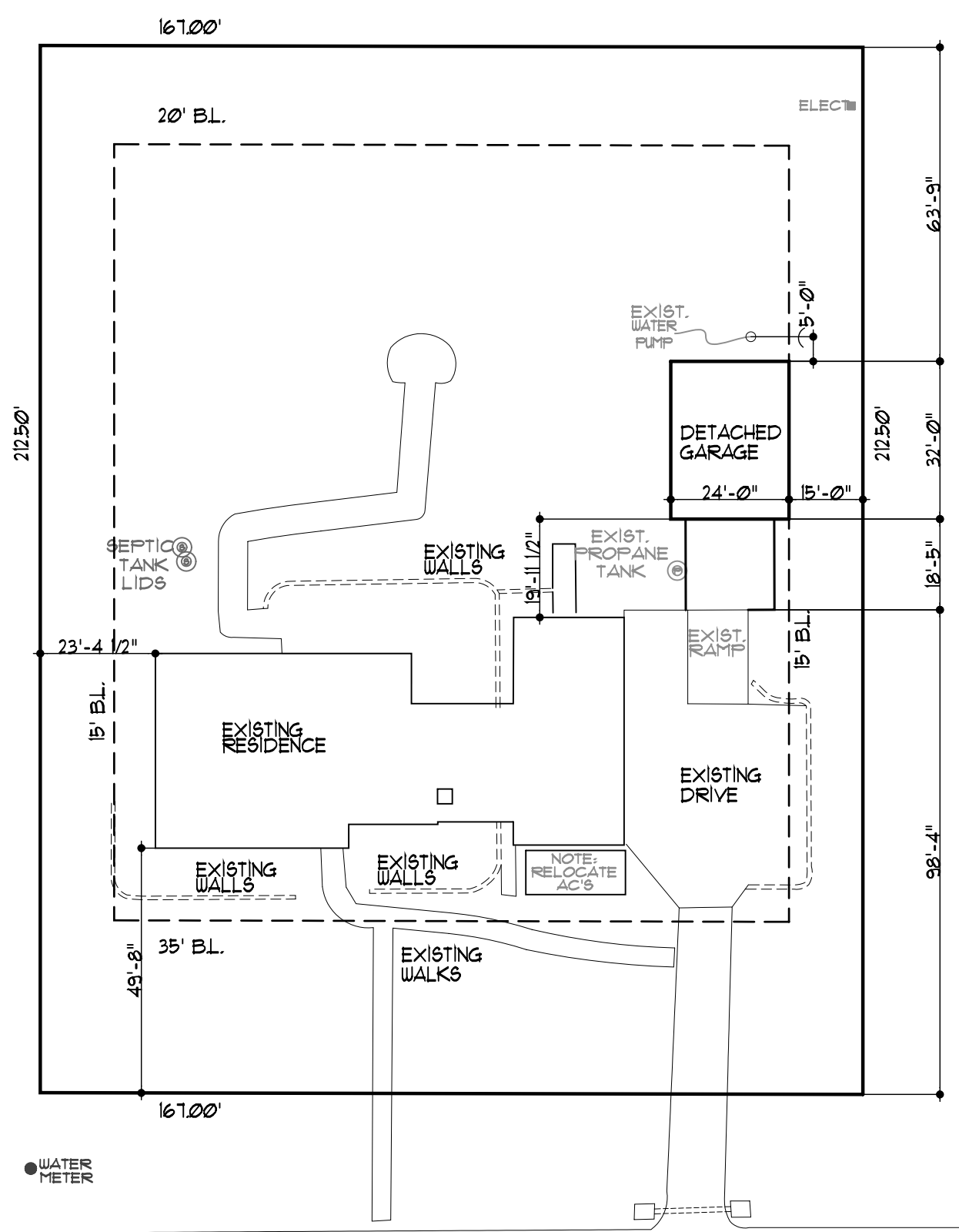
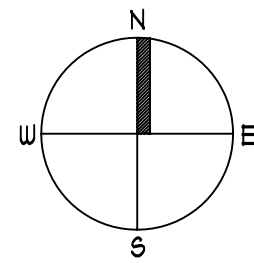
Distinctive Dwellings
Dwell in the possibilities
Southlake, Texas 76092 • 817 481 1249
www.DistinctiveDwellings.net

PLAN #
202448



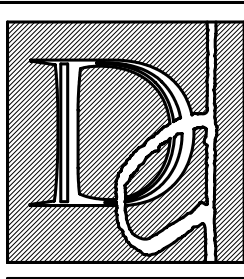
FRONT ELEVATION

$$1/4" = 1'-0"$$



TOTAL LOT AREA	35,487#
TOTAL FIRST FLOOR FOOTPRINT	3,716#
TOTAL DETACHED GARAGE	768#
LOT COVERAGE	12.6%

2101 MEADOWVIEW DRIVE



Distinctive Dwellings
Dwell in the possibilities

www.DistinctiveDwellings.net

t. 817 481 1249

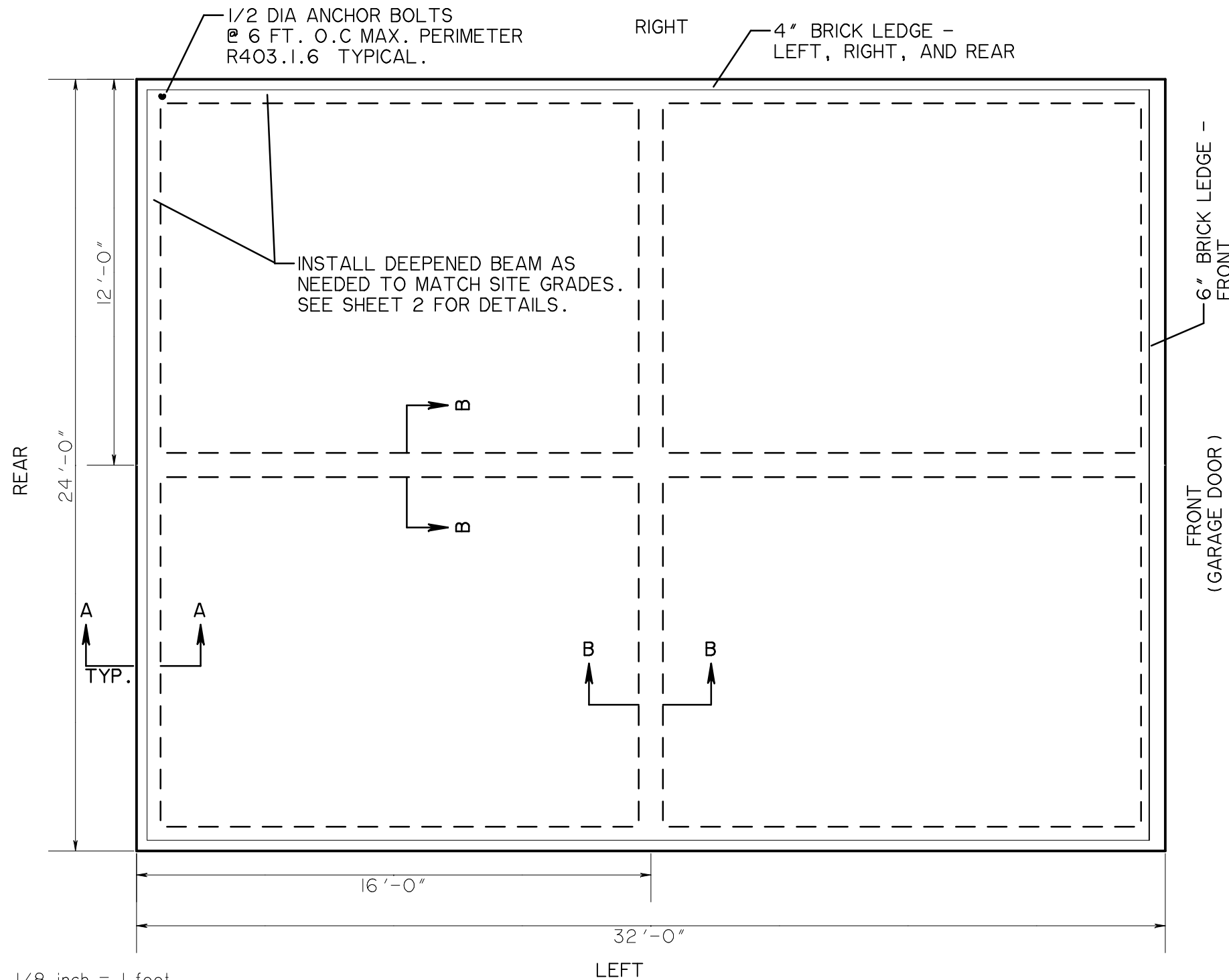
PLOT PLAN
 1"=20'

KELLER TEXAS

ANDRIESE REMODEL
 7-22-24

* Builder/Owner to verify and check all aspects of this site and plot plan prior to any construction **JOB # 202448**

202448



DESIGN CRITERIA

DESIGN IS CONFORMANCE WITH 2021 IRC
(INTERNATIONAL RESIDENTIAL CODE).

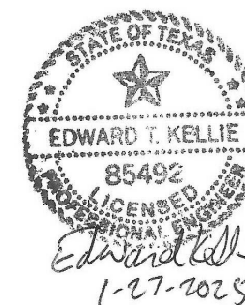
SECTION R403 FOOTINGS.

ALLOWABLE BEARING CAPACITY = 1500 PSF (MINIMUM)
F.S. = 1.5

NOTES:

1. SEE SHEET 2 FOR FOUNDATION DETAILS
2. REFER TO ARCHITECTURAL PLANS FOR PLACEMENT OF PERIMETER ANCHOR BOLTS AT OPENINGS.
3. DEEPENED BEAM LOCATIONS TO BE FINALIZED IN THE FIELD WHEN FORMBOARDS ARE SET.
4. ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURE.

1/8 inch = 1 foot



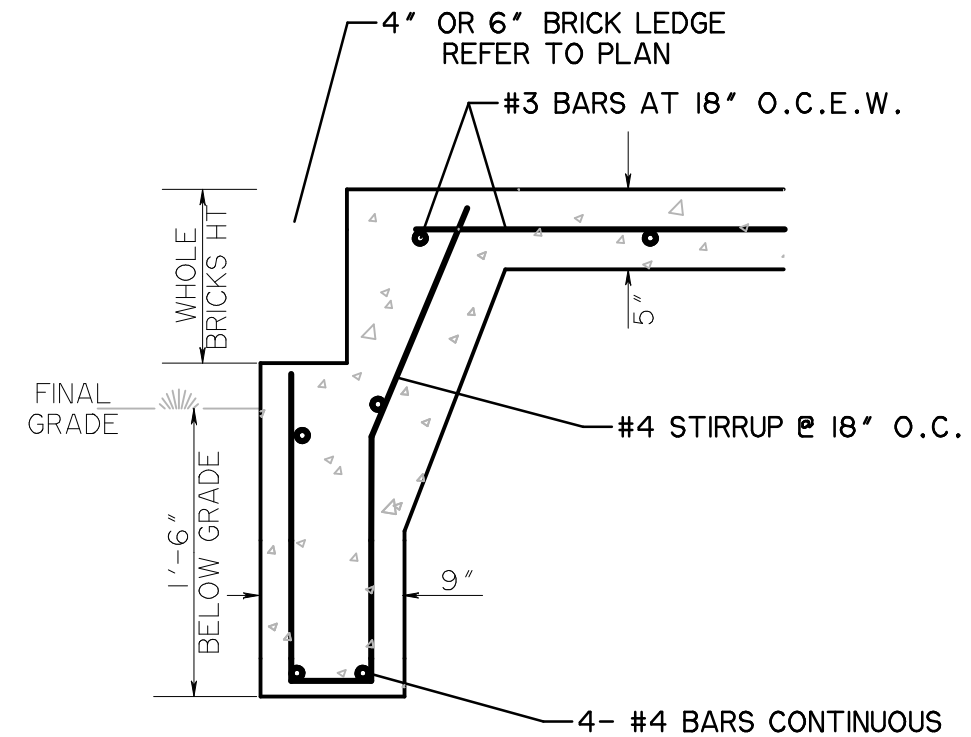
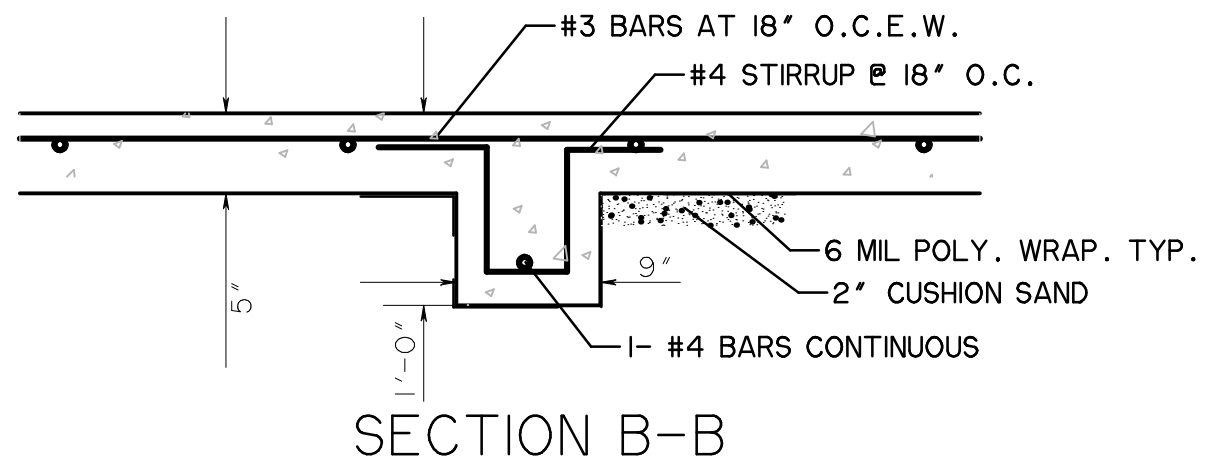
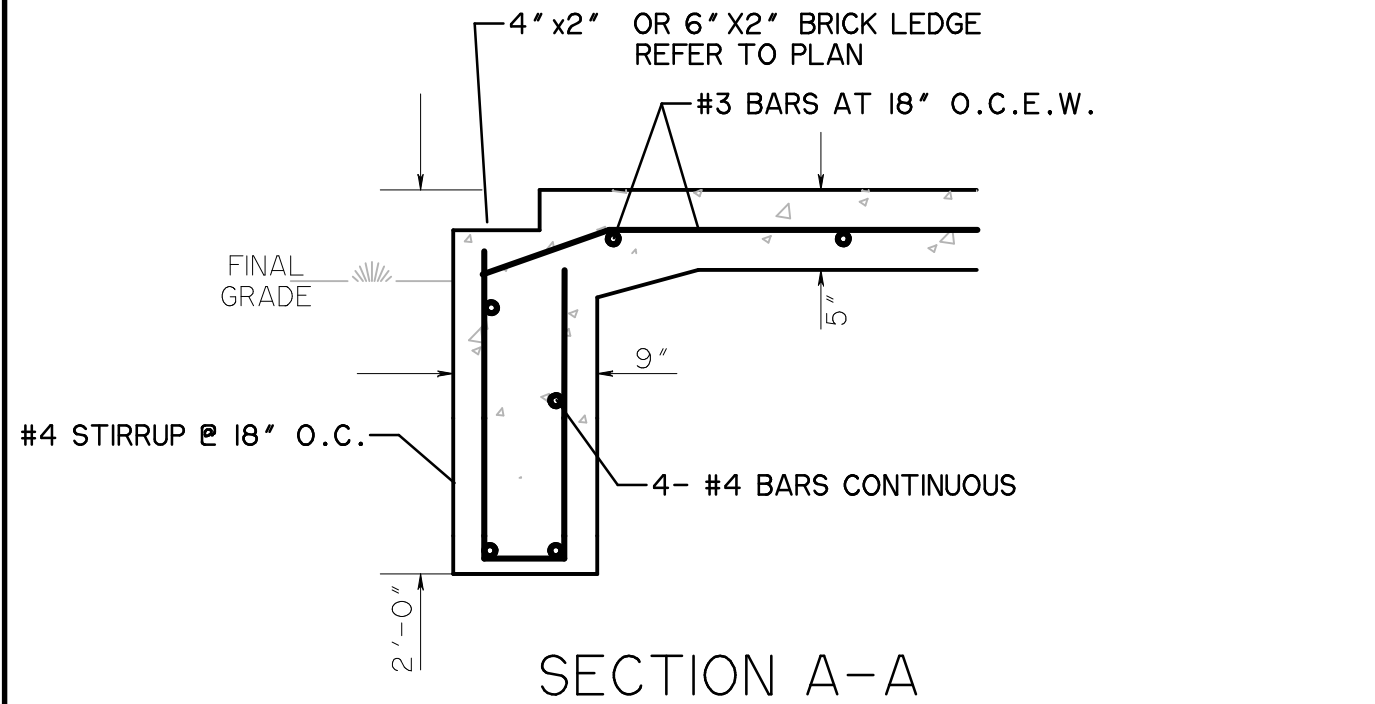
**DETACHED GARAGE BUILDING
FOUNDATION PLAN**

2101 MEADOWVIEW DRIVE
KELLER, TEXAS



Edward T. Kelle, P.E.
P.O. BOX 471898
FORT WORTH, TX 76147
Tel. 817.455.1396
Firm No. F-7585

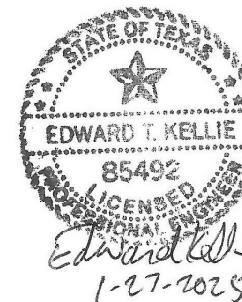
PROJECT NO. 2502	SHEET NO.
ISSUED: 01-27-2025	1 OF 2
REVISED:	



CONCRETE: COMPRESSIVE STRENGTH
3,000 PSI @ 28 DAYS

REBAR: GRADE 60

1 inch = 1 foot



**DETACHED GARAGE BUILDING
FOUNDATION PLAN**

2101 MEADOWVIEW DRIVE
KELLER, TEXAS



Edward T. Kelle, P.E.
P.O. BOX 471898
FORT WORTH, TX 76147
Tel. 817.455.1396
Firm No. F-7585

PROJECT NO. 2502

SHEET NO.

ISSUED: 01-27-2025

2 OF 2

REVISED:

BLOCK 1 - HICKORY HOLLOW ESTATES
VOL. 388-190, PG. 24, P.R.T.C.T.

LOT 7

LOT 8

LOT 9

S 89°57'37" E 167.00'

1/2" capped
steel rod found

1/2" steel
rod found

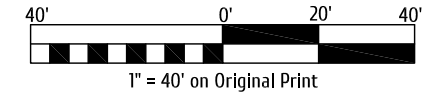
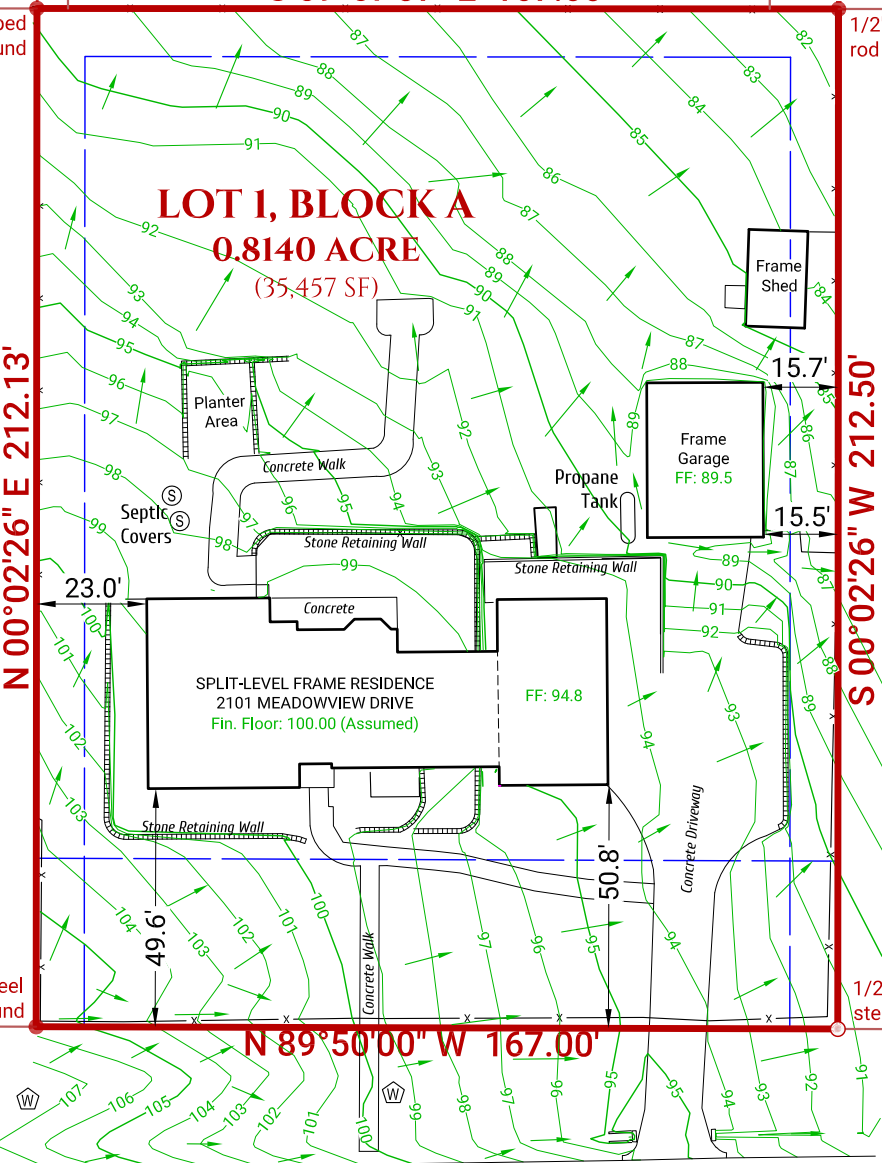
LOT 1, BLOCK A
0.8140 ACRE
(35,457 SF)

N 00°02'26" E 212.13'

S 00°02'26" W 212.50'

LOT 6, BLOCK 1, TIMBERKNOLL
SOUTHSHORE ADDITION
INST. NO. D2197818, O.P.R.T.C.T.

JOHNNY HUNT
INST. NO. D225179555, O.P.R.T.C.T.



BOUNDARY & TOPOGRAPHIC SURVEY

2101 MEADOWVIEW DRIVE, KELLER, TARRANT COUNTY, TEXAS

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Date of Certification: January 22, 2026

5/8" capped
steel rod found

N 89°50'00" W 167.00'

1/2" steel
rod found

1/2" "MILLER 5665"
steel rod set

N 89°50'00" W 167.00'

MEADOWVIEW DRIVE
(A 60 foot public right-of-way)

Asphalt Roadway

