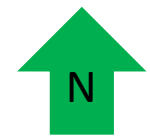


Item H-4

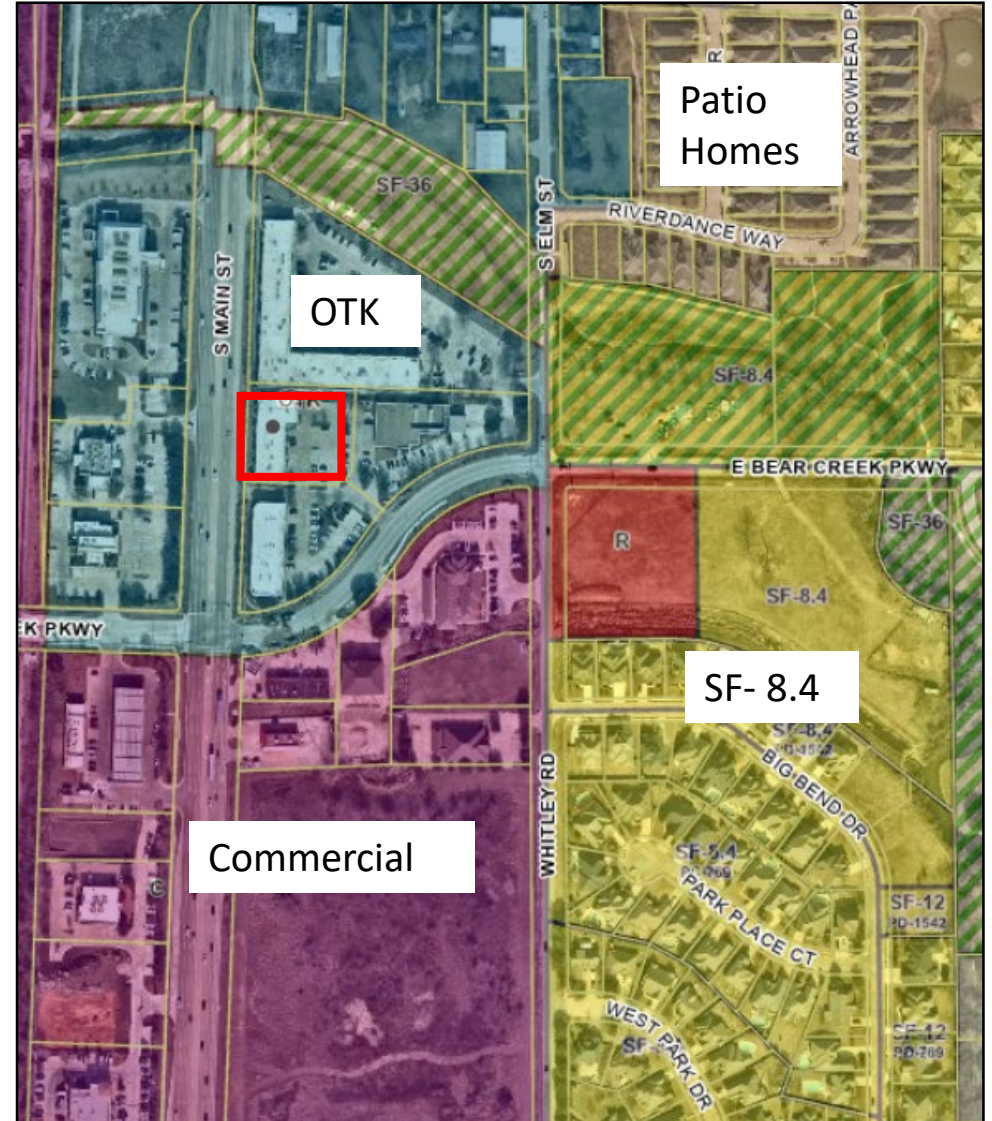
PUBLIC HEARING: Consider an ordinance approving a Specific Use Permit (SUP) for The Missing Peace Autism Therapy Center to occupy a 5,300 square-foot lease space, within a 11,600 square-foot multi-tenant building, located on the east side of South Main Street, approximately 300 feet north of the Bear Creek Parkway and South Main Street intersection, on 1.02 acres, legally described as Lot 1, Block A of the Bear Creek 97 Addition, zoned Old Town Keller (OTK), and situated at 651 South Main Street, Suite 102. Manu Group, L.P., Owner. The Missing Peace Autism Therapy Center, Applicant. (SUP-22-0016)

Item H-4 Aerial Map



Zoned:
OTK

Item H-4 Zoning Map



Item H-4

Business Background:

The Missing Peace Autism Therapy Center has been conducting business as a pediatric autism therapy center at 816 Keller Parkway, Ste. 302 since October 2014. They recently began expanding their business due to increasing demand and hope to open a second location in Keller to accommodate their waitlist of clients. Because this is a medical use, an SUP is required within the OTK zoning district.



Item H-4

Zoning Background:

- On Sept. 3, 2002, the Old Town Keller (OTK) overlay was established with Commercial as the base zoning district.
- On Aug. 1, 2006, City Council approved the Site Plan for Keller Medical Office Center, a proposed 11,600-square-foot medical office building. The building has been utilized for medical office uses since the building was first occupied.
- On July 7, 2015, the OTK overlay zoning district was converted into a straight zoning district with a detailed use chart; medical offices were not permitted within the district.
- On Aug. 16, 2016, the City Council amended the OTK Zoning District to permit 'Medical Offices' by Specific Use Permit (SUP).

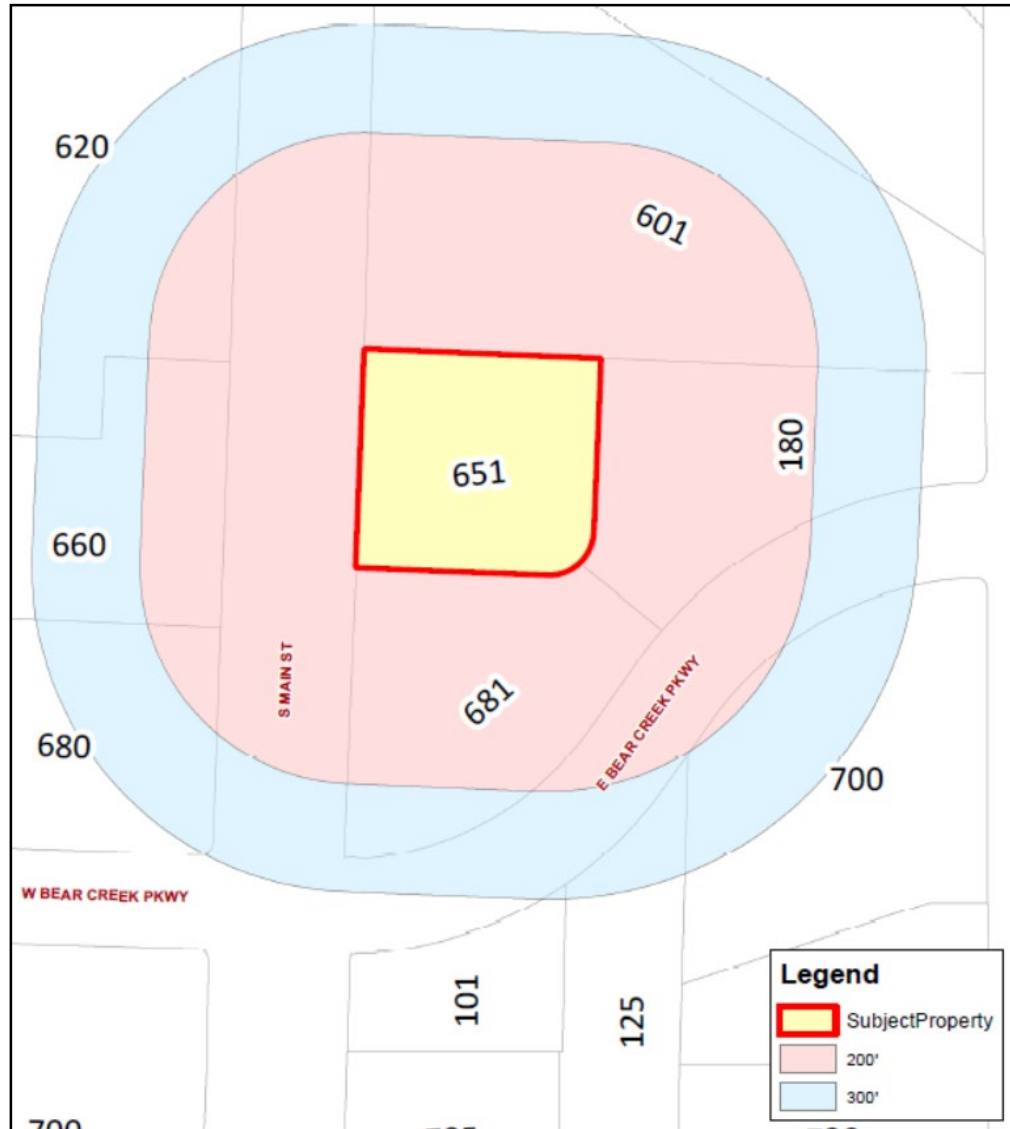
Item H-4

Hours of Operation:

Monday-Friday: 8 a.m. to 5 p.m.



Item H-4



- On June 2, 2022, the City mailed nine Letters of Notification for this public hearing to all property owners within three-hundred feet (300') of the subject site. A public hearing notice sign was also posted on the site.
- As of today, Staff has not received any responses from the public.

Item H-4

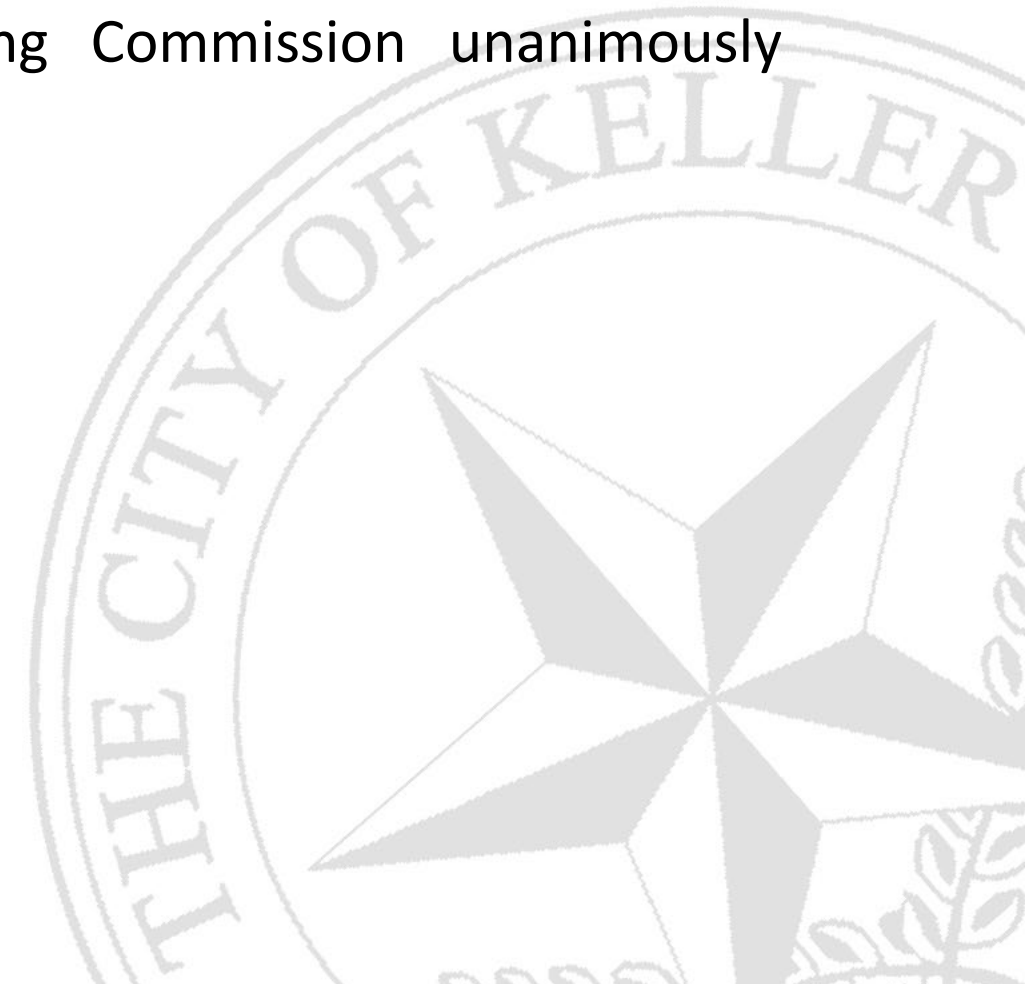
Section 8.02 (F)(2)(a) of the UDC states that when considering SUP requests, the City Council shall consider the following factors:

- 1) The use is harmonious and compatible with surrounding existing uses or proposed uses;
- 2) The activities requested by the applicant are normally associated with the permitted uses in the base district;
- 3) The nature of the use is reasonable and appropriate in the immediate area;
- 4) Any negative impact on the surrounding area has been mitigated; and
- 5) That any additional conditions specified ensure that the intent of the district purposes are being upheld.

Item H-4

Planning & Zoning Commission Recommendation:

On June 14, 2022, the Planning and Zoning Commission unanimously recommended approval of the SUP request.



Item H-4

SUP Request:

To operate a medical office in the Old Town Keller zoning district.

The City Council has the following options when considering a Specific Use Permit (SUP) request:

- Approve as submitted (Planning and Zoning Commission recommendation)
- Approve with modifications or additional condition(s)
- Table the agenda item to a specific date with clarification of intent and purpose
- Deny



Questions?
Julie Smith
817-743-4130