



December 4, 2024

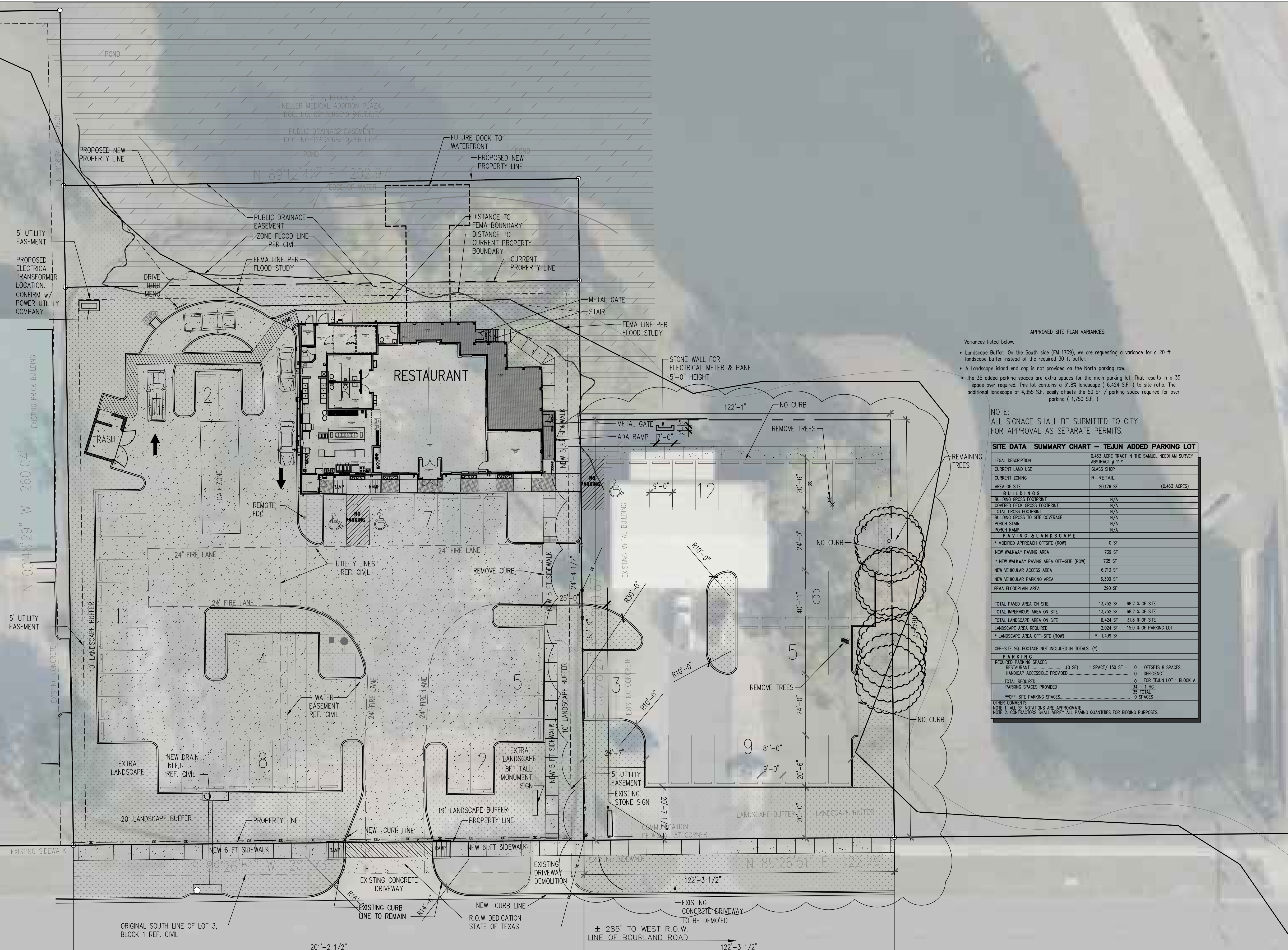
To whom it may concern,

We, Te'Jun, The Texas Cajun, have detailed our plans for the property at 605 Keller Pkwy. We are in the process of building a new restaurant in Keller at 541 Keller Pkwy, next to the O'Reilly Auto Parts. With the size of the lot relative to the restaurant, the parking was going to be limited. However, we recently purchased the property to the east, previously owned by Keller Glass and Mirror. This new property will allow us to nearly double the total parking capacity. We currently plan to build a parking lot sized to avoid the FEMA floodplain and keep as many of the large trees as possible while maximizing the number of spaces available for our customers. While creating this site plan, we have 3 variances for which we seek council approval. First, matching the approved variance from the restaurant lot, we are proposing to use a 20-foot landscaping buffer from Keller Pkwy instead of the 30-foot buffer as defined in the city code. Next, we do not have 15% of the parking area saved as landscaping. Related to this variance, we do not have end caps on the northern most row of parking spaces. As a combined property between 541 and 605, we believe that our plans both maintain the natural beauty of the pond and trees and optimize the functionality of the area to make the customer experience simpler and more enjoyable.

*Sincerely,  
Te'Jun, The Texas Cajun*

SITE DATA SUMMARY CHART - LOT 1 BLOCK A	
LEGAL DESCRIPTION	TEJUN ADDITION, LOT 1, BLOCK A
CURRENT LAND USE	UNUSED PREVIOUS DEVELOPMENT
CURRENT ZONING	R-RETAIL, PD- 1323
AREA OF SITE	52,611 SF (1.208 ACRES)
<b>BUILDINGS</b>	
BUILDING GROSS FOOTPRINT	4,574 SF
COVERED DECK GROSS FOOTPRINT	915 SF
TOTAL GROSS FOOTPRINT	5,489 SF
BUILDING GROSS TO SITE COVERAGE	10.4 % OF SITE
PORCH STAIR	45 SF
PORCH RAMP	55 SF
<b>PAVING &amp; LANDSCAPE</b>	
NEW RAMP PAVING	91 SF
* NEW RAMP PAVING OFF-SITE	4 88 SF
NEW VEHICULAR ACCESS AREA	16,338 SF
NEW VEHICULAR PARKING AREA	7,093 SF
NEW WALKWAY PAVING AREA	1,780 SF
* NEW WALKWAY PAVING AREA OFF-SITE	* 914 SF
FEMA FLOODPLAIN AREA	8,110 SF
TOTAL PAVED AREA	25,311 SF 48.1 % OF SITE
TOTAL IMPERVIOUS AREA	30,940 SF 58.8 % OF SITE
TOTAL LANDSCAPE AREA	13,561 SF 25.8 % OF SITE
TOTAL PERVIOUS AREA	21,671 SF 41.2 % OF SITE
* LANDSCAPE AREA OFF-SITE	* 2,580 SF
NOTE: OFF-SITE SQ. FOOTAGE NOT INCLUDED IN TOTALS. (*)	
<b>P A R K I N G</b>	
REQUIRED PARKING SPACES	RESTAURANT (5,489 SPACE / 150 SF = 37
HANDICAP ACCESSIBLE PROVIDED:	2
TOTAL REQUIRED	39
PARKING SPACES PROVIDED	37 + 2 HC
	39 TOTAL
OTHER COMMENTS:	
NOTE 1. ALL SF NOTATIONS ARE APPROXIMATE	
NOTE 2. CONTRACTORS SHALL VERIFY ALL PAVING QUANTITIES FOR BIDDING PURPOSES.	

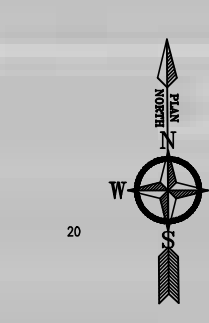
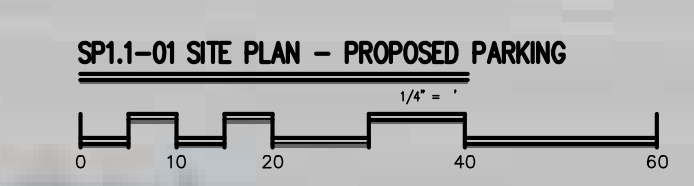
SITE DATA SUMMARY CHART - TEJUN ADDED PARKING LOT	
LEGAL DESCRIPTION	0.463 ACRES TRACT IN THE SAMUEL NEEDHAM SURVEY ABSTRACT # 1171
CURRENT LAND USE	GLASS SHOP
CURRENT ZONING	R-RETAIL
AREA OF SITE	20,176 SF (0.463 ACRES)
<b>BUILDINGS</b>	
BUILDING GROSS FOOTPRINT	N/A
COVERED DECK GROSS FOOTPRINT	N/A
TOTAL GROSS FOOTPRINT	N/A
BUILDING GROSS TO SITE COVERAGE	N/A
PORCH STAIR	N/A
PORCH RAMP	N/A
<b>P A V I N G &amp; L A N D S C A P E</b>	
* MODIFIED APPROACH OFFSITE (ROW)	0 SF
NEW WALKWAY PAVING AREA	739 SF
* NEW WALKWAY PAVING AREA OFF-SITE (ROW)	735 SF
NEW VEHICULAR ACCESS AREA	6,713 SF
NEW VEHICULAR PARKING AREA	6,300 SF
FEMA FLOODPLAIN AREA	390 SF
TOTAL PAVED AREA ON SITE	13,753 SF 68.2 % OF SITE
TOTAL IMPERVIOUS AREA ON SITE	13,752 SF 68.2 % OF SITE
TOTAL LANDSCAPE AREA ON SITE	6,424 SF 31.8 % OF SITE
LANDSCAPE AREA REQUIRED	2,024 SF 10.0 % OF PARKING LOT
* LANDSCAPE AREA OFF-SITE (ROW)	* 1,439 SF
OFF-SITE SQ. FOOTAGE NOT INCLUDED IN TOTALS. (*)	
<b>P A R K I N G</b>	
REQUIRED PARKING SPACES	RESTAURANT (0 SF) 1 SPACE / 150 SF = 0 OFFSETS 8 SPACES
HANDICAP ACCESSIBLE PROVIDED:	0 DEFICIENT
TOTAL REQUIRED	8
PARKING SPACES PROVIDED	34 + 1 HC
	35 TOTAL
	0 SPACES
OTHER COMMENTS:	
NOTE 1. ALL SF NOTATIONS ARE APPROXIMATE	
NOTE 2. CONTRACTORS SHALL VERIFY ALL PAVING QUANTITIES FOR BIDDING PURPOSES.	



APPROVED SITE PLAN VARIANCES:  
 Variances listed below:  
 • Landscape Buffer: On the South side (FM 1709), we are requesting a variance for a 20 ft landscape buffer instead of the required 30 ft buffer.  
 • A Landscape Island end cap is not provided on the North parking row.  
 • The 35 added parking spaces are extra spaces for the main parking lot, that results in a 35 space over required. This lot contains a 31,828 landscape ( 6,424 S.F. ) to site ratio. The additional landscape of 4,355 S.F. easily offsets the 50 SF / parking space required for over parking ( 1,750 S.F. )

NOTE:  
 ALL SIGNAGE SHALL BE SUBMITTED TO CITY FOR APPROVAL AS SEPARATE PERMITS.

**KELLER PARKWAY**  
 ( 125' R.O.W. )



TERRY R. CUNNINGHAM  
 ARCHITECTS  
 3004 S. COOPER ST. SUITE 100 - ARLINGTON, TEXAS 76015 - (817) 867-0044  
 WWW.TRCARCHITECTS.COM  
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**TE'JUN RESTAURANT**  
**541 KELLER PARKWAY**  
**KELLER, TEXAS 76248**

ISSUE DATE:  
**12/19/2024**  
**01/14/2025**

ISSUE FOR:  
**CITY REVIEW**

SHEET TITLE:  
**SITE PLAN**

SHEET:  
**SP1.0**

SOD INSTALLATION NOTES

- REMOVE FOREIGN MATERIALS, WEEDS, AND UNDESIRABLE PLANTS AND THEIR ROOTS.
- GRADE AREA TO ELIMINATE ROUGH, LOW, OR SOFT AREAS, AND TO ENSURE POSITIVE DRAINAGE, ADDING TOPSOIL IF NECESSARY. FINAL GRADE TO BE 1" BELOW FINISH GRADE OF WALKS, DRIVEWAYS, CURBING AND EDGING.
- SOD SELECTION: REFERENCE THE PLANT SCHEDULE AND/OR THE PLANS FOR SELECTION TYPE.
- THE FRESHLY INSTALLED SOD SHALL BE WATERED IMMEDIATELY FOLLOWING INSTALLATION TO INSURE PROPER SOIL AND SOD MOISTURE.
- AFTER A LIGHT WATERING, ROLL THE SOD WITH A ROLLER TO ENSURE GOOD SOD TO SOIL CONTACT. THE ROLLING DEVICE SHALL NOT BE OF SUCH EXCESSIVE WEIGHT AS TO OVERLY COMPACT OR CRUSH THE SOD.
- NO SOD SHALL BE INSTALLED WHEN AIR OR SOIL TEMPERATURES ARE BELOW 32 DEGREES FAHRENHEIT.

LANDSCAPE NOTES

- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK SHOWN ON THE LANDSCAPE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES REQUIRED BASED ON THE PLAN(S) AND ACTUAL FIELD DIMENSIONS. QUANTITIES SHOWN HAVE BEEN PROVIDED AS A CONVENIENCE ONLY TO THE OWNER(S) AND SHALL NOT BE CONSIDERED ABSOLUTE. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- REMOVE ALL FOREIGN MATERIALS, WEEDS AND UNDESIRABLE PLANTS AND THEIR ROOTS FROM PROPOSED PLANTING AREAS PRIOR TO LANDSCAPE IMPROVEMENTS.
- ALL PROPOSED LANDSCAPE AREAS NOT SHOWN AS SHRUBS OR GROUND COVER TO BE TURF UNLESS OTHERWISE SPECIFIED.
- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z-60.1" LATEST EDITION.
- TREES SHALL BE HANDLED BY ROOT BALLS ONLY. DO NOT DAMAGE BALL, TRUNK, OR LOOSEN TRUNK FROM BALL. TREE TRUNKS ARE TO BE PLANTED STRAIGHT AND MAY BE REQUIRED BY THE OWNER TO BE STAKED.
- ALL TREES REQUIRED TO BE STAKED AND GUYED SHALL CONTINUE TO BE SO THROUGH THE WARRANTY PERIOD AT WHICH TIME THE OWNER SHALL DETERMINE IF REMOVAL IS APPROPRIATE.
- ALL TREES LOCATIONS SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- AT NO TIME WILL ANY PLANT MATERIAL BE ALLOWED TO SETTLE BEYOND TOP OF ROOT BALL OR POTTED SOIL LINE. SHOULD PLANT MATERIAL SETTLE, THE PLANT(S) WILL BE REPLANTED AT THE PROPER HEIGHT AND/OR REPLACED IF NECESSARY AT THE CONTRACTOR'S COST.
- ALL PROPOSED BED AREAS SHALL BE TILLED TO A DEPTH OF 6", ADDING A 3" MIN. LAYER OF ORGANIC COMPOST DURING THE PROCESS. THE LEVEL OF THE BED AREAS SHOULD BE LEFT 3" ABOVE THE PROPOSED FINISHED GRADE TO ALLOW FOR COMPACTION AND SETTLEMENT.
- ORGANIC COMPOST IS TO BE PROVIDED BY LIVING EARTH TECHNOLOGY, ORGANIC RECYCLER OR APPROVED SUPPLIER.
- WHERE SPECIFIED ON THE PLANS, BED AREAS SHALL BE SEPARATED FROM TURF AREAS USING SPECIFIED EDGING. ALL ENDS OF EDGING RUNS SHALL HAVE A RADIUS OR 45° ANGLE TO ELIMINATE SHARP EDGES. HAND FILING MAY BE REQUIRED TO ACHIEVE A SMOOTH EDGE.
- TRIM EDGING AT A 45° ANGLE WHEN EDGING INTERSECTS WITH A WALK OR CURB.
- ALL LANDSCAPE BEDS SHALL RECEIVE A 2" TOP DRESS LAYER OF SHREDDED HARDWOOD MULCH AND ALL TREE WELLS SHALL RECEIVE A 3" TOP DRESS LAYER OF SHREDDED HARDWOOD MULCH. ALL MULCH SHALL BE FREE OF LATENT WEED SEEDS AND OTHER PATHOGENS AND MAY NOT CONTAIN ANY OF THE FOLLOWING: MAN-MADE MATERIALS, TRASH, TREATED LUMBER, PALLETS, GRASS AND/OR LEAVES. DO NOT COVER ROOT FLARES OF TREES.
- TURF AREAS SHALL BE CLEAN OF DEBRIS AND RAKED (GRADED) SMOOTH PRIOR TO HYDROMULCH OR SOD INSTALLATION.
- ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS AND MATCHING CHARACTER AND BRANCHING STRUCTURE.
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS, ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY POND.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
- ALL TURF AREAS SHALL BE FINE GRADED AND IRRIGATION TRENCHES COMPLETELY SETTLED PRIOR TO TURF INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY GRASS INSTALLATION.
- LANDSCAPE CONTRACTOR SHALL REFERENCE CITY OF KELLER ORDINANCE ARTICLE 10 FOR TREE REMOVAL AND PRESERVATION REQUIREMENTS.

LEGEND

- REQUIRED STREET BUFFER TREE  
4" CALIPER MINIMUM AT TIME OF INSTALLATION
- REQUIRED SIDE LOT BUFFER TREE  
3" CALIPER MINIMUM AT TIME OF INSTALLATION
- REQUIRED PARKING LOT TREE  
3" CALIPER MINIMUM AT TIME OF INSTALLATION
- REQUIRED ORNAMENTAL BUFFER TREE  
3" CALIPER MINIMUM AT TIME OF INSTALLATION
- PROPOSED TYPICAL SHRUB
- PROPOSED TURF- SOLID SOD
- EXISTING TREE
- PARKING SPACE COUNT

LANDSCAPE TABLE

REQUIRED STREET BUFFER SETBACK	30'
PROVIDED STREET BUFFER SETBACK	20'
REQUIRED SIDE LOT BUFFER SETBACK	10'
PROVIDED SIDE LOT BUFFER SETBACK	10'
REQUIRED PARKING LOT SCREENING SHRUBS	YES
PROVIDED PARKING LOT SCREENING SHRUBS	YES
REQUIRED STREET BUFFER TREES	5 TREES
1 TREE / 25 LF OF STREET FRONTAGE	122.29 / 25 = 4.89 (5) TREES
PROVIDED STREET BUFFER TREES	5 TREES
4" CALIPER MIN.	
REQUIRED SIDE LOT BUFFER TREES	10 TREES
WEST BUFFER - 1 TREE / 30 LF OF BUFFER	NOT REQUIRED DUE TO SHARED PARKING BETWEEN LOTS
EAST BUFFER - 1 TREE / 30 LF OF BUFFER	165.72 / 30 = 5.52 (6) TREES
NORTH BUFFER - 1 TREE / 30 LF OF BUFFER	122.10 / 30 = 4.07 (4) TREES
PROVIDED SIDE LOT BUFFER TREES	12 TREES
3" CALIPER MIN.	
REQUIRED PARKING LOT ISLAND TREES	4 TREES
1 TREE / ISLAND	4 ISLANDS
PROVIDED PARKING LOT ISLAND TREES	4 TREES
3" CALIPER MIN.	
REQUIRED ORNAMENTAL BUFFER TREES	5 TREES
2 TREES / 50 LF OF STREET FRONTAGE	122.29 / 50 x 2 = 4.89 (5) TREES
PROVIDED ORNAMENTAL BUFFER TREES	5 TREES
REQUIRED PARKING LOT LANDSCAPING	2,069 SF
15% OF PARKING LOT	13,762 SF x 15% = 2,069 SF
PROVIDED PARKING LOT LANDSCAPING	6,424 SF
	31.8 %

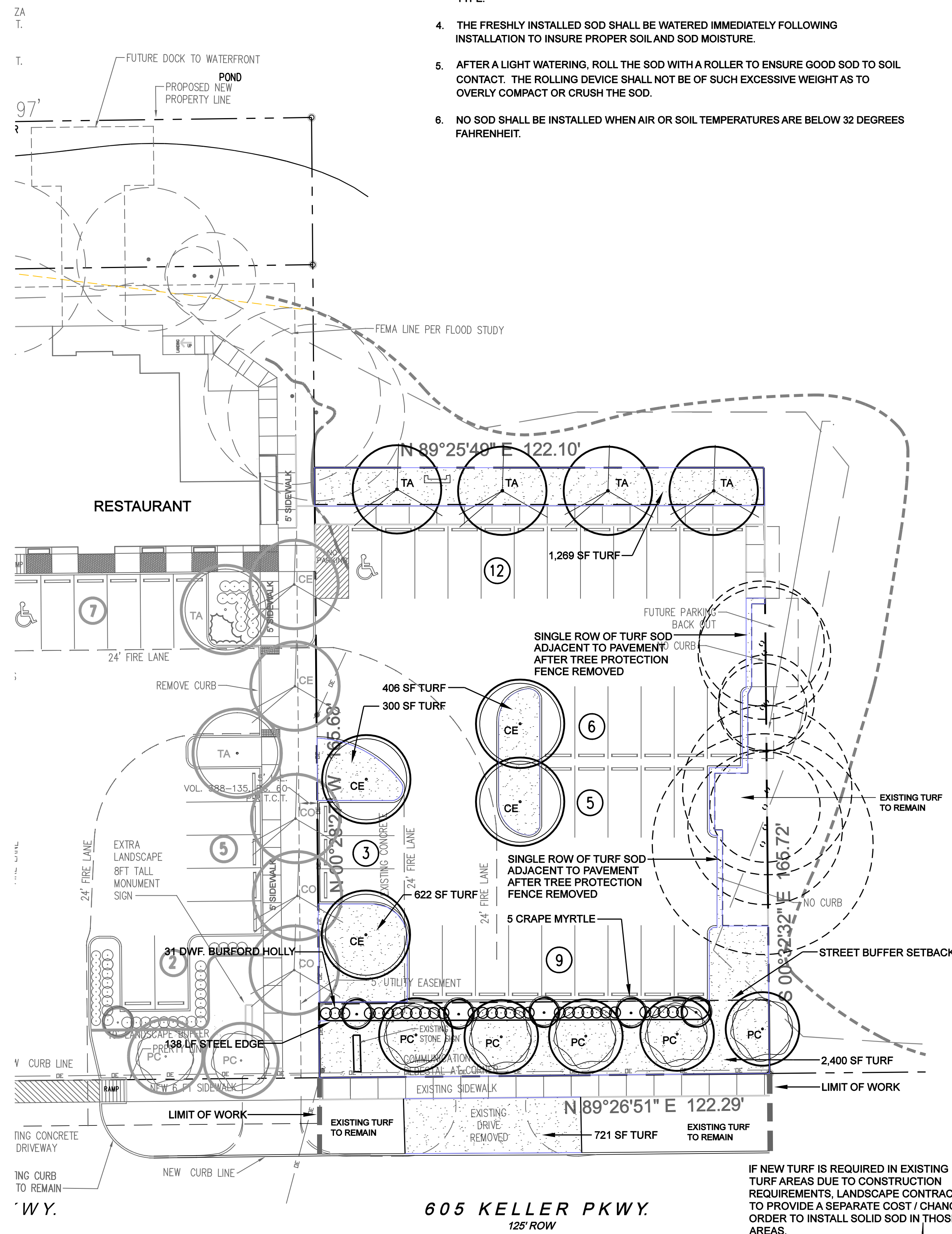
GENERAL NOTES

- NO PLANT MATERIAL SHALL BE PLANTED UNTIL A LANDSCAPE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF THE PROPOSED LANDSCAPE AREAS.
- THE SITE WILL BE IRRIGATED WITH A BELOW GROUND AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE SENSOR AND RAIN GAUGE THAT IS CAPABLE OF PROVIDING THE PROPER AMOUNT OF WATER FOR THE PARTICULAR TYPE OF PLANT MATERIAL USED. THE FREEZE SENSOR SHALL BE SET AT 38°. THE IRRIGATION SYSTEM SHALL MEET ALL APPLICABLE REQUIREMENTS AND REGULATIONS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) AND THOSE OF THE CITY OF KELLER.
- DETAILED IRRIGATION PLANS WILL BE SUBMITTED WITH CONSTRUCTION PLANS.
- ALL LANDSCAPING LOCATED WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS PER THE CITY OF KELLER.
- DEVELOPER / PROPERTY OWNER IS RESPONSIBLE TO PROVIDE ELECTRICAL SERVICE FOR IRRIGATION SYSTEM, WHICH INCLUDES A HARDWIRE OF 110 VOLTS AT MINIMUM FOR THE IRRIGATION CONTROLLER.
- THE OWNER, TENANT AND/OR THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, MOWING (OF GRASS OF SIX INCHES (6") OR HIGHER), EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIAL OR PLANTS NOT A PART OF THE LANDSCAPING. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, WITHIN NINETY (90) DAYS. TREES WITH A TRUNK DIAMETER IN EXCESS OF SIX INCHES (6") MEASURED TWENTY-FOUR INCHES (24") ABOVE THE GROUND MAY BE REPLACED WITH ONES OF SIMILAR VARIETY HAVING A TRUNK DIAMETER OF NO LESS THAN THREE INCHES (3") MEASURED TWENTY-FOUR INCHES (24") ABOVE THE GROUND. A TIME EXTENSION MAY BE GRANTED BY THE PLANNING MANAGER IF SUBSTANTIAL EVIDENCE IS PRESENTED TO INDICATE ABNORMAL CIRCUMSTANCES BEYOND THE CONTROL OF THE OWNER OR HIS AGENT. FAILURE TO MAINTAIN ANY LANDSCAPE AREA IN COMPLIANCE WITH THIS SECTION SHALL RESULT IN THE DISAPPROVED AND REVOCATION OF ANY ISSUED CERTIFICATE OF OCCUPANCY ASSOCIATED WITH THE OCCUPANCY OF SAID AREA.
- GENERAL CONTRACTOR SHALL REFERENCE CITY OF KELLER ORDINANCE ARTICLE 10 FOR TREE REMOVAL AND PRESERVATION REQUIREMENTS.

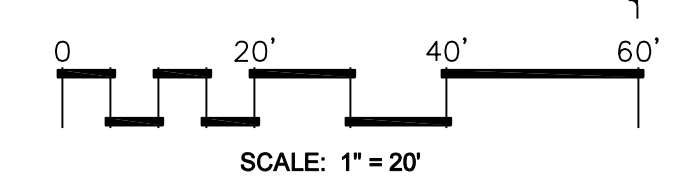
GENERAL UTILITY NOTE

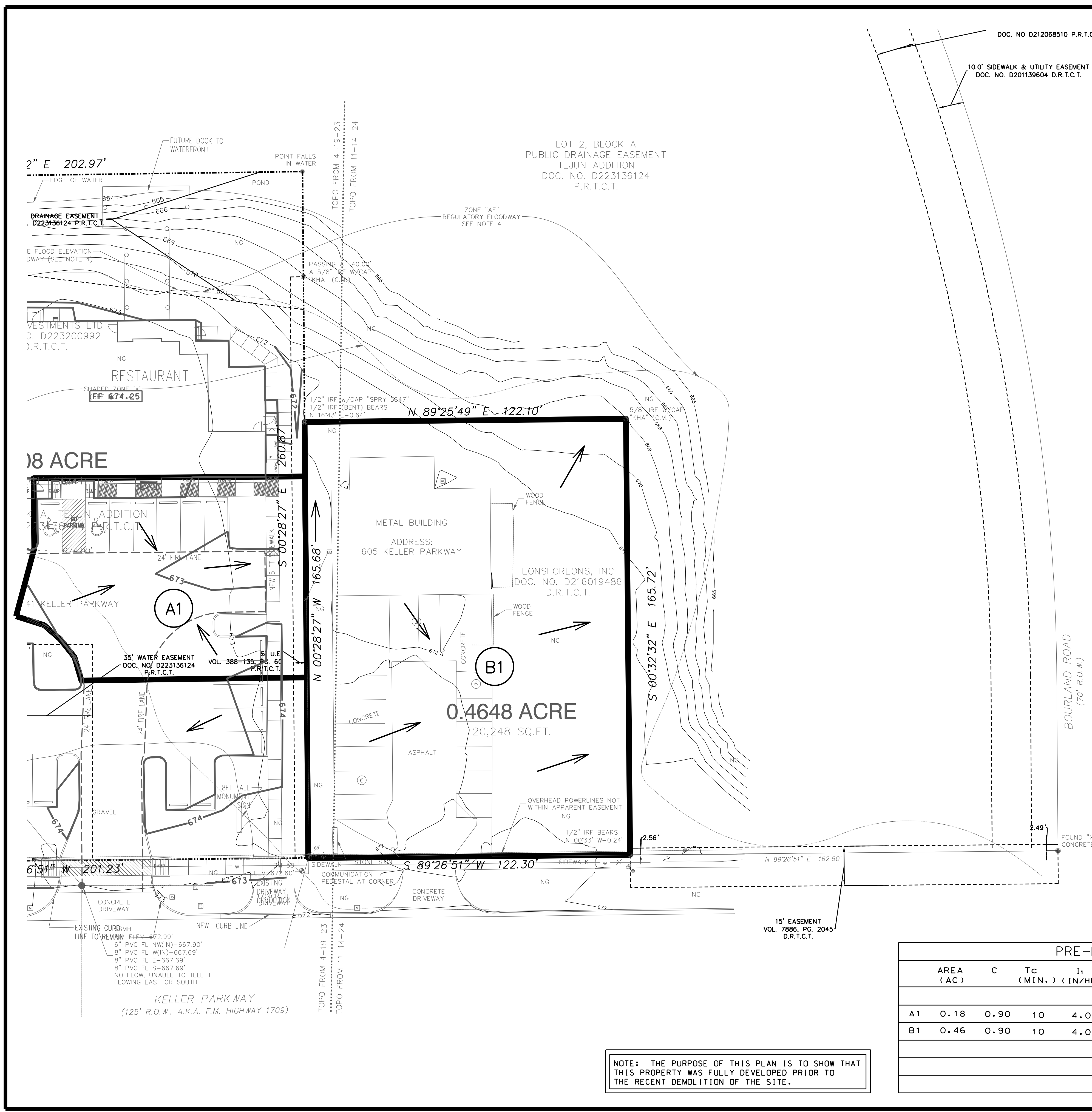
ALL EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE OWNER AND THE LANDSCAPE ARCHITECT NEITHER ASSUMES, NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY AFFECTED AND VERIFY THESE LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.

CALL 1-800-344-8377 (DIG-TESS) OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. MODERNGREEN, INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.



IF NEW TURF IS REQUIRED IN EXISTING TURF AREAS DUE TO CONSTRUCTION REQUIREMENTS, LANDSCAPE CONTRACTOR TO PROVIDE A SEPARATE COST / CHANGE ORDER TO INSTALL SOLID SOD IN THOSE AREAS.





**LEGEND**

- A1 DRAINAGE AREA
- DRAINAGE DIVIDE
- FLOW DIRECTION ARROW

SCALE 1" = 20'  
 0 10 20 40  
**REVIEWED**  
**CITY OF KELLER**  
 Released for Construction  
 Date \_\_\_\_\_  
 Public Works Director/City Engineer

BOURLAND ROAD  
(70' R.O.W.)

**DRAINAGE NOTES:**

RATIONAL METHOD CIA = 0

C FACTOR OF 0.90 AND 0.30 OBTAINED FROM CITY OF KELLER UNIFIED DEVELOPMENT CODE.

C = 0.90 BUSINESS  
C = 0.30 PARKS/OPEN AREAS

I, Keith Hamilton, a Professional Engineer, registered and licensed in the State of Texas, have prepared this drainage study, drainage calculations and detailed drainage construction plans (the "Drainage Plans") based on verified topographic requirements and in compliance with the laws of the State of Texas, the Texas Water Code, the ordinances, requirements and criteria of the City of Keller, Texas (the "City"), and generally accepted engineering practices, and further certify that the Drainage Plans are acceptable to be released for construction. I further certify that the Drainage Plans were not prepared by the City.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_, P.E.

**PRELIMINARY FOR REVIEW ONLY**

THESE DOCUMENTS ARE FOR DESIGN REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THEY WERE PREPARED BY, OR UNDER SUPERVISION OF:

KEITH M. HAMILTON 87384 #DATE#  
PE NO. DATE

**TXDOT NOTES:**

- POSTED SPEED LIMIT = 40 MPH
- NO LANE CLOSURES ARE ALLOWED DURING PEAK HOURS. OFF-PEAK HOURS ARE 9AM-3PM AND 9PM-5AM ON WEEKDAYS.

PRE-DEVELOPED SITE DRAINAGE DATA										
AREA (AC)	C	Tc (MIN.)	I <sub>1</sub> (IN/HR)	I <sub>10</sub> (IN/HR)	I <sub>100</sub> (IN/HR)	Q <sub>1</sub> (CFS)	Q <sub>10</sub> (CFS)	Q <sub>100</sub> (CFS)	COMMENTS	
A1	0.18	0.90	10	4.06	6.51	9.24	0.7	1.1	1.5	TO EAST (AREA B)
B1	0.46	0.90	10	4.06	6.51	9.24	1.7	2.7	3.8	TO FLOODPLAIN

**NOTE: THE PURPOSE OF THIS PLAN IS TO SHOW THAT THIS PROPERTY WAS FULLY DEVELOPED PRIOR TO THE RECENT DEMOLITION OF THE SITE.**

CIVIL & ENVIRONMENTAL ENGINEERS - PLANNERS - CONSTRUCTION MANAGERS  
8211 MID-CITIES BLVD., NORTH RICHLAND HILLS, TEXAS 76882  
PHONE (817) 268-9488 www.hamiltonduffly.com

TEJUN RESTAURANT ADDED PARKING

605 KELLER PARKWAY  
CITY OF KELLER, TEXAS

PRE-DEVELOPED DRAINAGE AREA MAP

PRELIMINARY FOR REVIEW ONLY

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KEITH M. HAMILTON 87384 #DATE#  
PE NO. DATE

JOB NO. 028-123

DATE DESIGNED

DATE DRAWN

DATE CHECKED

DATE

DESIGNED BY K.M.H.

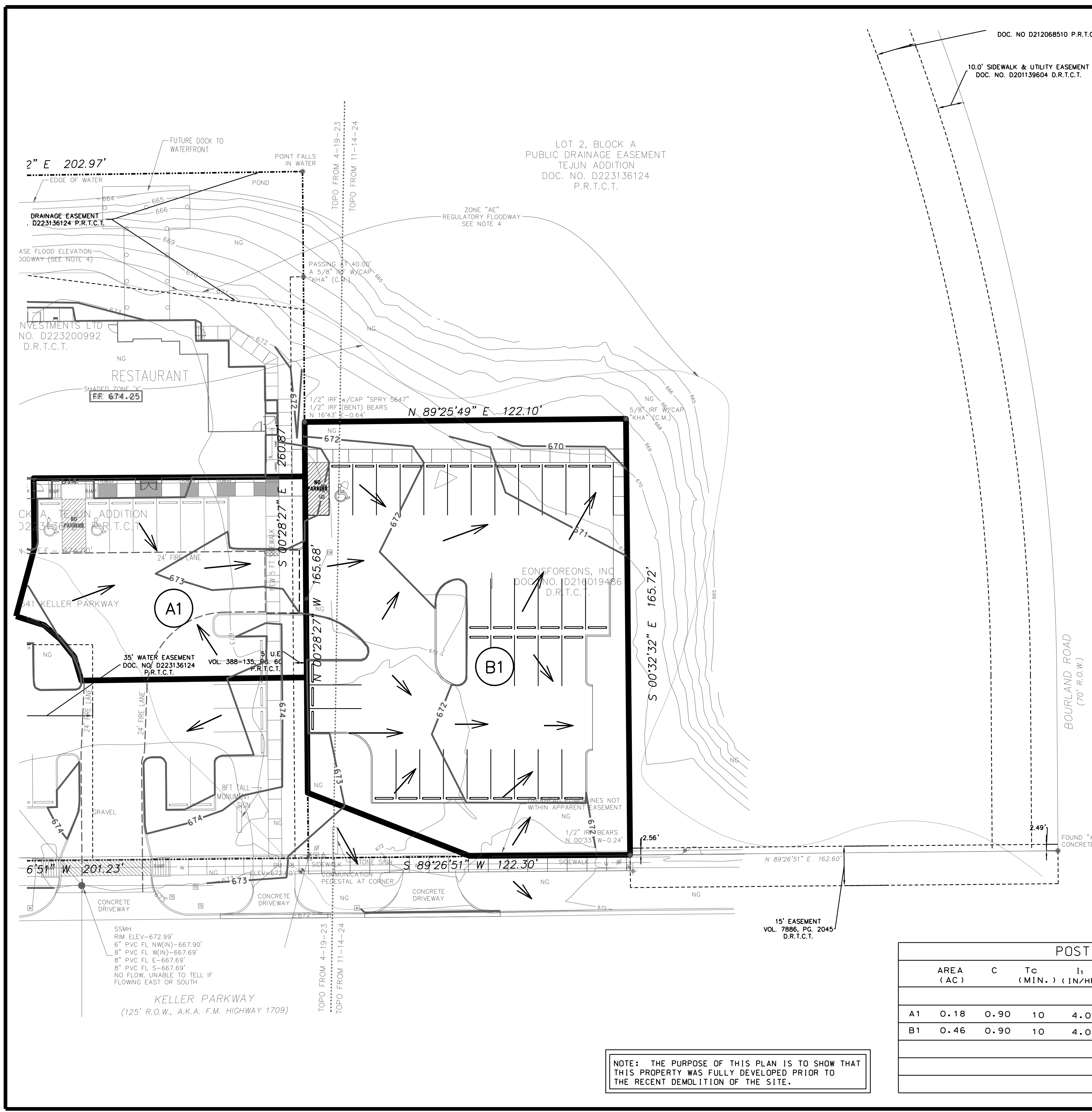
DRAWN BY K.M.H.

CHECKED BY K.M.H.

TEXAS FIRM REG. NO. F-5260

NO. REVISION

SHEET



LEGEND

(A1) DRAINAGE AREA

— DRAINAGE DIVIDE

↗ FLOW DIRECTION ARROW

SCALE 1" = 20'

REVIEWED  
CITY OF KELLER  
Released for Construction  
Date \_\_\_\_\_

Public Works Director/City Engineer

**HAMILTON  
DUFFY, PC**  
CONSULTING

CIVIL & ENVIRONMENTAL ENGINEERS - PLANNERS - CONSTRUCTION MANAGERS  
821 MID-CITIES BLVD., NORTH RICHLAND HILLS, TEXAS 76182  
PHONE (817) 268-9488 www.hamiltonduffy.com

TEJUN RESTAURANT ADDED PARKING

605 KELLER PARKWAY  
CITY OF KELLER, TEXAS

POST-DEVELOPED DRAINAGE AREA MAP

DRAINAGE NOTES:

RATIONAL METHOD CIA = 0

C FACTOR OF 0.90 AND 0.30 OBTAINED FROM CITY OF KELLER  
UNIFIED DEVELOPMENT CODE.

C = 0.90 BUSINESS  
C = 0.30 PARKS/OPEN AREAS

I, Keith Hamilton, a Professional Engineer, registered and licensed in the State of Texas, have prepared this drainage study, drainage calculations and detailed drainage construction plans (the "Drainage Plans") based on verified topographic requirements and in compliance with the laws of the State of Texas, the Texas Water Code, the ordinances, requirements and criteria of the City of Keller, Texas (the "City"), and generally accepted engineering practices, and further certify that the Drainage Plans are acceptable to be released for construction. I further certify that the Drainage Plans were not prepared by the City.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_, P.E.

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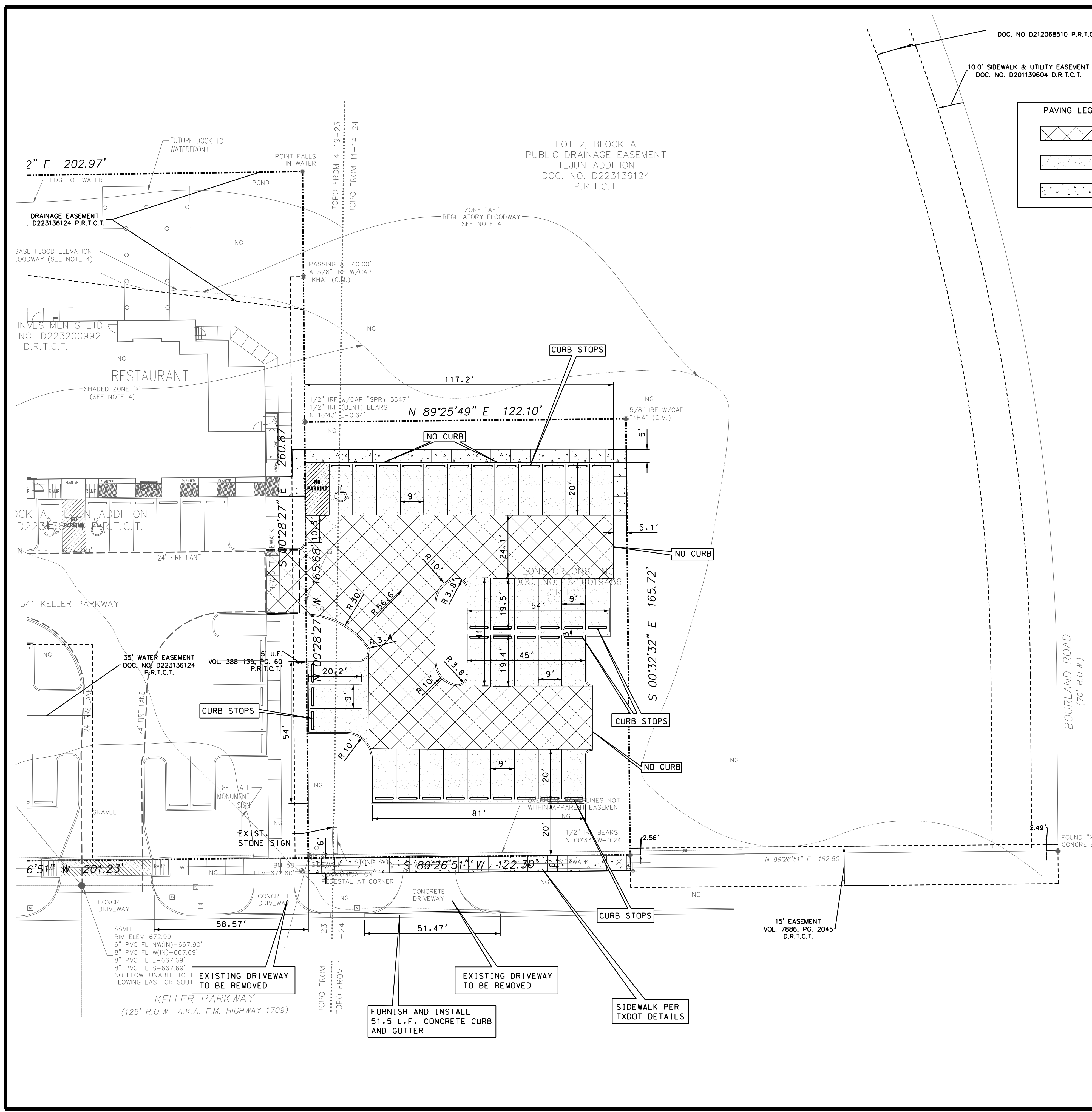
JOB	DATE	DESIGNED	DRAWN	CHECKED	TEXAS FIRM REG. NO. F-5260
028-123		K. M. H.	K. M. H.	K. M. H.	

NO.	REVISION	DATE	BY

SHEET  
C1.11





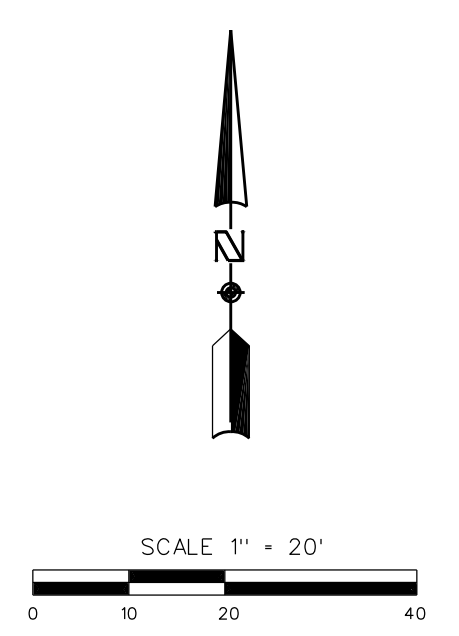


DOC. NO D212068510 P.R.T.C.T.

10.0' SIDEWALK & UTILITY EASEMENT  
DOC. NO. D201139604 D.R.T.C.T.

**PAVING LEGEND**

	7" THICK CONCRETE PAVEMENT W/ #4 BARS
	18" O.C.E.W. (TRAFFIC LANES - FIRE LANE)
	5" THICK CONCRETE PAVEMENT W/ #3 BARS
	18" O.C.E.W. (PARKING)
	4" THICK CONCRETE SIDEWALK W/ #3 BARS
	18" O.C.E.W.



**REVIEWED**  
CITY OF KELLER  
Released for Construction  
Date \_\_\_\_\_  
Public Works Director/City Engineer

BOURLAND ROAD  
(70' R.O.W.)

**TxDOT NOTES:**

- POSTED SPEED LIMIT = 40 MPH
- NO LANE CLOSURES ARE ALLOWED DURING PEAK HOURS. OFF-PEAK HOURS ARE 9AM-3PM AND 9PM-5AM ON WEEKDAYS.

**NOTE:**  
ALL WORK PERFORMED IN TxDOT ROW MUST BE PERMITTED AND INSPECTED BY TxDOT.

ALL EXCAVATION, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS", VOL. 29, SUB PART P, PG. 128-137, AND ANY AMENDMENTS THERETO.

**III CRITICAL III**  
LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE. PUBLIC RECORDS WERE NOT AVAILABLE. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES, BOTH HORIZONTALLY AND VERTICALLY, BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION.

**UTILITY RELOCATION NOTE:**  
IF ANY EXISTING UTILITY POLES, POWER POLES, GUY WIRES, TELEPHONE UTILITIES, ETC. ARE FOUND TO BE IN CONFLICT WITH THESE CONSTRUCTION PLANS, THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY AND COORDINATE THE RELOCATION OF ANY AND/OR ALL SUCH UTILITIES (NO SPECIAL PAY).

**PAVING NOTES**

- ALL CONCRETE SHALL BE 3,600 PSI AT 28 DAYS. TWO TEST CYLINDERS SHALL BE TAKEN BY AN APPROVED TESTING LABORATORY EACH DAY CONCRETE IS POURED. SEVEN DAY AND TWENTY-EIGHT DAY TEST RESULTS SHALL BE FURNISHED TO THE OWNER AND ENGINEER. ALL COSTS FOR TESTING SHALL BE BORNE BY THE CONTRACTOR.
- SAW JOINTS SHALL BE CUT ON MAXIMUM FIFTEEN (15') FOOT CENTERS WITHIN 24 HOURS FOLLOWING EACH POUR. CONTRACTOR SHALL SUBMIT SHOP DRAWING OF INTENDED JOINT LAYOUT TO ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- SIX (6") INCH CURB SHALL BE INSTALLED INTEGRAL WITH CONCRETE PAVEMENT. SAW JOINTS SHALL EXTEND THROUGH THE CURB.
- CONTRACTOR SHALL FURNISH ALL CONSTRUCTION STAKING.
- FIRE LANE PAVING SHALL BE 7" THICK REINFORCED CONCRETE W/ #4 BARS AT 18" CTRS. ON 8" LIME OR CEMENT STABILIZED SUBGRADE COMPACTED PER GEOTECHNICAL REPORT. 6" OF COMPACTED FLEXIBLE BASE CAN BE SUBSTITUTED FOR 8" LIME OR CEMENT STABILIZED SUBGRADE. PARKING LOT PAVING SHALL BE 5" THICK REINFORCED CONCRETE W/#3 BARS AT 18" CTRS. ON 6" COMPACTED SUBGRADE PER GEOTECHNICAL REPORT.
- SEE GRADING PLAN FOR FINISHED PAVEMENT ELEVATIONS.
- CONTRACTOR SHALL PAINT & STRIPE ALL PARKING AS SHOWN. CONTRACTOR SHALL ALSO PROVIDE CONCRETE RAMPS, SIGNS, AND CURB STOPS AS SHOWN.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- ALL PUBLIC SIDEWALKS SHALL BE CONSTRUCTED PER CITY OF KELLER STANDARDS UNLESS OTHERWISE NOTED.

**HAMILTON DUFFY, PC**  
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824 MID-CITIES BLVD., NORTH RICHLAND HILLS, TEXAS 76182  
PHONE (817) 268-9488 www.hamiltonduffy.com

TEJUN RESTAURANT ADDED PARKING  
605 KELLER PARKWAY  
CITY OF KELLER, TEXAS  
PAVING PLAN

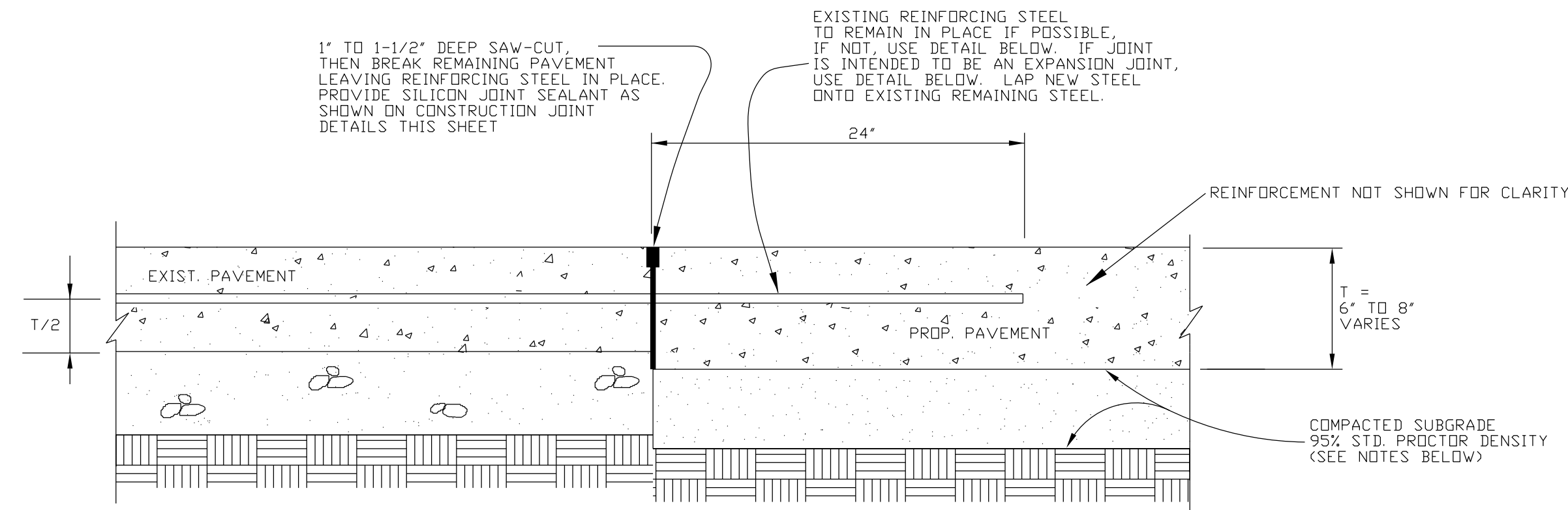
**PRELIMINARY FOR REVIEW ONLY**  
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JOB NO.	DATE	DESIGNED	DRAWN	CHECKED	TEXAS FIRM REG. NO.
028-123		K.M.H.	K.M.H.	K.M.H.	F-5260
DATE					
BY					
NO.	REVISION				

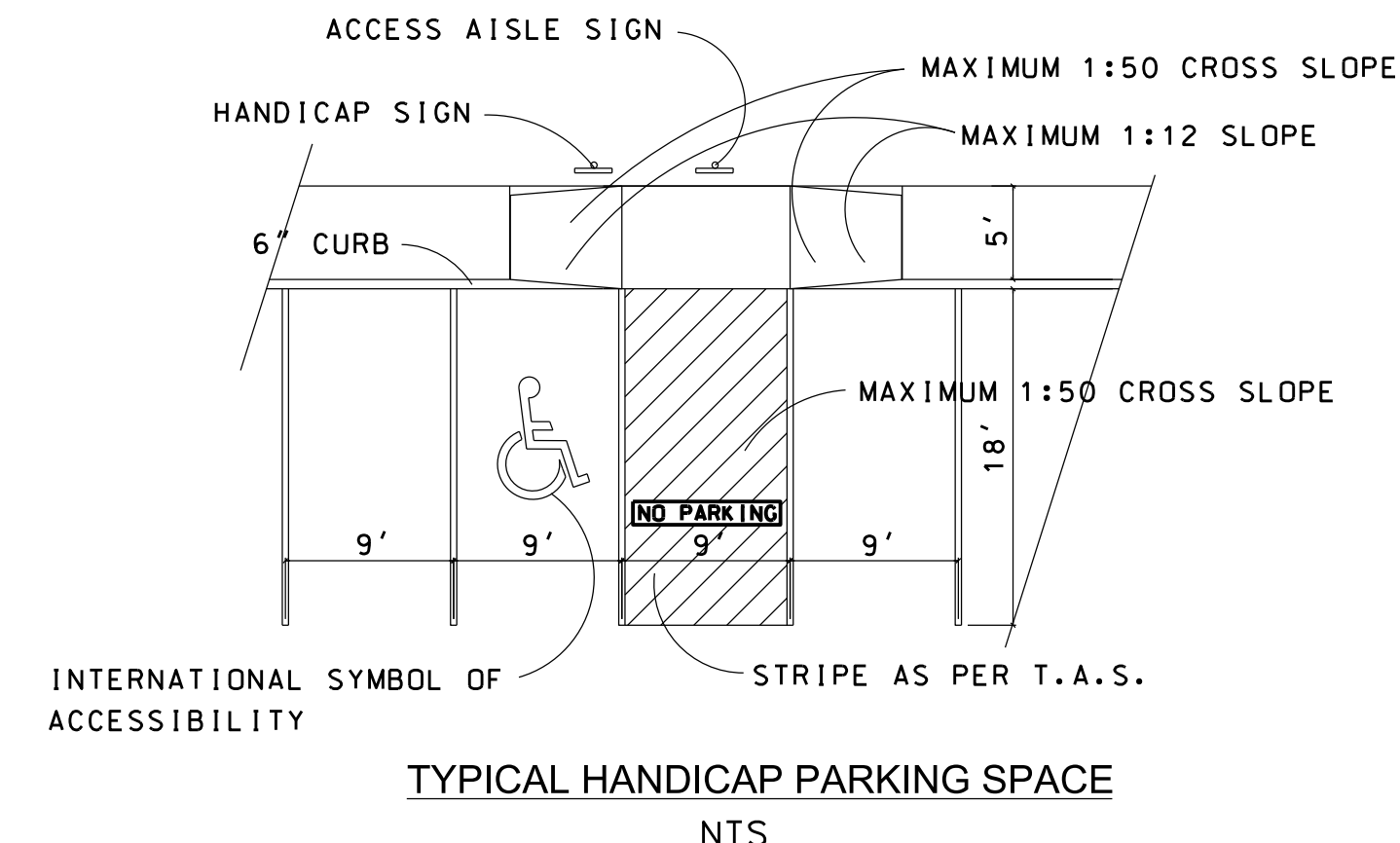
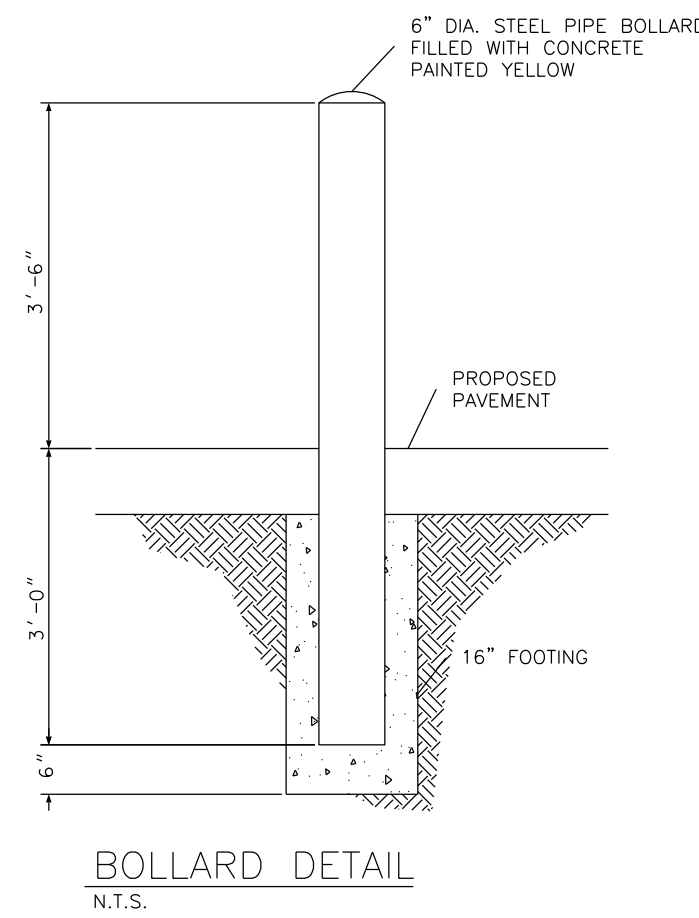
SHEET  
C1.40



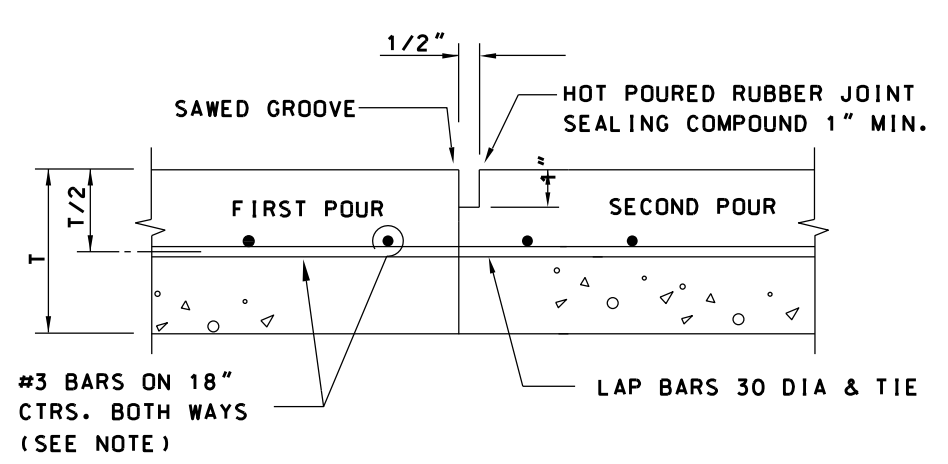
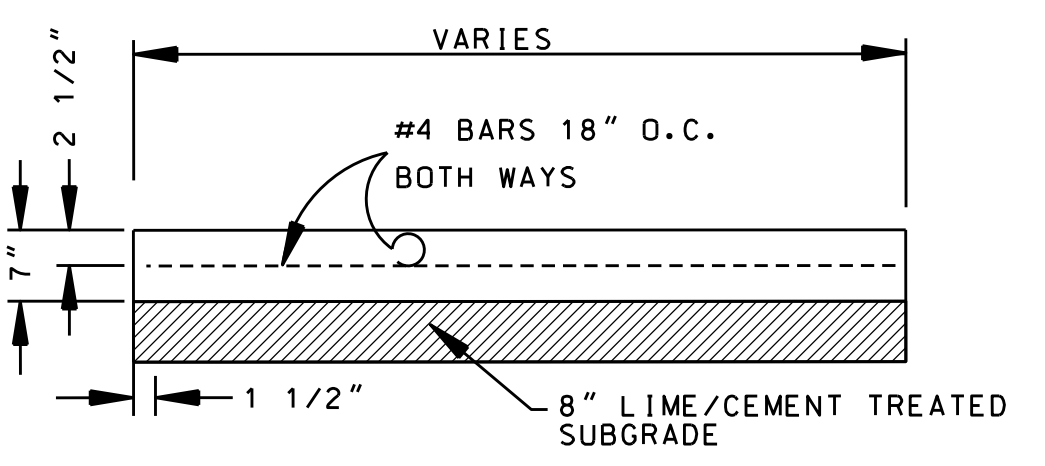
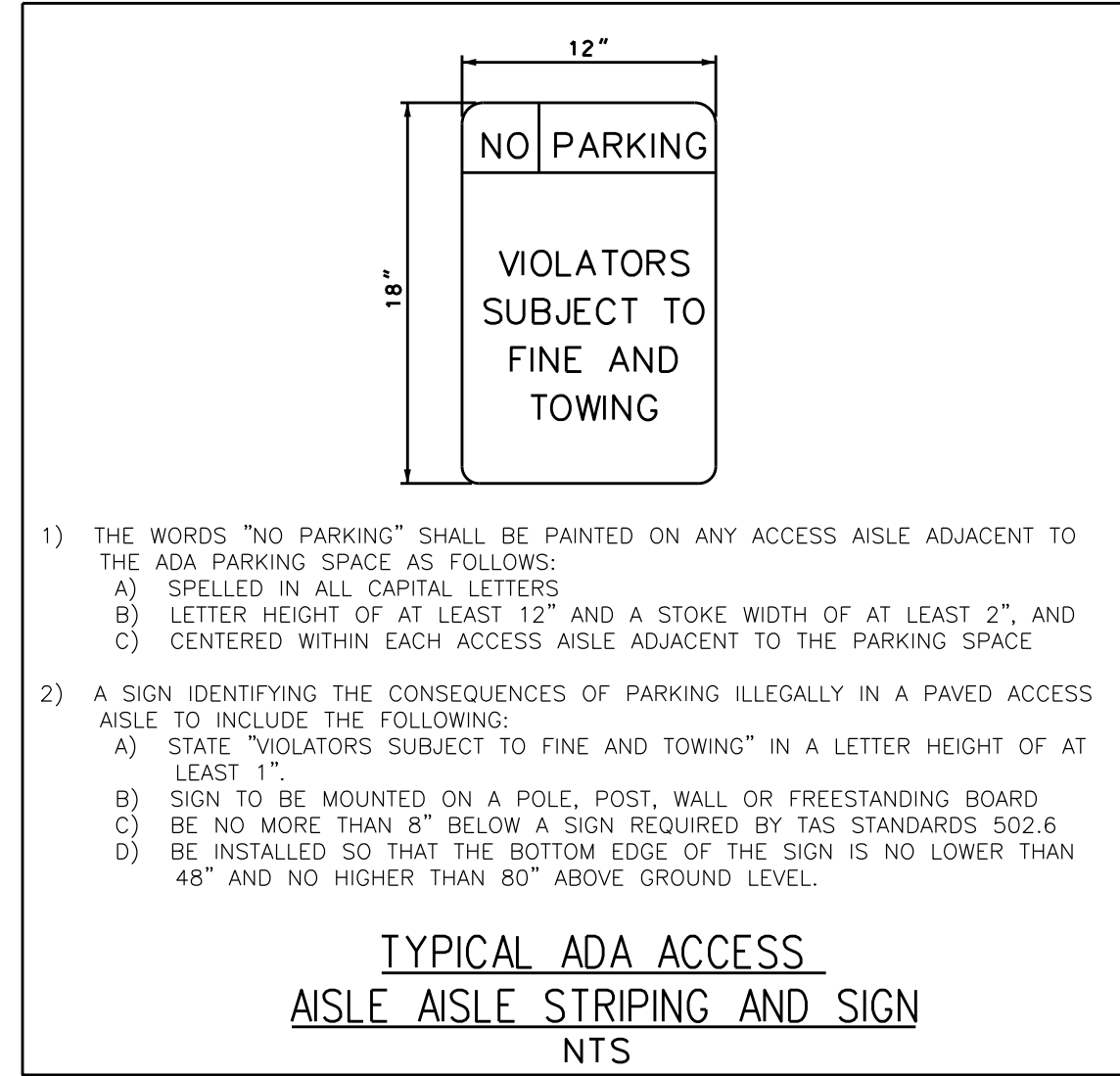
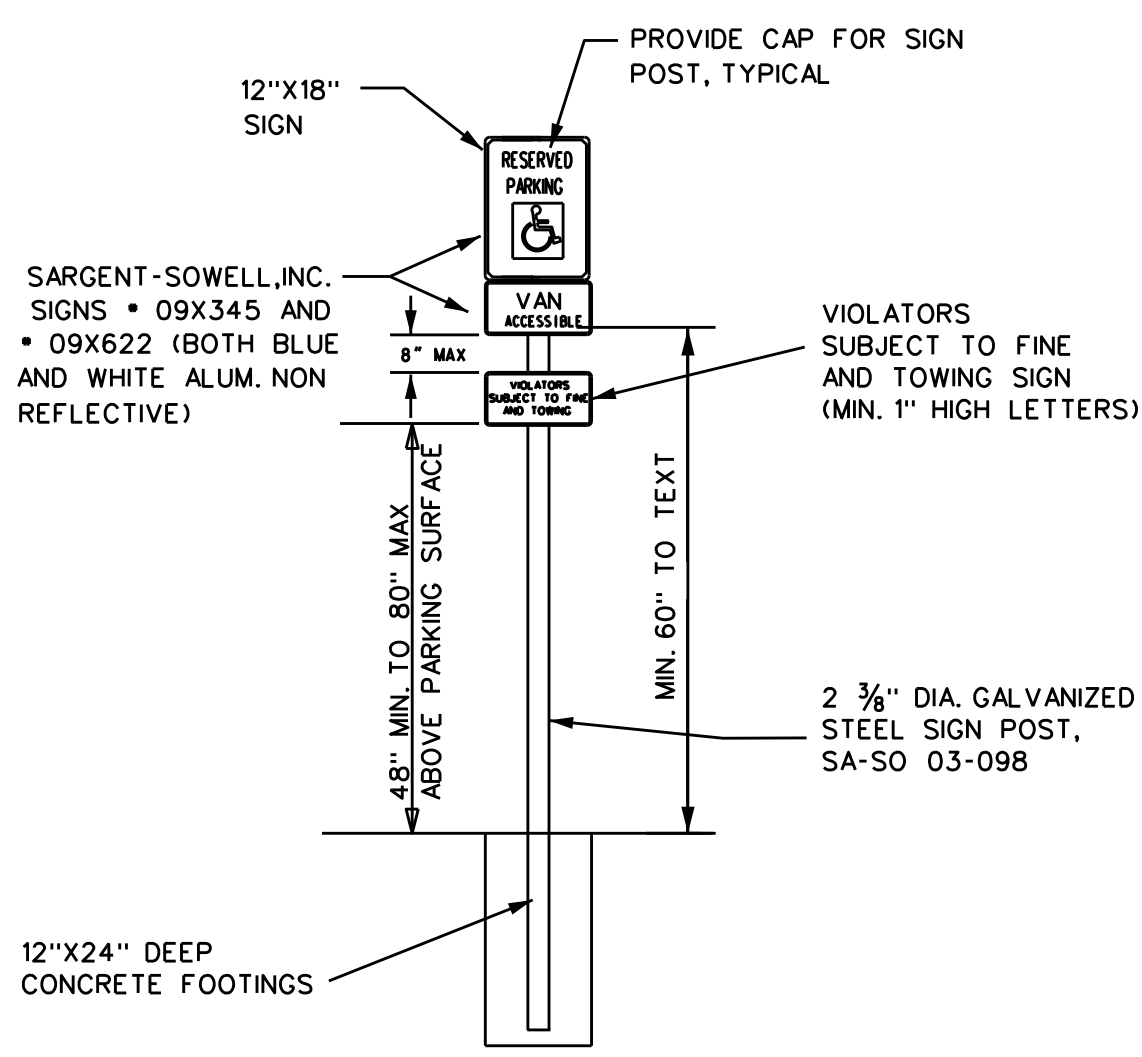
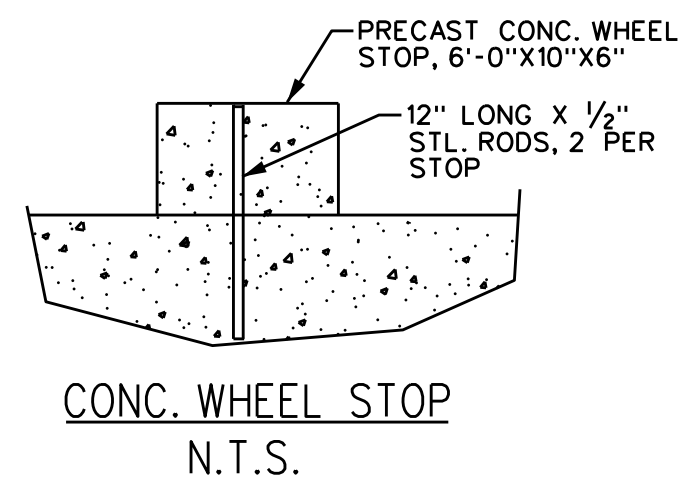
THESE DETAILS ARE NOT FOR USE ON STATE RIGHT OF WAY



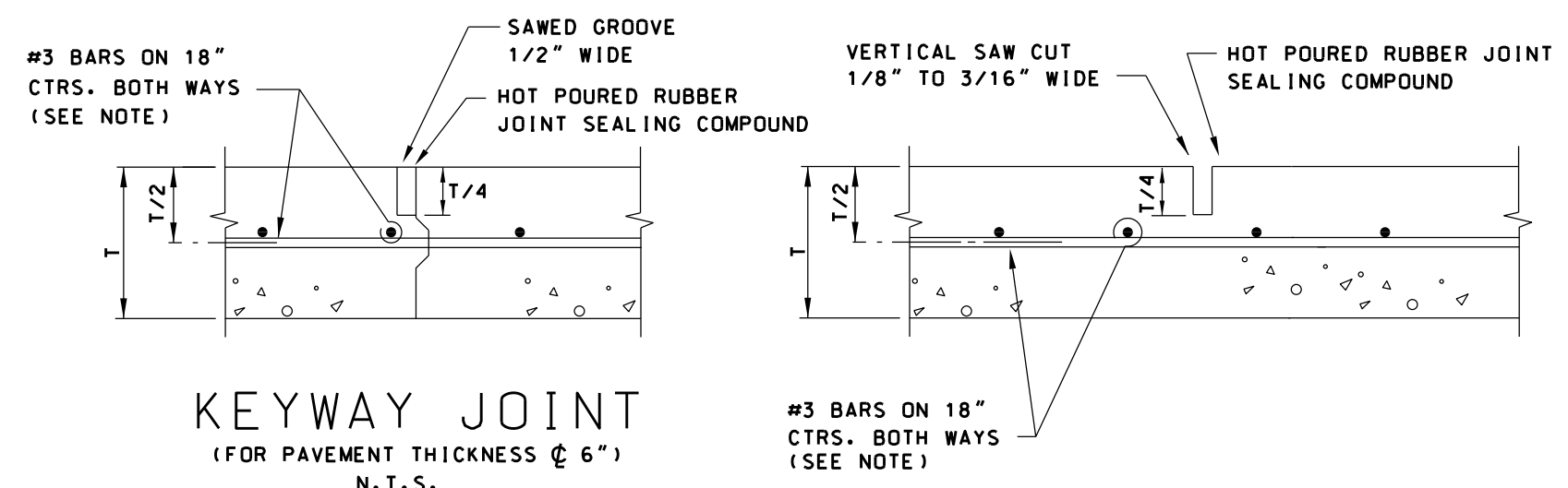
**EXISTING TO NEW PAVEMENT CONNECTION**  
WHEN EXISTING STEEL REINFORCEMENT CAN BE SAVED  
NOT TO SCALE



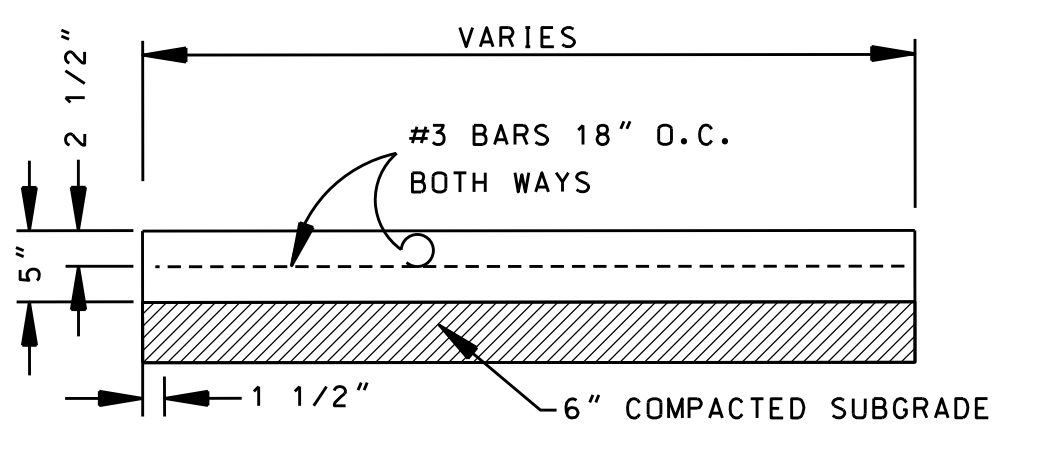
REVIEWED  
CITY OF KELLER  
Released for Construction  
Date \_\_\_\_\_  
Public Works Director/City Engineer



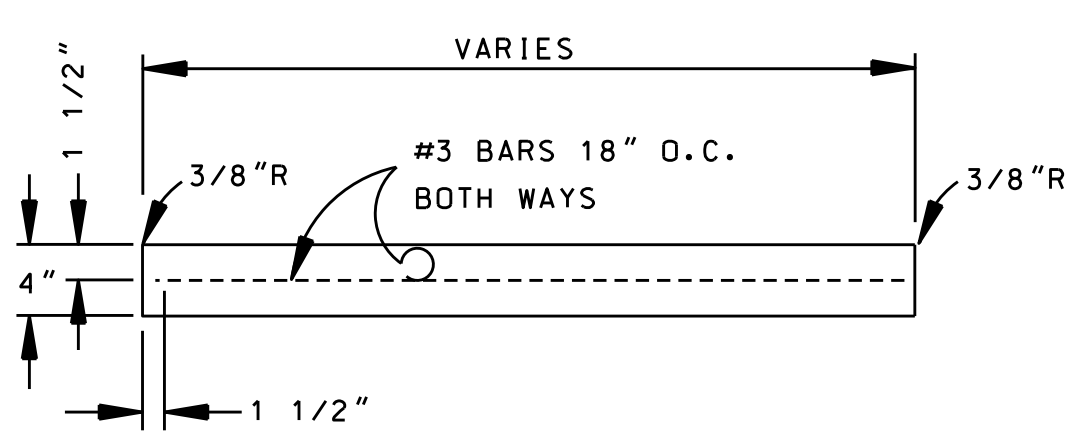
CONSTRUCTION JOINT  
N.T.S.



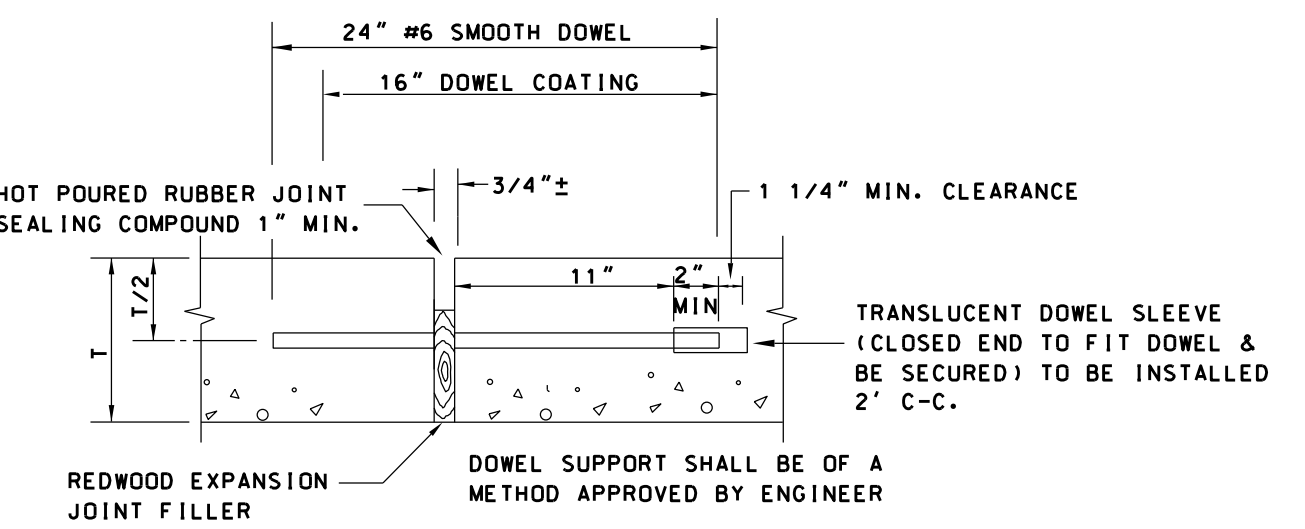
KEYWAY JOINT  
(FOR PAVEMENT THICKNESS <math>\ge 6''</math>)  
N.T.S.



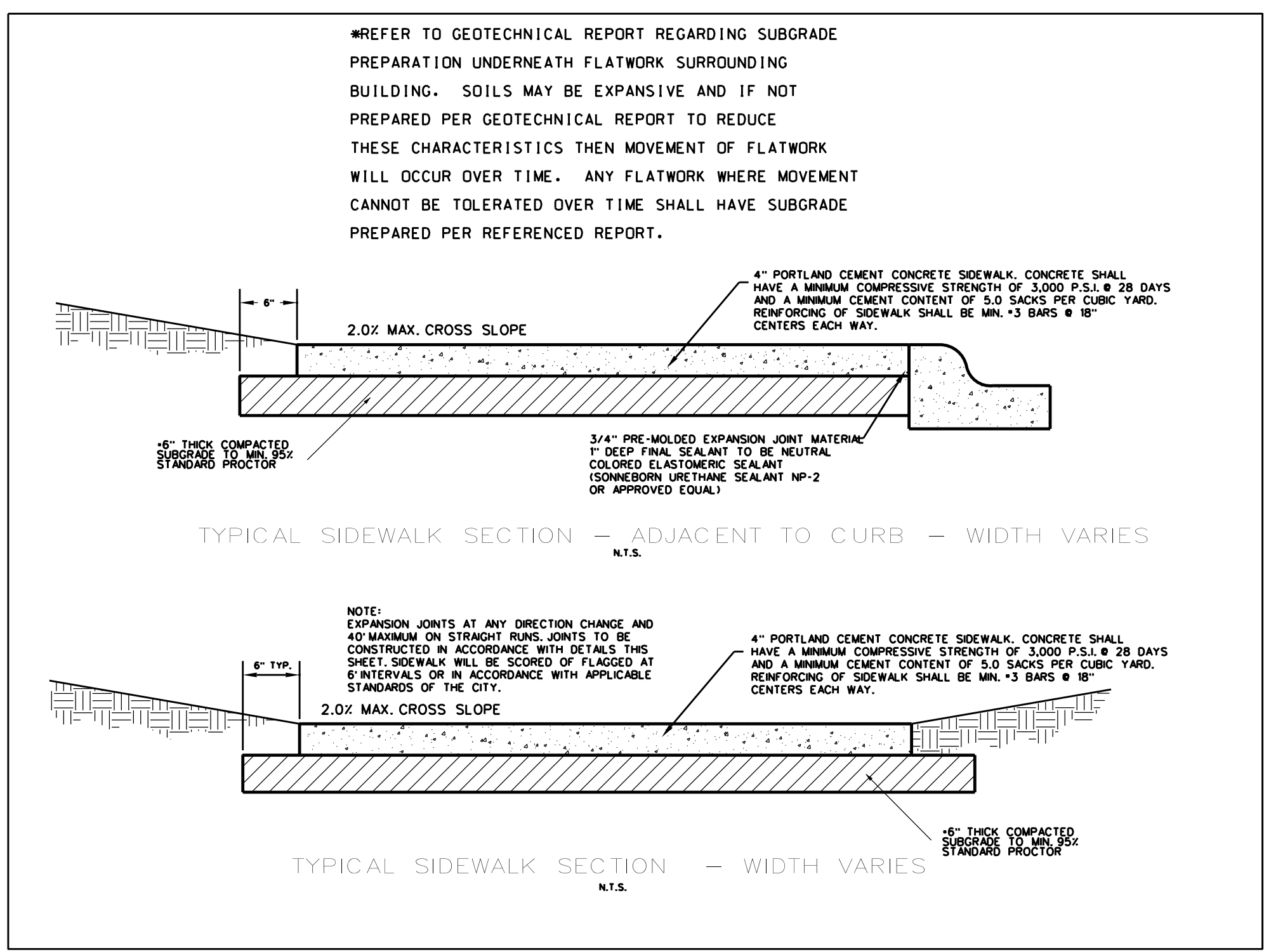
TYPICAL PARKING PAVING  
N.T.S.



TYPICAL SIDEWALK  
N.T.S.



EXPANSION JOINT  
(SPACED 200 FT. MAXIMUM; LOCATE AT STRUCTURES AND AT INTERSECTION P.C.'S & P.T.'S)  
N.T.S.



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