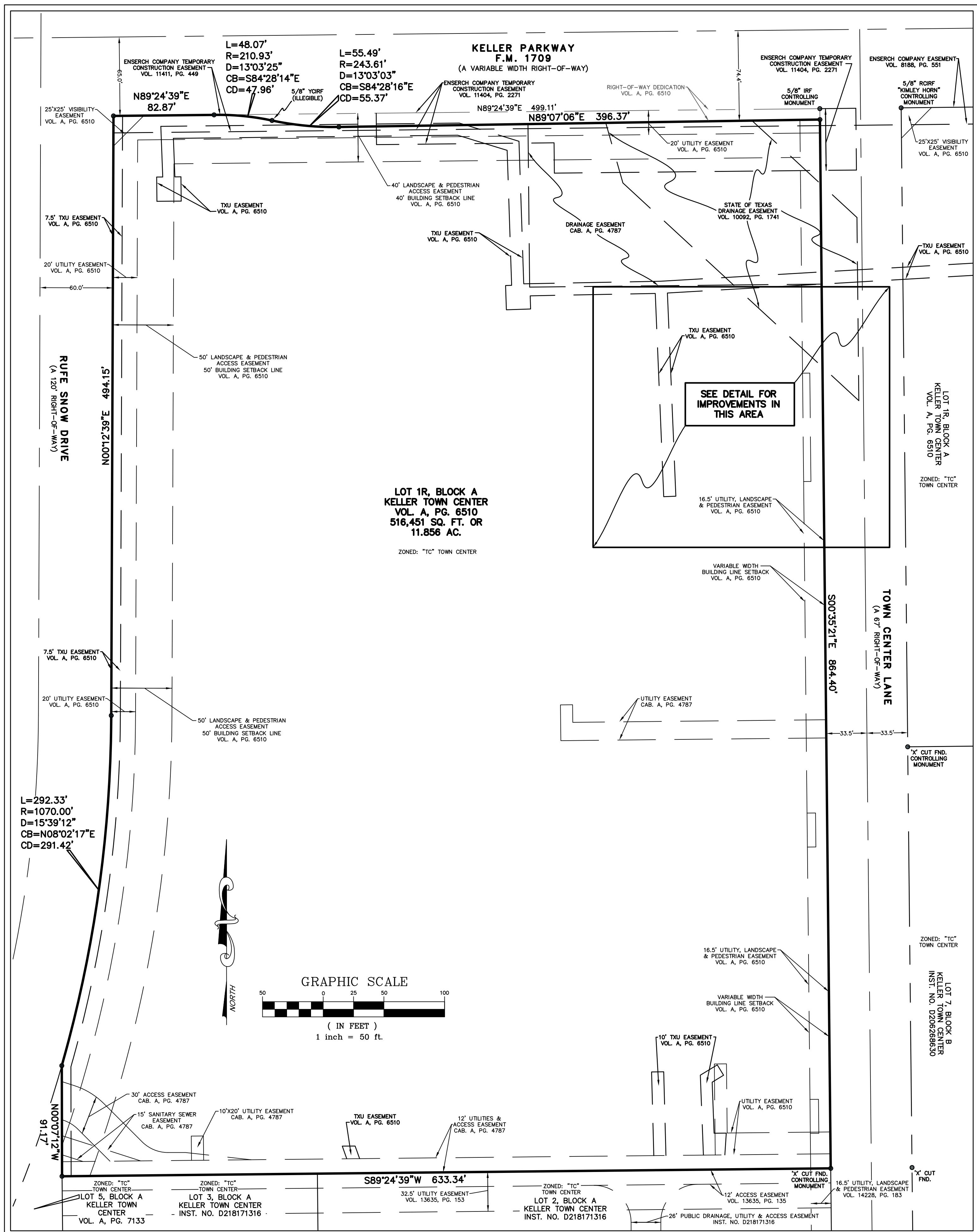
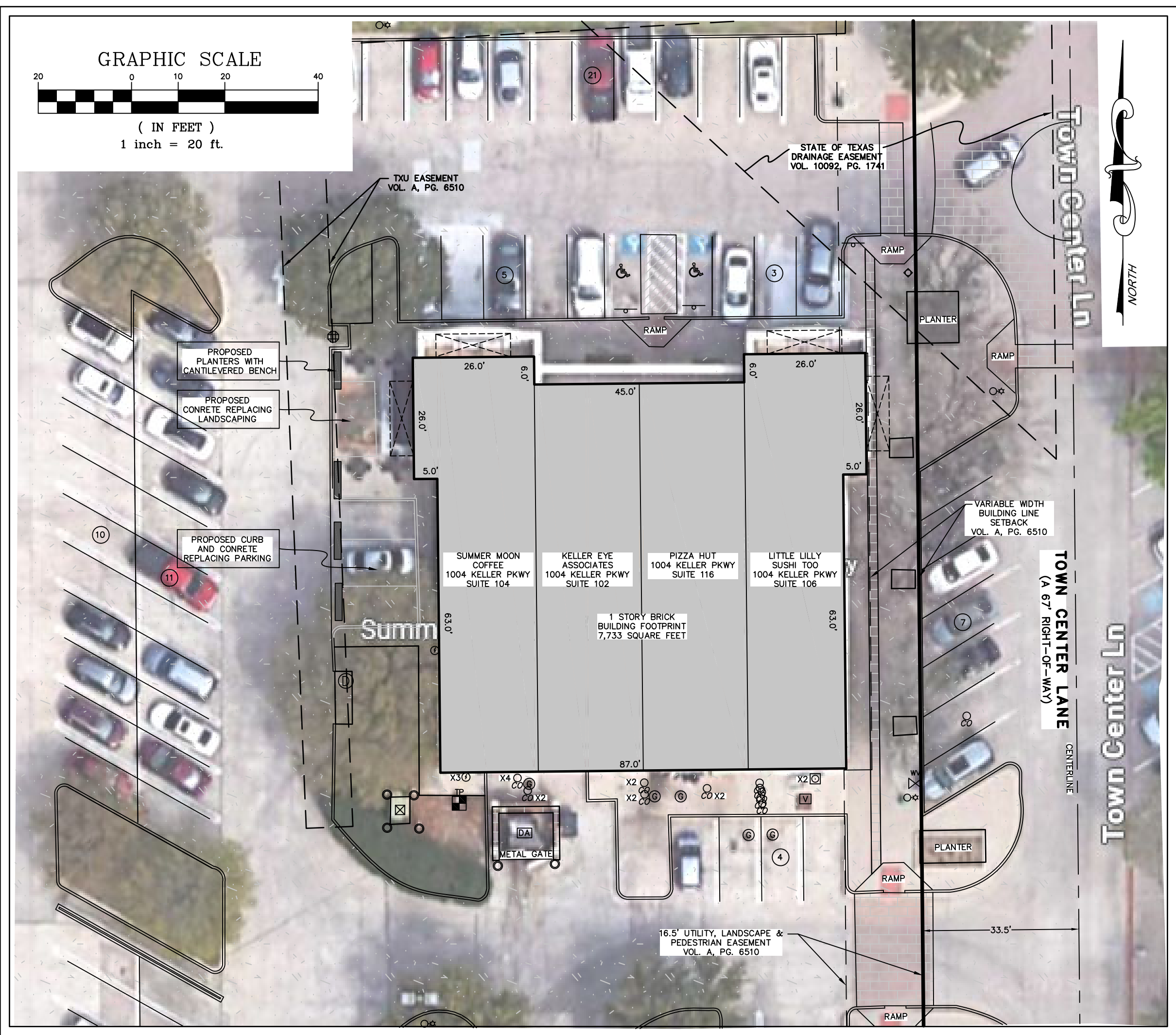


OVERALL BOUNDARY EXHIBIT  
1" = 50'



DETAIL OF IMPROVEMENTS FOR 1004 KELLER PARKWAY  
1" = 20'



SITE PLAN DATA SUMMARY TABLE		
ITEM	MINIMUM REQUIRED	PROVIDED
GENERAL SITE DATA		
ZONING (FROM ZONING MAP)		TC
LAND USE (FROM ZONING ORDINANCE; INCLUDE ALL APPLICABLE USES)		COMMUNITY RETAIL
TOTAL BUILDING AREA (SQUARE FEET)	6,000 SQFT	7,733 SQFT
BUILDING HEIGHT (FEET/# STORIES)	35- FEET/2 STORIES	1 STORY
PARKING SPACES 1 SPACE PER 150 SQ.FT. OF BUILDING SPACE	52 SPACES	56 SPACES
AREA REGULATIONS		
FRONT YARD	NONE	208 FT
REAR YARD	NONE	566 FT
SIDE YARD	NONE	11 FT

APPLICANT:  
SUMMER MOON COFFEE  
715 COMMERCE STREET  
SOUTH LAKE, TX 76092  
CONTACT: IAN REHMET  
817-983-1707  
IAN@SUMMERMOONDFW.COM

OWNER:  
GREG RICHARDSON  
1520 LOST LAKE DRIVE  
KELLER, TX 76248  
817-501-3727

SITE PLAN WITH AERIAL OVERLAY  
SUMMER MOON COFFEE  
1004 KELLER PARKWAY  
SUITE 104  
LOT 1R, BLOCK A, KELLER TOWN CENTER  
KELLER, TARRANT COUNTY, TEXAS  
BEING 11.856 ACRE (516,451 SQ. FT.) TRACT OF LAND IN  
THE PAMELA ALLEN SURVEY, ABSTRACT NO. 28  
ZONE: "TC" TOWN CENTER  
DATE OF PREPARATION: MAY 30, 2025

LEGEND

	GAS METER		FIRE HYDRANT		WATER MANHOLE		SIGN
	IRR. CONTROL VALVE		FUEL PORT		TELEPHONE MANHOLE		JUNCTION BOX
	TELEPHONE PEDESTAL		WATER VALVE		VERIZON MANHOLE		CONCRETE
	POWER POLE		TRANSFORMER PAD		GAS MANHOLE		BOLLARD
	DOWN GUY		ELECTRIC METER		VAULT		COVERED AREA
	S.S. MANHOLE		STORM DRAIN MANHOLE		HANDICAP SPACE		A/C PAD
	CLEAN OUT						

Errors: The Client or Client's Representatives will have 45 days from the date the survey was issued to change any misspellings or any errors on the survey report, after this time has expired all parties involved must accept the survey as issued.

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SITE PLAN

SUMMER MOON COFFEE

1004 KELLER PARKWAY, SUITE 104

KELLER, TEXAS 76248

NO.	DATE	REVISION
1.		
2.		
3.		

JOB NO.:	25-0512
DATE:	6/9/2025
FIELD DATE:	5/29/2025
SCALE:	
FIELD:	A.R.M.
DRAWN:	J.M.N.
CHECKED:	T.R.M.

PEISER & MANKIN SURVEYING, LLC  
www.peisersurveying.com

1612 HART STREET  
SUITE 201  
SOUTH LAKE, TEXAS 76092  
817-481-1806 (O)

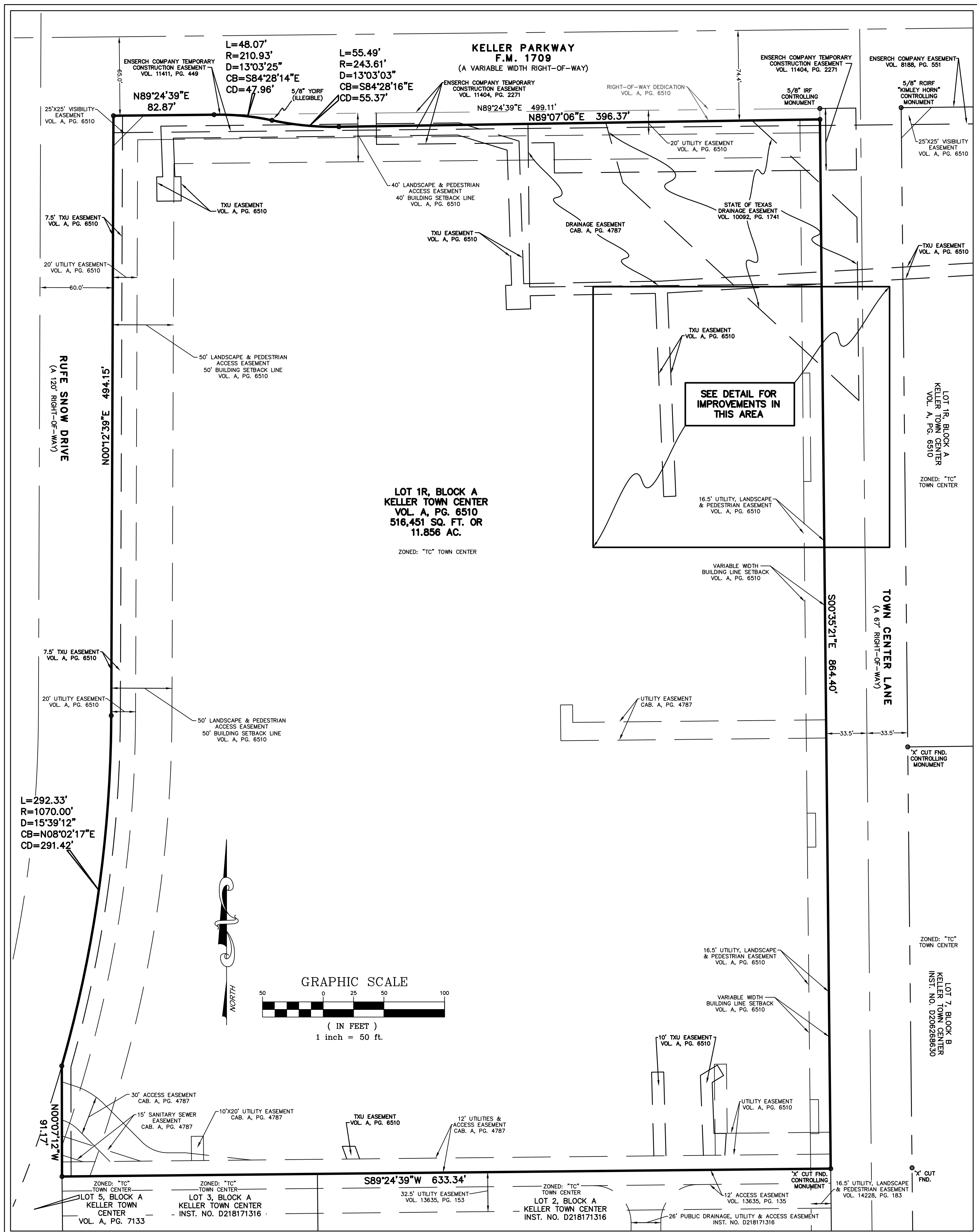
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RESIDENTIAL  
BOUNDARIES  
TOPOGRAPHY  
MORTGAGE



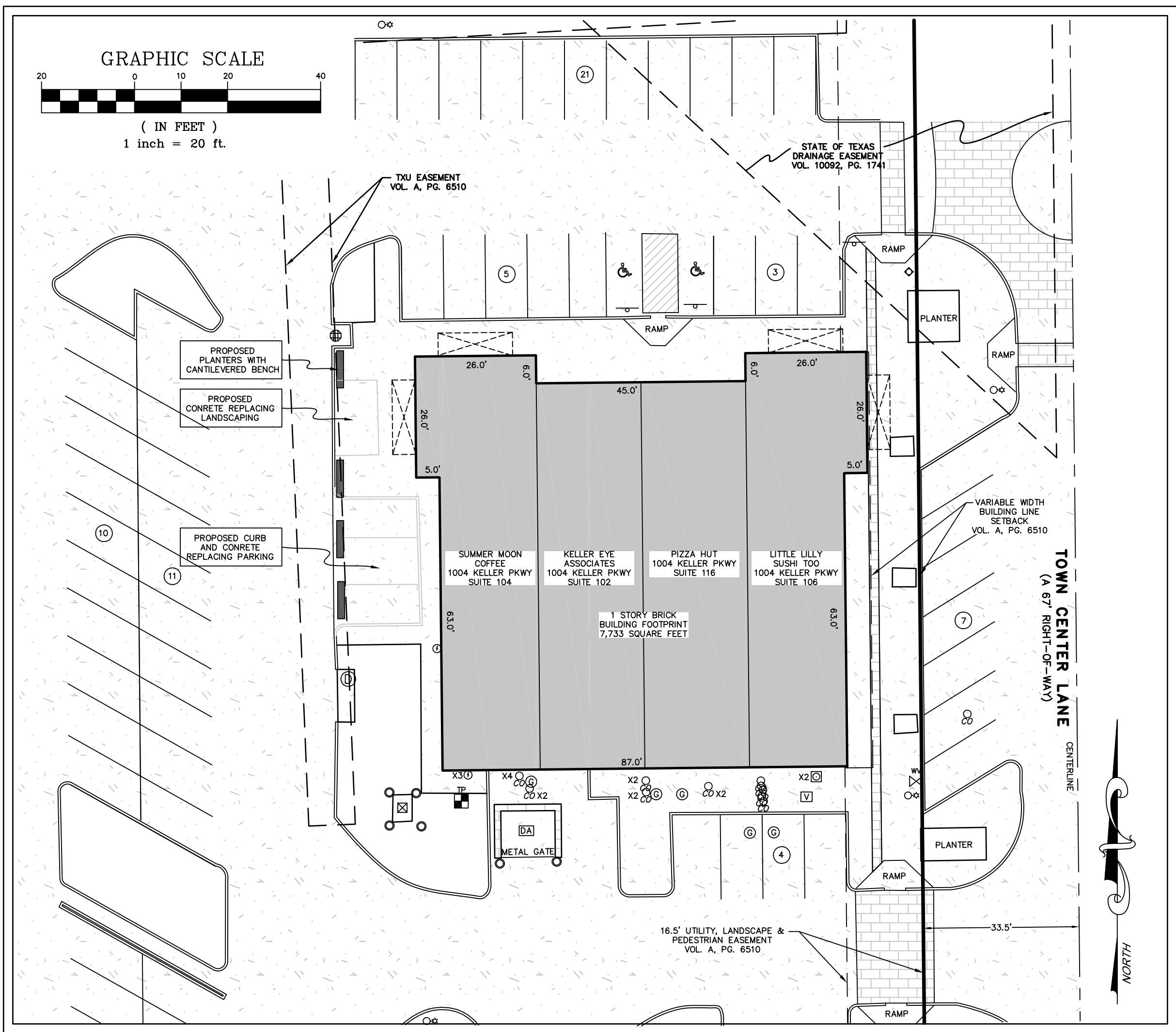
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OF  
1



OVERALL BOUNDARY EXHIBIT  
1" = 50'



DETAIL OF IMPROVEMENTS FOR 1004 KELLER PARKWAY  
1" = 20'



SITE PLAN DATA SUMMARY TABLE		
ITEM	MINIMUM REQUIRED	PROVIDED
GENERAL SITE DATA		
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OWNER:  
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1520 LOST LAKE DRIVE  
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817-501-3727

**SITE PLAN**  
**SUMMER MOON COFFEE**  
**1004 KELLER PARKWAY**  
**SUITE 104**  
**LOT 1R, BLOCK A, KELLER TOWN CENTER**  
KELLER, TARRANT COUNTY, TEXAS  
BEING 11.856 ACRE (516,451 SQ. FT.) TRACT OF LAND IN  
THE PAMELA ALLEN SURVEY, ABSTRACT NO. 28  
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LEGEND

	GAS METER		FIRE HYDRANT		WATER MANHOLE		SIGN
	IRR. CONTROL VALVE		FUEL PORT		TELEPHONE MANHOLE		LIGHT POLE
	TELEPHONE PEDESTAL		WATER VALVE		VERIZON MANHOLE		CONCRETE
	POWER POLE		TRANSFORMER PAD		GAS MANHOLE		BOLLARD
	DOWN GUY		ELECTRIC METER		VAULT		COVERED AREA
	S.S. MANHOLE		STORM DRAIN MANHOLE		HANDICAP SPACE		A/C PAD
	CLEAN OUT						

Errors: The Client or Client's Representatives will have 45 days from the date the survey was issued to change any misspellings or any errors on the survey report, after this time has expired all parties involved must accept the survey as issued.

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SITE PLAN

SUMMER MOON COFFEE

1004 KELLER PARKWAY, SUITE 104

KELLER, TEXAS 76248

NO.	DATE	REVISION
1.		
2.		
3.		

JOB NO.: 25-0512
DATE: 5/30/2025
FIELD DATE: 5/29/2025
SCALE:
FIELD: A.R.M.
DRAWN: J.M.N.
CHECKED: T.R.M.

**PEISER & MANKIN SURVEYING, LLC**  
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1612 HART STREET  
SUITE 201  
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817-461-1806 (O)



COMMERCIAL  
RESIDENTIAL  
BOUNDARIES  
TOPOGRAPHY  
MORTGAGE

TEXAS  
Society of  
Professional  
Surveyors

Member Since 1977

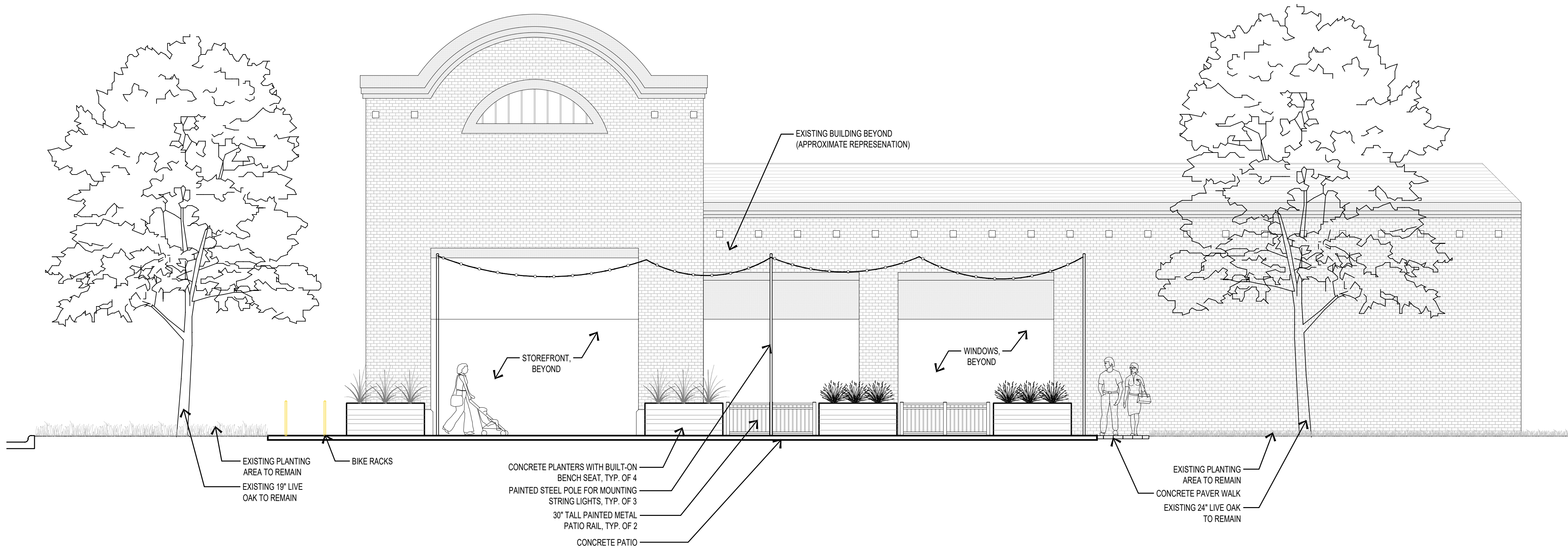
SHEET

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OF

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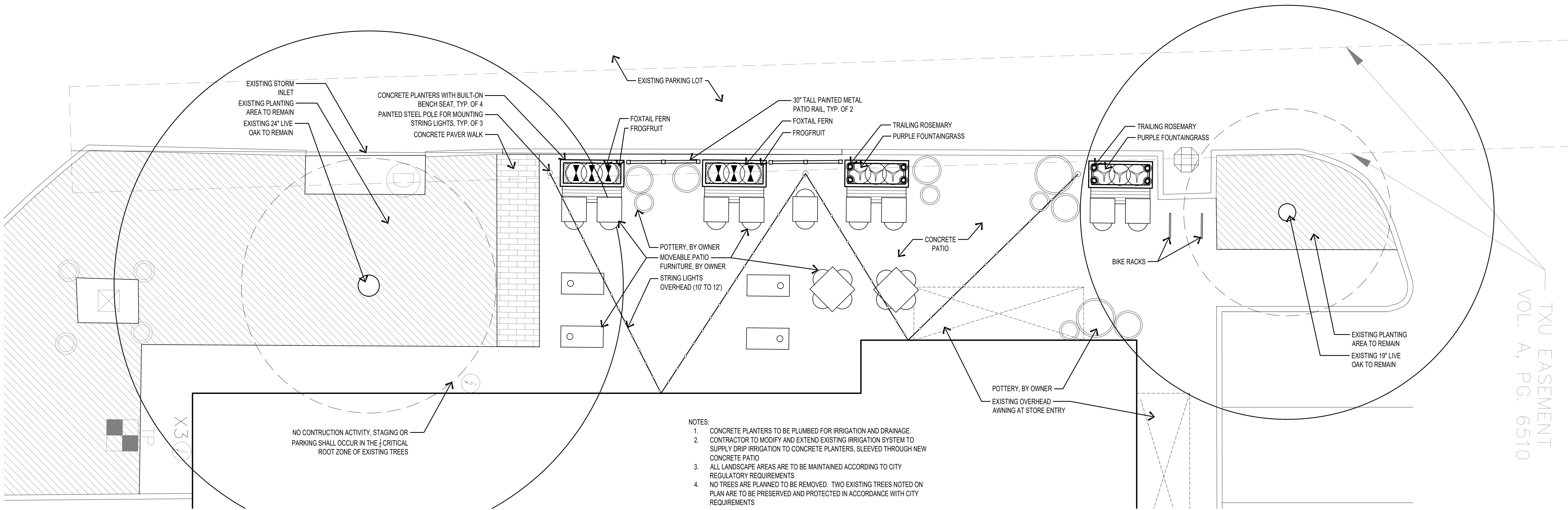
02 PATIO ELEVATION

PLAN Scale: 1"=5'

Shrubs / Perennials					
Callout	Symbol	Quantity	Common Name Botanical Name	SIZE	REMARKS
RE		17	Firecracker Fern <i>Russelia equisetiformis</i>	3/5 gal. 18" ht 18" sprd	Plant 36" o.c. Full
RP		5	Trailing Rosemary <i>Rosmarinus prostratus</i> 'Huntington Carpet'	1 gallon	12" o.c. full pot

Ornamental Grasses					
Callout	Symbol	Quantity	Common Name Botanical Name	SIZE	REMARKS
PSR		6	Purple Fountaingrass <i>Pennisetum setaceum</i> 'Rubrum'	3/5 gallon	30" o.c. full pot

Groundcover					
Callout	Symbol	Quantity	Common Name Botanical Name	SIZE	REMARKS
DA		78	Frogfruit <i>Phyla nodiflora</i>	4" pot 4" ht 8" sprd	(1 plant/s.f.)



- NOTES:
1. CONCRETE PLANTERS TO BE PLUMBED FOR IRRIGATION AND DRAINAGE. CONTRACTOR TO MODIFY AND EXTEND EXISTING IRRIGATION SYSTEM TO SUPPLY DRIP IRRIGATION TO CONCRETE PLANTERS, SLEEVED THROUGH NEW CONCRETE PATIO
  2. ALL LANDSCAPE AREAS ARE TO BE MAINTAINED ACCORDING TO CITY REGULATORY REQUIREMENTS
  3. NO TREES ARE PLANNED TO BE REMOVED. TWO EXISTING TREES NOTED ON PLAN ARE TO BE PRESERVED AND PROTECTED IN ACCORDANCE WITH CITY REQUIREMENTS

01 LANDSCAPE AND TREE PRESERVATION PLAN

PLAN Scale: 1"=5'

Summer Moon COFFEE

JW landscape architecture

Summer Moon Coffee  
Patio Expansion  
1004 Keller Parkway  
Suite 104  
Keller, TX 76248

project number: 25001

issue for:



June 23, 2025

sheet title:  
landscape plan

sheet number:

L 1.01