

Variance Request - March 19, 2024

Property:

1827 Highland Drive E
Lot 41, Highland Terrace Mobile Home Park

Owner/Applicant:

Maxim, LLC, A Texas Series Limited Liability Company – Series 2 Keller-Highland, An Individual Series
Mohammad J Rahman, Manager

Manager is submitting a Unified Development Code Application for a variance request on the lot noted above in the Highland Terrace Mobile Home Park. The specific variance requested is as follows:

- Reduce one of the Front Yard Setback to 20' in lieu of the 25' as per the supplemental regulations for both the Front Yard, for a corner lot.

The regulations demanded in the Supplemental Regulations 9.11 would be good for larger corner lots. Lot 41 is only approximately 8106sf and is burdened with a severe hardship when forced to comply with those regulations.

Approval of this variance will go a long way to alleviate the hardships imposed by the above regulation.

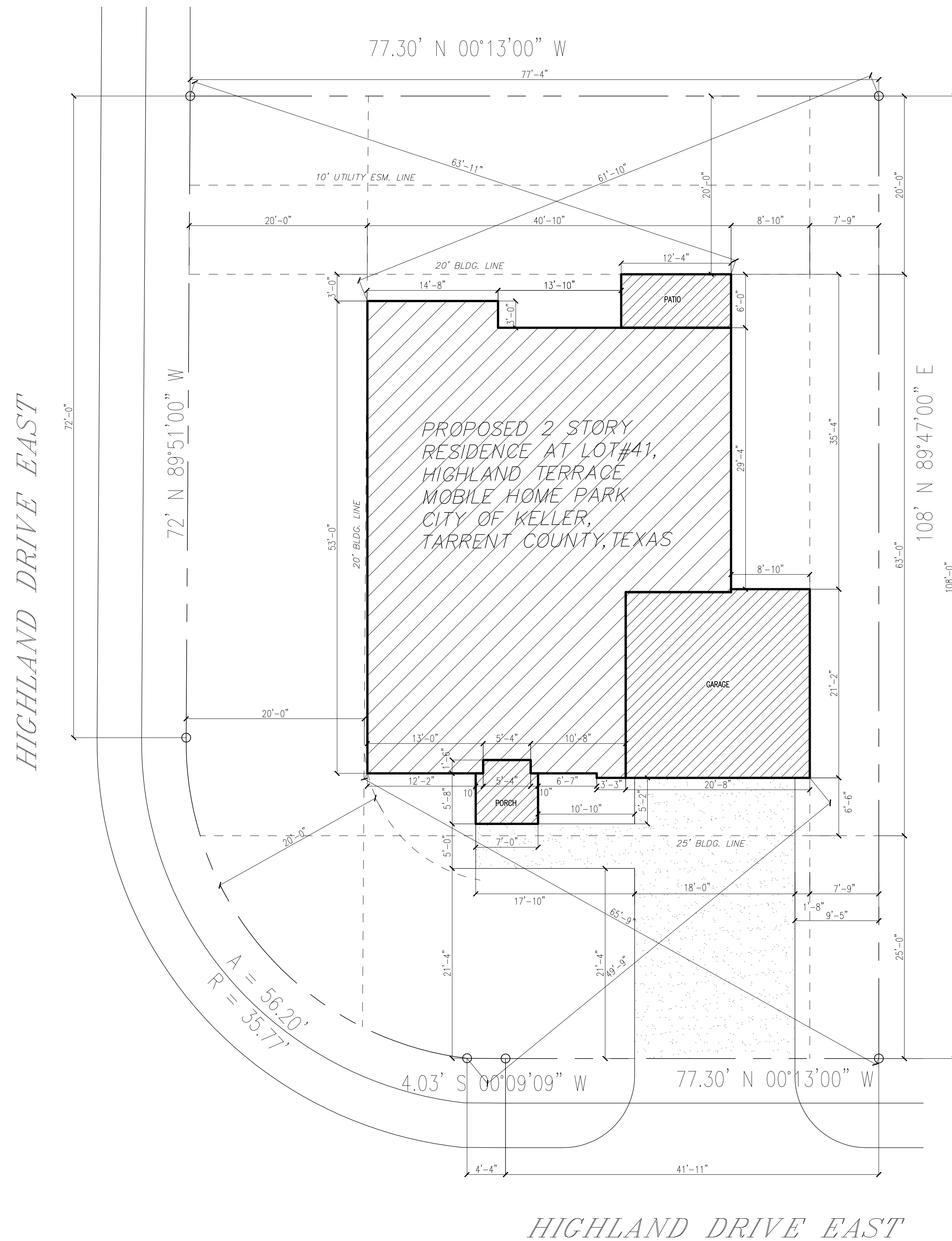
Respectfully,

/*Mohammad J Rahman*/

Maxim, LLC, A Texas Series Limited Liability Company – Series 2 Keller-Highland, An Individual Series



AREAS	IN SQUARE FEET
FIRST FLOOR	1839
SECOND FLOOR	1178
TOTAL A/C	3017
PORCH	53
GARAGE	437
PATIO	74
TOTAL UNDER ROOF	3581
LOT SIZE	8115
BUILDING FOOTPRINT	
1839(G.FLOOR)+53(PORCH)	
+437(GARAGE)+74(PATIO)	2403
	30% OF LOT AREA
LOT COVERAGE	
2403(BUILDING FOOT PRINT)	
+656(DRIVE WAY&WALKWAY)	3059
	38% OF LOT AREA



DEVELOPER
MAXIM SERIES2 LLC.
12851 ODESSA DRIVE
FRISCO, TEXAS 75035
PHONE: 9723520102

DESIGN
XANADU DESIGN
SOLUTIONS LLC.
PHONE: 2147633441

CONSTRUCTION PLANS FOR
RESIDENCE AT LOT#41
LOT-41, 1827 HIGHLAND DRIVE EAST,
HIGHLAND TERRACE MOBILE HOME PARK,
CITY OF KELLER, TARRANT COUNTY, TEXAS

Owner's Statement:

The Owner has reviewed
and approved this plan
for construction.

(Signature on File)

ISSUE DATE: APR 03, 2024

DRAWING TITLE :

SITE PLAN

SHEET NO.

A1-0