

VARIANCE TO THE UNIFIED DEVELOPMENT CODE (UDC) APPLICATION

SECTION 1. APPLICANT/OWNER INFORMATION Please Print or Type

Applicant/Developer: Mukesh Goyal
Street Address: 6963 CHACO TRAIL
City: Ft Worth State: TX Zip: 76137
Telephone: 682-760-8374 Fax: _____ E-mail: esgoyal83@gmail.com
Applicant's Status: (Check One) Owner Tenant Prospective Buyer

Property Owner must sign the application or submit a notarized letter of authorization.

Owner: Mukesh Goyal
Street Address: 6963 CHACO TRAIL
City: Ft Worth State: TX Zip: 76137
Telephone: 682-760-8374 Fax: _____ E-mail: esgoyal83@gmail.com

Mukesh Goyal
Signature of Applicant
Date: Dec 20, 2021

Mukesh Goyal Mukesh Goyal
Signature of Owner Printed Name of Owner
Date: Dec 20, 2021

SECTION 2. VARIANCE REQUEST(S) INFORMATION

Address or Legal Description: 1844 Highland Terrace E. Keller 76262
Lot(s): 28 Block(s): _____ Subdivision Name: Highland Terrace

Justification for Requested Variance(s): The 35' setback is a regulation appropriate for lots larger than our 7020 sq. This forces my home to the very back edge of building pad causing an unattractive 'looming' effect upon our neighbors. Approval of this variance will promote better home design and better living space for my lot and adjoining lots

A detailed letter of justification and/or exhibits shall accompany this application.
One or more variances can be requested with this application.

REC'D DEC 20 2021



GENERAL NOTES

- THE DRAWINGS AND SPECIFICATIONS DESCRIBE THE COMPLETE PROJECT TO BE CONSTRUCTED BUT DO NOT DESCRIBE EVERY CONDITION. THE GENERAL CONTRACTOR IS REQUIRED TO BE THOROUGHLY FAMILIAR WITH THE PROJECT AND CONTRACT DOCUMENTS AND IS REQUIRED TO NOTE ANY DISCREPANCIES OR OMISSIONS OF STANDARD CONSTRUCTION PRACTICES IN THE DRAWINGS, SPECIFICATIONS, SITE, EXISTING CONDITIONS, UTILITIES, AND LOCAL BUILDING CODES AND REPORT THEM TO THE OWNER FOR RESOLUTION PRIOR TO SIGNING THE CONSTRUCTION CONTRACT. FAILURE TO DO SO SHALL PLACE THE BURDEN OF ANY ADDITIONAL COSTS, BECAUSE OF SUCH DISCREPANCIES OR OMISSIONS, UPON THE GENERAL CONTRACTOR. ADDITIONAL WORK REQUIRED BY THE DESIGNER OR OWNER AFTER THE START OF CONSTRUCTION SHALL NOT BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- RESPONSIBILITY OF CONTRACTORS: EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HIS WORK OF EVERY DESCRIPTION, AND IN CONNECTION WITH HIS CONTRACT. HE SHALL SPECIFICALLY AND DISTINCTLY ASSUME AND DOES SO ASSUME ALL RISKS FOR DAMAGE OR INJURY FROM WHATEVER CAUSE TO PROPERTY OR PERSONS OR PROPERTY WHEREVER LOCATED, RESULTING FROM ANY ACTION OR OPERATION UNDER THE CONTRACT OR IN CONNECTION WITH HIS WORK. EACH CONTRACTOR WILL BE HELD RESPONSIBLE FOR EXECUTION OF A SATISFACTORY AND COMPLETE PIECE OF WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS AND ANY BULLETINS WHICH MAY BE ISSUED DURING THE TIME OF BIDDING.
- THE GENERAL CONTRACTOR SHALL VERIFY SIZE, LOCATION AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT SUPPLIED BY THE OWNER OR OTHERS, WITH THE MANUFACTURER OR SUPPLIER PRIOR TO THE START OF RELATED WORK.
- ALL SUBSTITUTIONS REQUESTED BY THE GENERAL CONTRACTOR MUST BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE DONE TO OWNER'S PROPERTY BY PERSONS IN HIS EMPLOY OR IN THE EMPLOY OF HIS SUBCONTRACTORS.
- THE GENERAL CONTRACTOR SHALL KEEP ONE (1) SET OF PLANS AT THE JOBSITE FOR THE SPECIFIC PURPOSE OF RECORDING ACTUAL CONSTRUCTION CONDITIONS. SUCH "PROJECT RECORD" DOCUMENTS SHALL BE PROVIDED TO THE OWNER UPON THE COMPLETION OF THE PROJECT.
- THE GENERAL CONTRACTOR SHALL SEE THAT ALL SUBCONTRACTORS RECEIVE COMPLETE SETS OF WORKING DRAWINGS OR ASSUME FULL RESPONSIBILITY FOR COORDINATION.
- CONTRACTOR SHALL COMPLETE ALL WORK IN A NEAT AND WORKMANLIKE MANNER, IN COMPLIANCE WITH ALL STATE, NATIONAL OR LOCAL CODES, AND SECURE THE NECESSARY PERMITS AND GREEN TAGS.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY ELECTRICAL SERVICE, WATER, TELEPHONE SERVICE, AND TOILET FACILITIES AS REQUIRED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN THE PREMISES IN A CLEAN AND ORDERLY MANNER DURING THE ENTIRE CONSTRUCTION PERIOD, REMOVING ALL TRASH AND DEBRIS ON A REGULAR BASIS.
- THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH ALL PERTINENT OPERATION, MAINTENANCE AND WARRANTY INFORMATION AT THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE WORK UNDER SEPARATE CONTRACTS TO PROVIDE THE PROPER INSTALLATION AND OPERATION OF SYSTEMS AND EQUIPMENT FURNISHED AND INSTALLED UNDER SEPARATE CONTRACTS.
- CONTRACTOR SHALL SUBMIT TO OWNERS SHOP DRAWINGS (SCALED) ON CUSTOM CABINETS AND MILLWORK FOR REVIEW.

BID SET CHECK SET

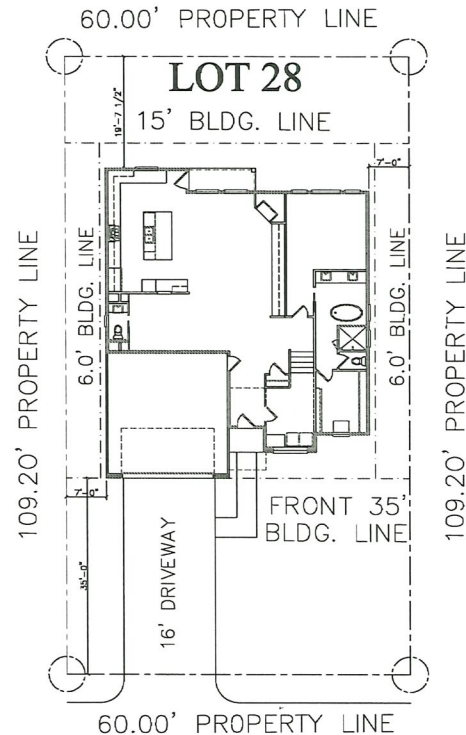
GOYAL RESIDENCE
1844 HIGHLAND DRIVE EAST
KELLER, TEXAS
LOT 28
76262

BID SET CHECK SET
CONTACT: MUKESH GOYAL

ISSUE DATE: 10-22-21
CHECK SET

PLAN NAME:

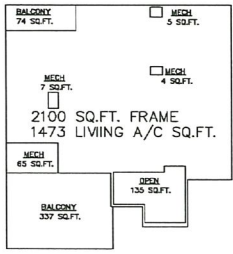
SHEET NO.: A0



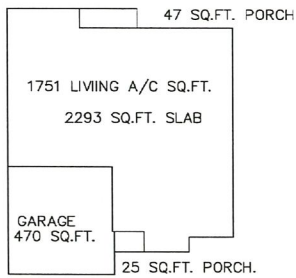
HIGHLAND TERRACE EAST

(S) SITE PLAN
SCALE 1" = 10'

ZONING SF-36
35% ALLOWABLE LOT COVERAGE
LOT AREA = 6552 SQ.FT.
35% OF 6552 = 2293 SQ.FT.
SLAB AREA = 2293 SQ.FT. = 35%
ALLOWABLE LOT COVERAGE 50%
DRIVE/SIDEWALK = 630 SQ.FT.
TOTAL COVERAGE = 2923 SQ.FT.
50% OF 6540 = 3270 SQ.FT.



(A2) AREA - UPPER FLOOR PLAN
NO SCALE



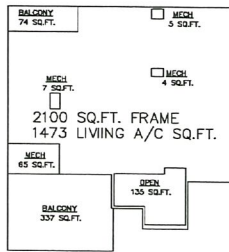
(A1) AREA - LOWER FLOOR PLAN
NO SCALE

1751 LIVING A/C SQ.FT.
1473 LIVING A/C SQ.FT.
3224 LIVING A/C SQ.FT.

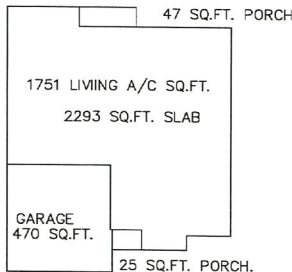
DRAWING INDEX

SHEET A0	SITE PLAN GENERAL NOTES
SHEET A1	LOWER FLOOR PLAN SCHEDULES
SHEET 2	UPPER FLOOR PLAN SCHEDULES TYP WALL SECTION
SHEET A3	EXTERIOR ELEVATIONS
SHEET A4	ELECTRICAL PLANS
SHEET A5	ROOF PLAN

AREA TOTALS	
LOWER FLOOR LIVING A/C	1751 SQ.FT.
UPPER FLOOR LIVING A/C	1473 SQ.FT.
TOTAL A/C	3224 SQ.FT.
GARAGE	470 SQ.FT.
FRONT PORCH	25 SQ.FT.
REAR PORCH	47 SQ.FT.
FRONT BALCONY	337 SQ.FT.
REAR BALCONY	74 SQ.FT.
MECHANICAL ROOM	65 SQ.FT.
TOTAL SLAB	2293 SQ.FT.

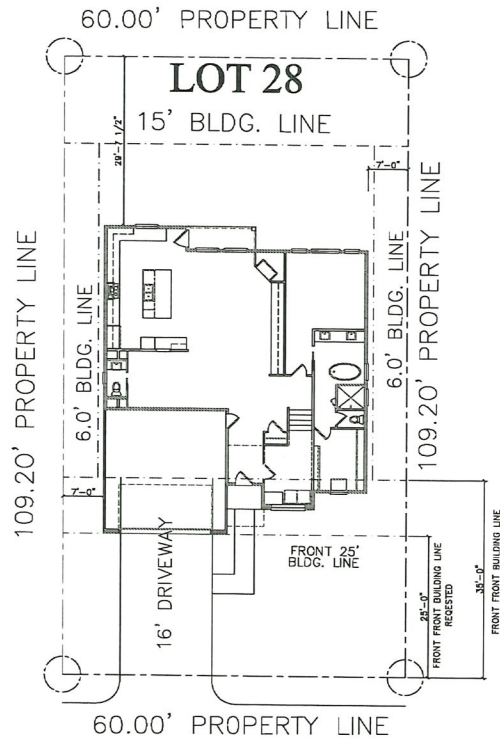


A2 AREA - UPPER FLOOR PLAN
NO SCALE



A1 AREA - LOWER FLOOR PLAN
NO SCALE

1751 LIVING A/C SQ.FT.
 1473 LIVING A/C SQ.FT.
 3224 LIVING A/C SQ.FT.



HIGHLAND TERRACE EAST

S SITE PLAN
SCALE 1" = 10'

ZONING SF-36
35% ALLOWABLE LOT COVERAGE
LOT AREA = 6552 SQ.FT.
35% OF 6552 = 2293 SQ.FT.
SLAB AREA = 2293 SQ.FT. = 35%
ALLOWABLE LOT COVERAGE 50%
DRIVE/SIDEWALK = 630 SQ.FT.
TOTAL COVERAGE = 2923 SQ.FT.
50% OF 6540 = 3270 SQ.FT.

GENERAL NOTES

- THE DRAWINGS AND SPECIFICATIONS DESCRIBE THE COMPLETE PROJECT TO BE CONSTRUCTED BUT DO NOT DESCRIBE EVERY CONDITION. THE GENERAL CONTRACTOR IS REQUIRED TO BE THOROUGHLY FAMILIAR WITH THE PROJECT AND CONTRACT DOCUMENTS AND IS REQUIRED TO NOTE ANY DISCREPANCIES OR OMISSIONS OF STANDARD CONSTRUCTION PRACTICES IN THE DRAWINGS, SPECIFICATIONS, SITE, EXISTING CONDITIONS, UTILITIES, AND LOCAL BUILDING CODES AND REPORT THEM TO THE OWNER FOR RESOLUTION PRIOR TO SIGNING THE CONSTRUCTION CONTRACT. FAILURE TO DO SO SHALL PLACE THE BURDEN OF ANY ADDITIONAL COSTS, BECAUSE OF SUCH DISCREPANCIES OR OMISSIONS, UPON THE GENERAL CONTRACTOR. ADDITIONAL WORK REQUIRED BY THE DESIGNER OR OWNER AFTER THE START OF CONSTRUCTION SHALL NOT BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- RESPONSIBILITY OF CONTRACTORS: EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HIS WORK OF EVERY DESCRIPTION AND IN CONNECTION WITH HIS CONTRACT. HE SHALL SPECIFICALLY AND DISTINCTLY ASSUME AND DOES SO ASSUME ALL RISKS FOR DAMAGE OR INJURY FROM WHATEVER CAUSE TO PROPERTY OR PERSONS OR PROPERTY WHEREVER LOCATED, RESULTING FROM ANY ACTION OR OPERATION UNDER THE CONTRACT OR IN CONNECTION WITH HIS WORK. EACH CONTRACTOR WILL BE HELD RESPONSIBLE FOR EXECUTION OF A SATISFACTORY AND COMPLETE PIECE OF WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS AND ANY ORDINANCES WHICH MAY BE ISSUED DURING THE TIME OF BIDDING.
- THE GENERAL CONTRACTOR SHALL VERIFY SIZE, LOCATION AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT SUPPLIED BY THE OWNER OR OTHERS, WITH THE MANUFACTURER OR SUPPLIER PRIOR TO THE START OF RELATED WORK.
- ALL SUBSTITUTIONS REQUESTED BY THE GENERAL CONTRACTOR MUST BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE DONE TO OWNER'S PROPERTY BY PERSONS IN HIS EMPLOY OR IN THE EMPLOY OF HIS SUBCONTRACTORS.
- THE GENERAL CONTRACTOR SHALL KEEP ONE (1) SET OF PLANS AT THE JOBSITE FOR THE SPECIFIC PURPOSE OF RECORDING ACTUAL CONSTRUCTION CONDITIONS. SUCH "PROJECT RECORD" DOCUMENTS SHALL BE PROVIDED TO THE OWNER UPON THE COMPLETION OF THE PROJECT.
- THE GENERAL CONTRACTOR SHALL SEE THAT ALL SUBCONTRACTORS RECEIVE COMPLETE SETS OF WORKING DRAWINGS OR ASSUME FULL RESPONSIBILITY FOR COORDINATION.
- CONTRACTOR SHALL COMPLETE ALL WORK IN A NEAT AND WORKMANLIKE MANNER, IN COMPLIANCE WITH ALL STATE, NATIONAL OR LOCAL CODES, AND SECURE THE NECESSARY PERMITS AND "GREEN TAGS."
- THE CONTRACTOR SHALL PROVIDE TEMPORARY ELECTRICAL SERVICE, WATER, TELEPHONE SERVICE, AND TOILET FACILITIES AS REQUIRED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN THE PREMISES IN A CLEAN AND ORDERLY MANNER DURING THE ENTIRE CONSTRUCTION PERIOD, REMOVING ALL TRASH AND DEBRIS ON A REGULAR BASIS.
- THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH ALL PERTINENT OPERATION, MAINTENANCE AND WARRANTY INFORMATION AT THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE WORK UNDER SEPARATE CONTRACTS TO PROVIDE THE PROPER INSTALLATION AND OPERATION OF SYSTEMS AND EQUIPMENT FURNISHED AND INSTALLED UNDER SEPARATE CONTRACTS.
- CONTRACTOR SHALL SUBMIT TO OWNERS SHOP DRAWINGS (SCHEDULED) ON CUSTOM CABINETS AND MILLWORK FOR REVIEW.

DRAWING INDEX	
SHEET A0	SITE PLAN GENERAL NOTES
SHEET A1	LOWER FLOOR PLAN SCHEDULES
SHEET 2	UPPER FLOOR PLAN SCHEDULES TYP WALL SECTION
SHEET A3	EXTERIOR ELEVATIONS
SHEET A4	ELECTRICAL PLANS
SHEET A5	ROOF PLAN

AREA TOTALS	
LOWER FLOOR LIVING A/C	1751 SQ.FT.
UPPER FLOOR LIVING A/C	1473 SQ.FT.
TOTAL A/C	3224 SQ.FT.
GARAGE	470 SQ.FT.
FRONT PORCH	25 SQ.FT.
REAR PORCH	47 SQ.FT.
FRONT BALCONY	337 SQ.FT.
REAR BALCONY	74 SQ.FT.
MECHANICAL ROOM	65 SQ.FT.
TOTAL SLAB	2293 SQ.FT.

CHECK SET
12 10 21

GOYAL RESIDENCE
1844 HIGHLAND DRIVE EAST
LOT 28
KELLER, TEXAS 76262

CHECK SET
12 10 21
CONTACT: MUKESH GOYAL

ISSUE DATE: 12-10-21
CHECK SET

PLAN NAME:

SHEET NO.:
A0