

Item I-2

PUBLIC HEARING: Consider an ordinance approving three Specific Use Permits (SUPs) for an approximately 3,160 square-foot accessory structure with an average height of 17.5 feet, on approximately 1 acre, approximately 1,000 feet northwest from the intersection of Rhonda Road and Ledara Lane, legally described as Lot 9, Block 3 of the Country Place Estates Addition, zoned Single-Family 36,000 square-foot lot size or greater (SF-36) and addressed 805 Ledara Lane. Bryce Wolf, Applicant. William Powell, Owner. (SUP-23-0011)



Zoned: SF-36

Item I-2 Aerial Map



Item I-2 Zoning Map



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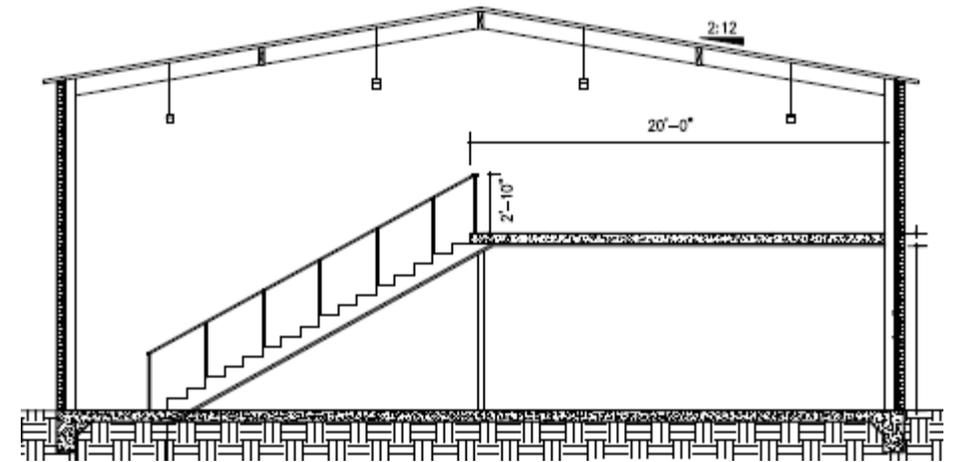
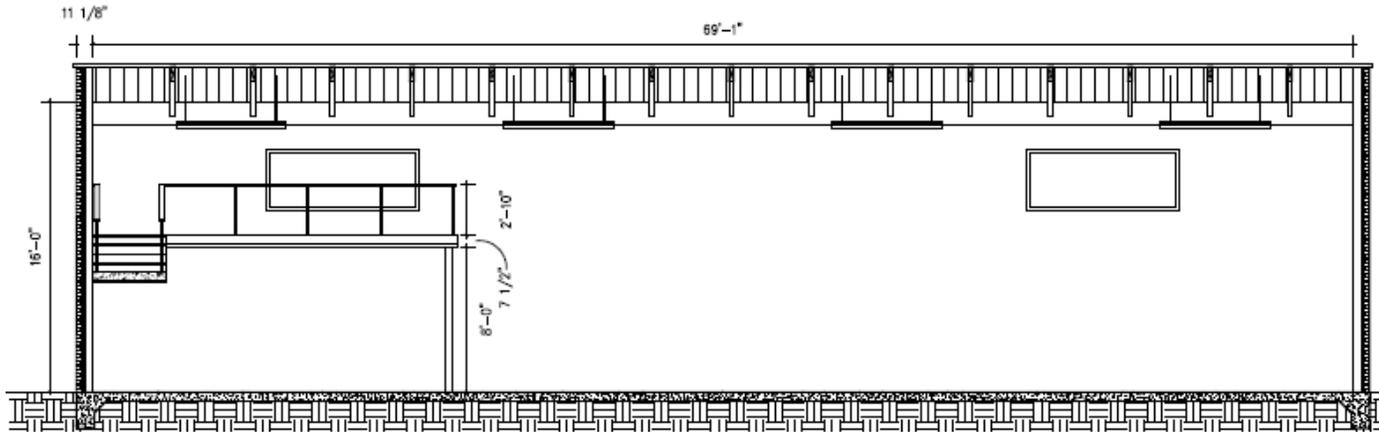
Background:

The Owner requests three Specific Use Permits to construct a 3,160-square-foot accessory structure (including a 360-square-foot mezzanine) to house lawn equipment, hobby supplies and a recreational vehicle.



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Because the building exceeds the 1,200-square-foot accessory structure size permitted in SF-36 zoning, is more than 15 feet tall on average, and larger than 50% of the square footage of the existing home (2,333 square feet), three SUPs are required.



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Site Design:

The proposed structure will conform to all setback requirements of the SF-36 zoning district, and sit about 30 feet behind the main structure. The Owner intends to pour a new concrete drive and add landscaping in front of the building.

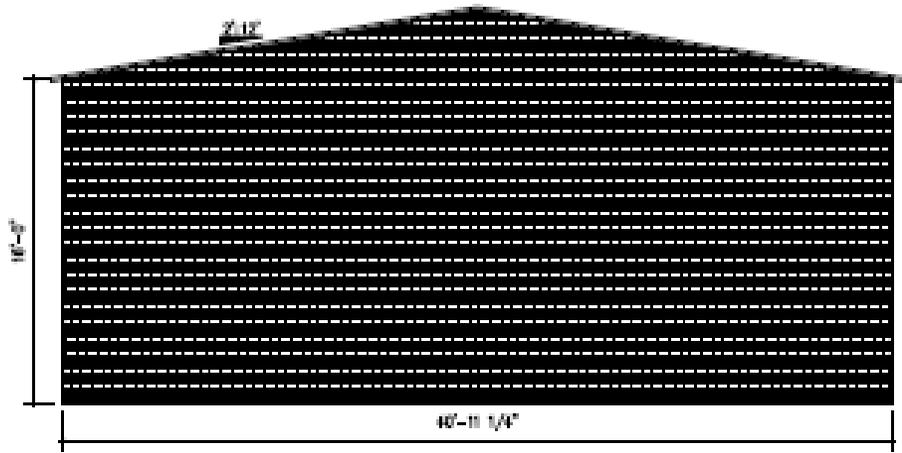
 Proposed location – Not to scale



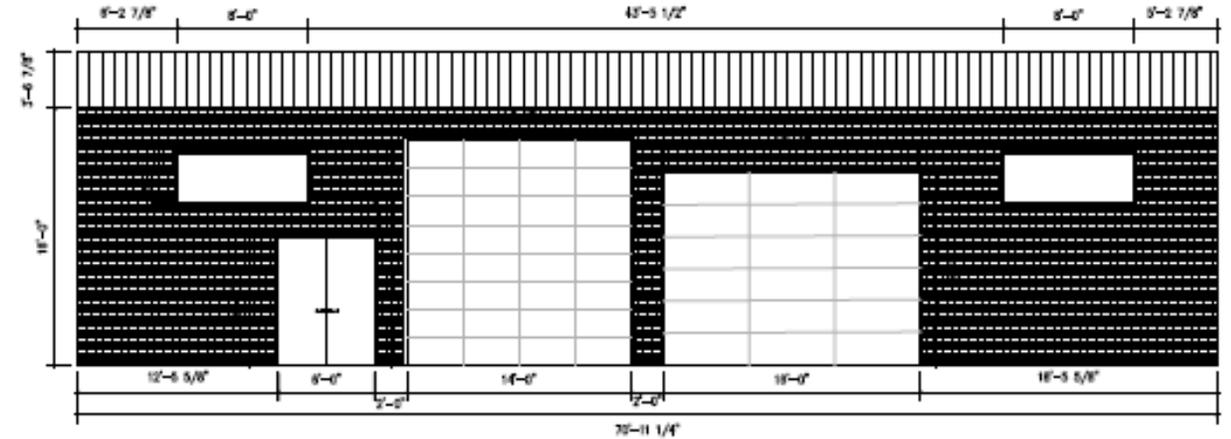
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Elevations:

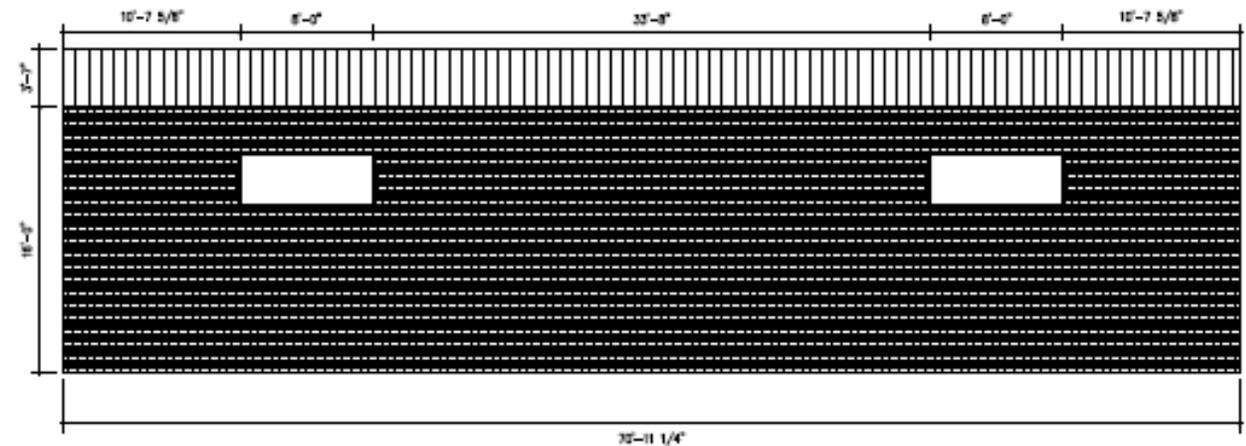
The structure will be constructed with metal framing and a metal roof. At least 80% of the exterior will have masonry. All building materials and colors will complement the existing home.



East/West Elevations



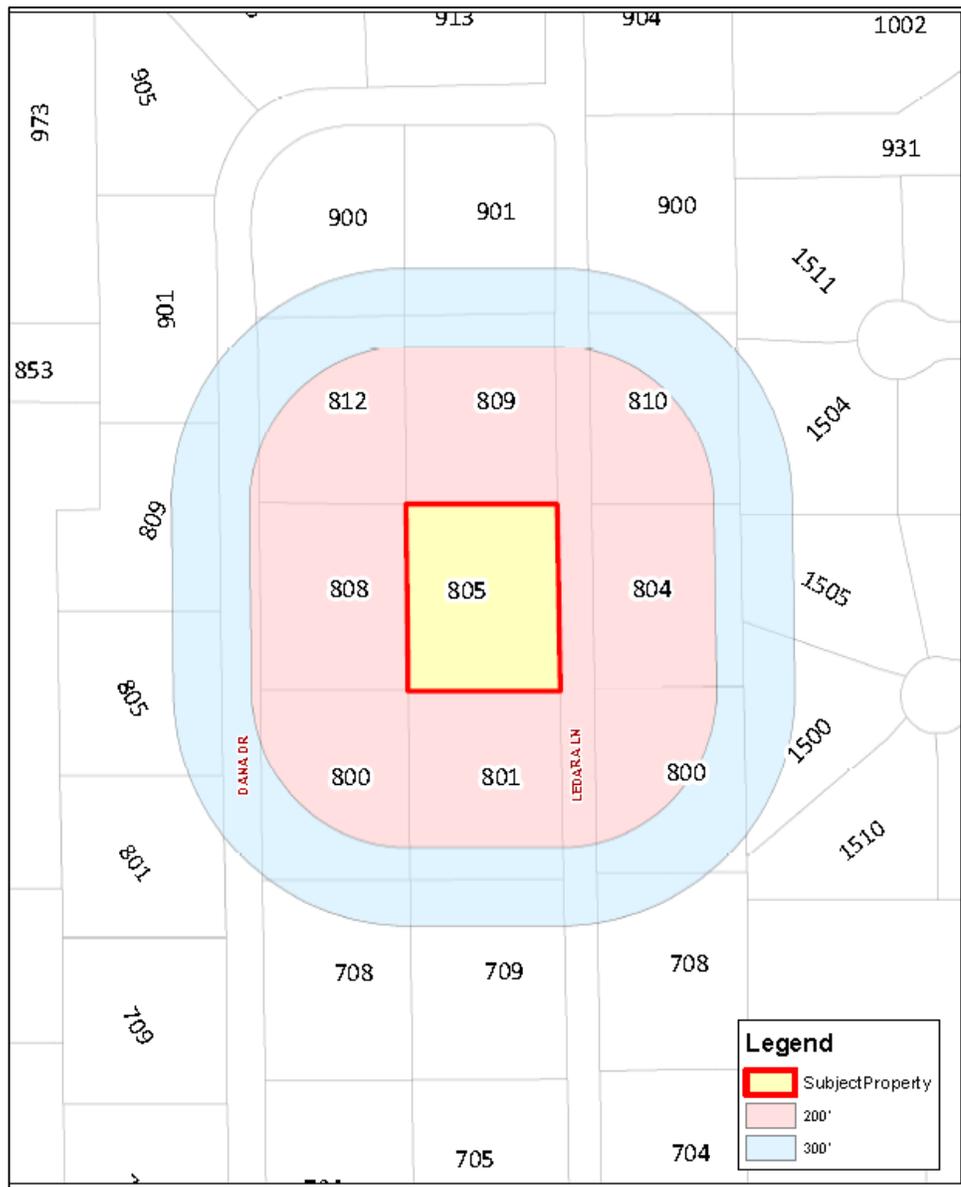
South Elevation



North Elevation

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- On April 13, 2023 the City mailed 23 Letters of Notification for this public hearing to all property owners within three-hundred feet (300') of the property. A public hearing notice sign was also posted on the site.
- Staff has not received any public feedback.
- The Owner provided a list of all eight adjacent property owners' signatures, stating they had no concerns with the proposed structure.



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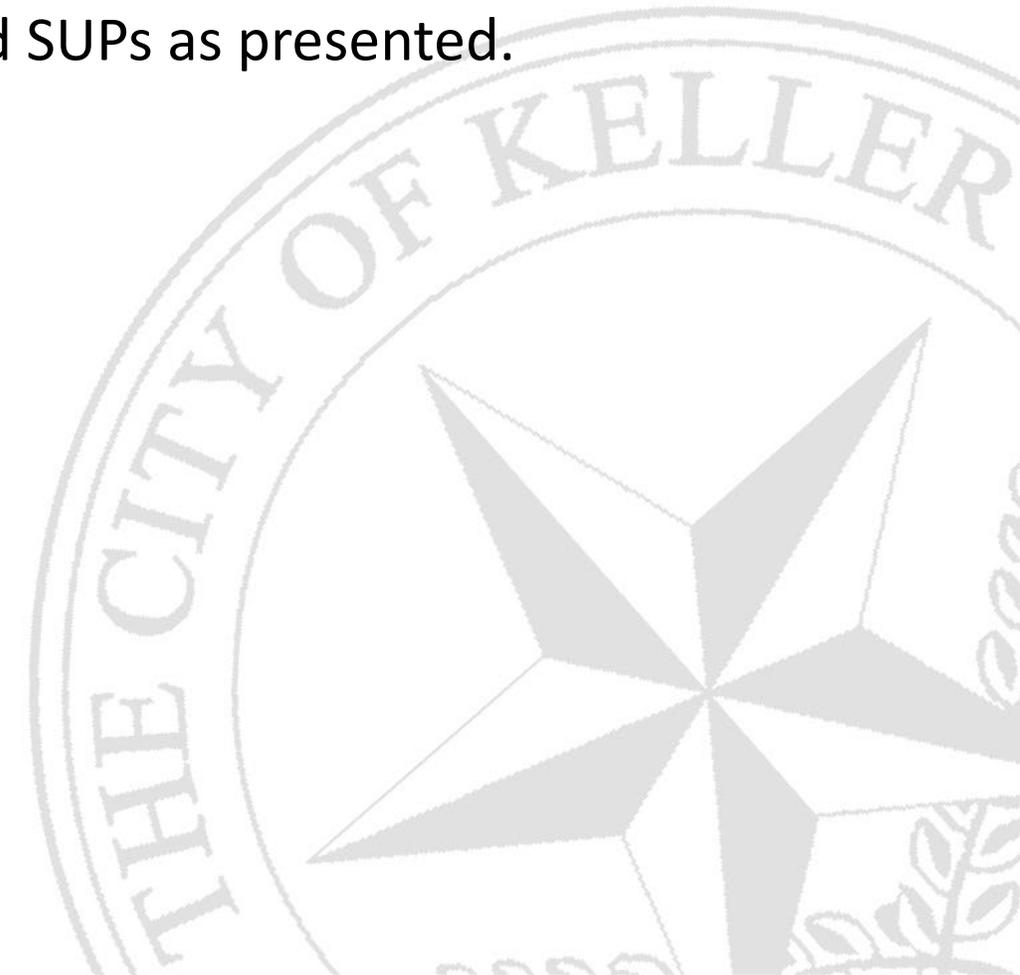
Section 8.02 (F)(2)(a) of the UDC states that when considering an SUP request, the City Council shall consider the following factors:

- 1) The use is harmonious and compatible with surrounding existing uses or proposed uses;
- 2) The activities requested by the applicant are normally associated with the permitted uses in the base district;
- 3) The nature of the use is reasonable and appropriate in the immediate area;
- 4) Any negative impact on the surrounding area has been mitigated; and
- 5) That any additional conditions specified ensure that the intent of the district purposes are being upheld.

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Planning and Zoning Commission Recommendation:

At the April 25, 2023 Planning and Zoning Commission meeting, Commissioners unanimously recommended approval of the requested SUPs as presented.



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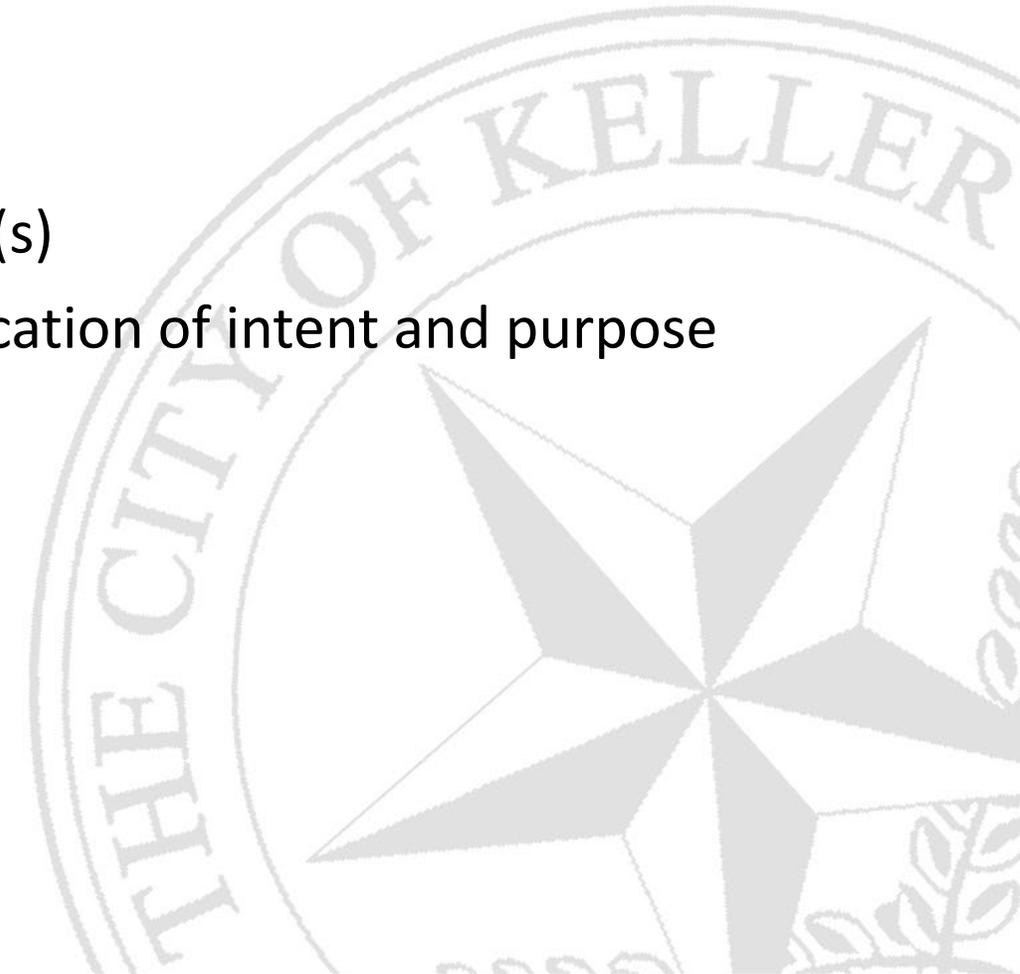
SUP Requests:

1. To construct an approximately 3,160-square-foot accessory structure in the SF-36 zoning district.
2. To construct an accessory structure with an average height of 17.5’.
3. To construct an accessory structure that exceeds 50% of the square-footage of the existing home.

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The City Council has the following options when considering a Specific Use Permit (SUP) request:

- Approve as submitted
- Approve with modifications or additional condition(s)
- Table the agenda item to a specific date with clarification of intent and purpose
- Deny





Questions?
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