

PATIO COVER

GENERAL DESCRIPTION

JURISDICTION: CITY OF KELLER, TX

APPLICABLE CODES:

2021 INTERNATIONAL RESIDENTIAL CODE W/ CITY AMENDMENTS

DESCRIPTION:

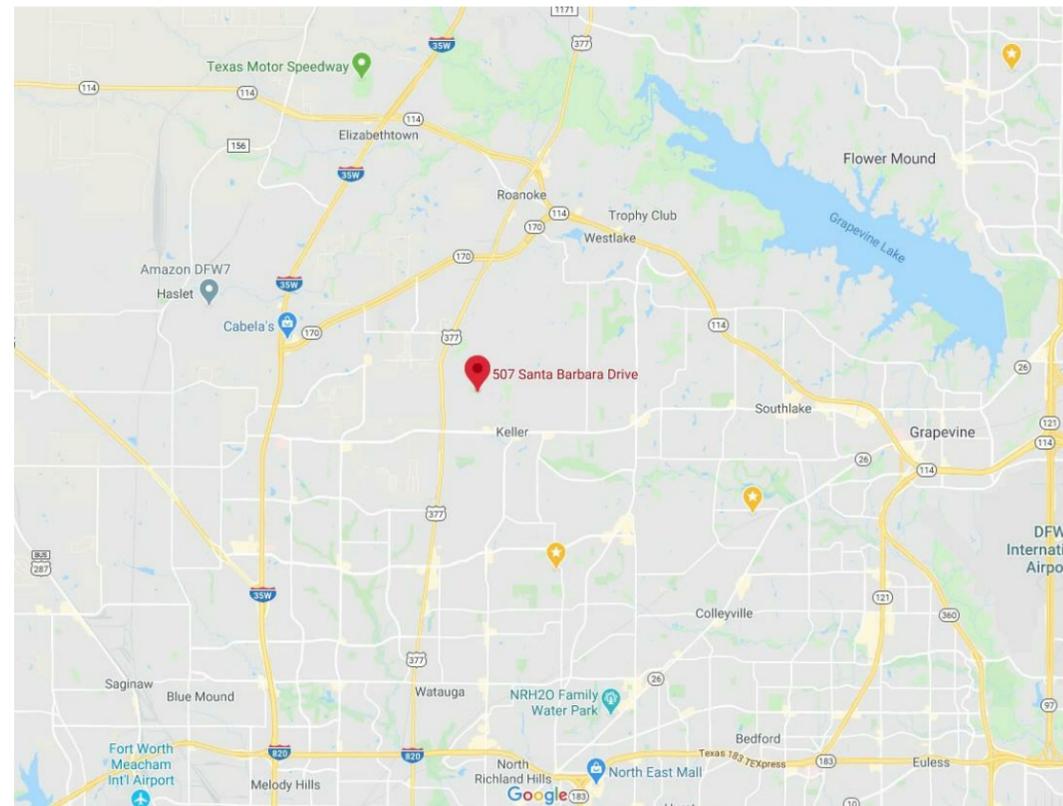
12 FT X 22.5 FT PATIO COVER EXTENSION . CEDAR MEMBERS WITH COMPOSITION SHINGLES ROOFING TO MATCH EXISTING. CEILING TO BE T1-11

SQ. FOOTAGE= 270 SQ. FT.

507 Santa Barbara Dr
Keller, TX 76248



Know what's below.
Call before you dig.



VICINITY MAP



BARRON SERVICES LLC
600 W 6TH ST SUITE 400
FORT WORTH, TX 76102
(817) 233 5500
barronservices2005@outlook.com

PROJECT: PATIO COVER EXTENSION
CONTACT: CHARLES BINZ
ADDRESS: 507 SANTA BARBARA DR
KELLER, TX. 76248

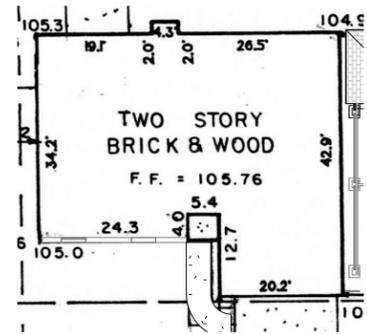
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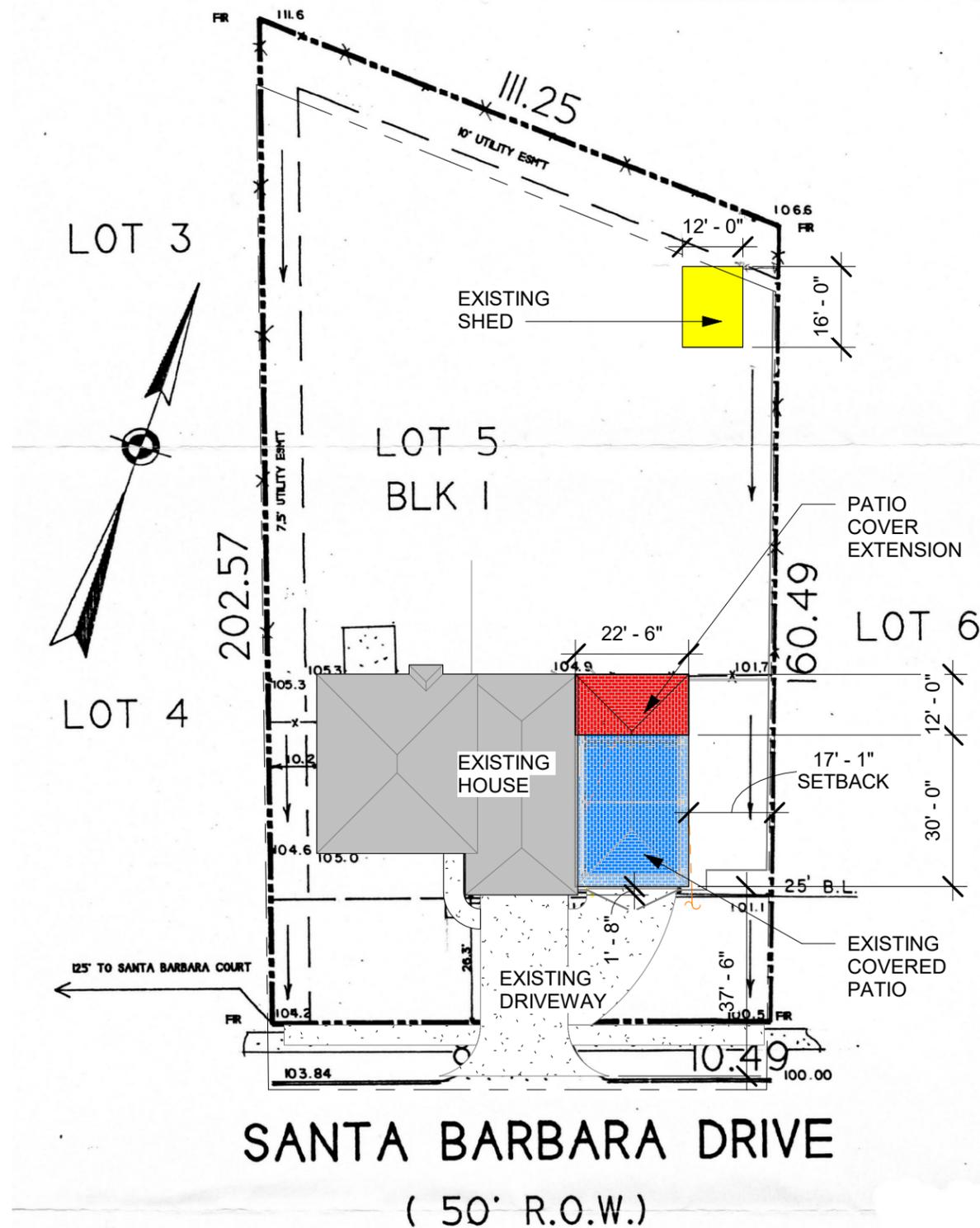
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② SITE PLAN-HOUSE DIMENSIONS
1" = 30'-0"



① SITE PLAN
1" = 30'-0"

SURVEY SHOWN FOR REFERENCE ONLY.
CONTACT HOMEOWNER AND REGISTERED
SURVEYOR FOR MORE INFORMATION
ABOUT EXISTING CONDITIONS

ZONING CLASS = SF-12 SINGLE FAMILY
RESIDENTIAL

LOT COVERAGE CALCULATION

- EXISTING HOUSE
- EXISTING SHED
- EXISTING DRIVEWAY
- EXISTING PATIO COVER
- PATIO COVER EXTENSION = 270 SQ. FT.

TOTAL = 4312 SQ. FT.

4312 SQ. FT. + 270 SQ. FT. = 4582 SQ. FT.

LOT COVERAGE PERCENTAGE
(4582 / 17951) * 100 = 26 %

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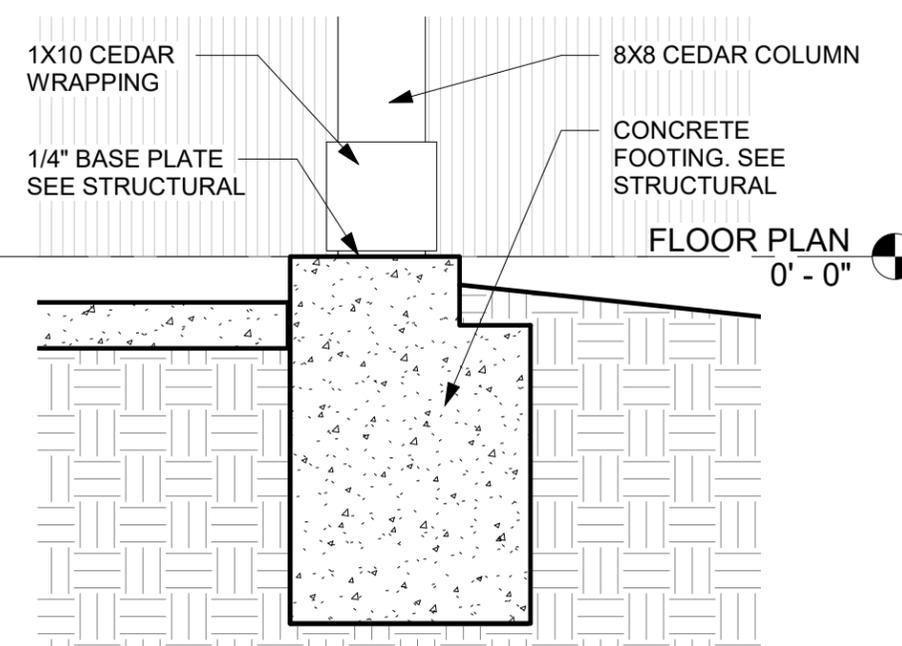
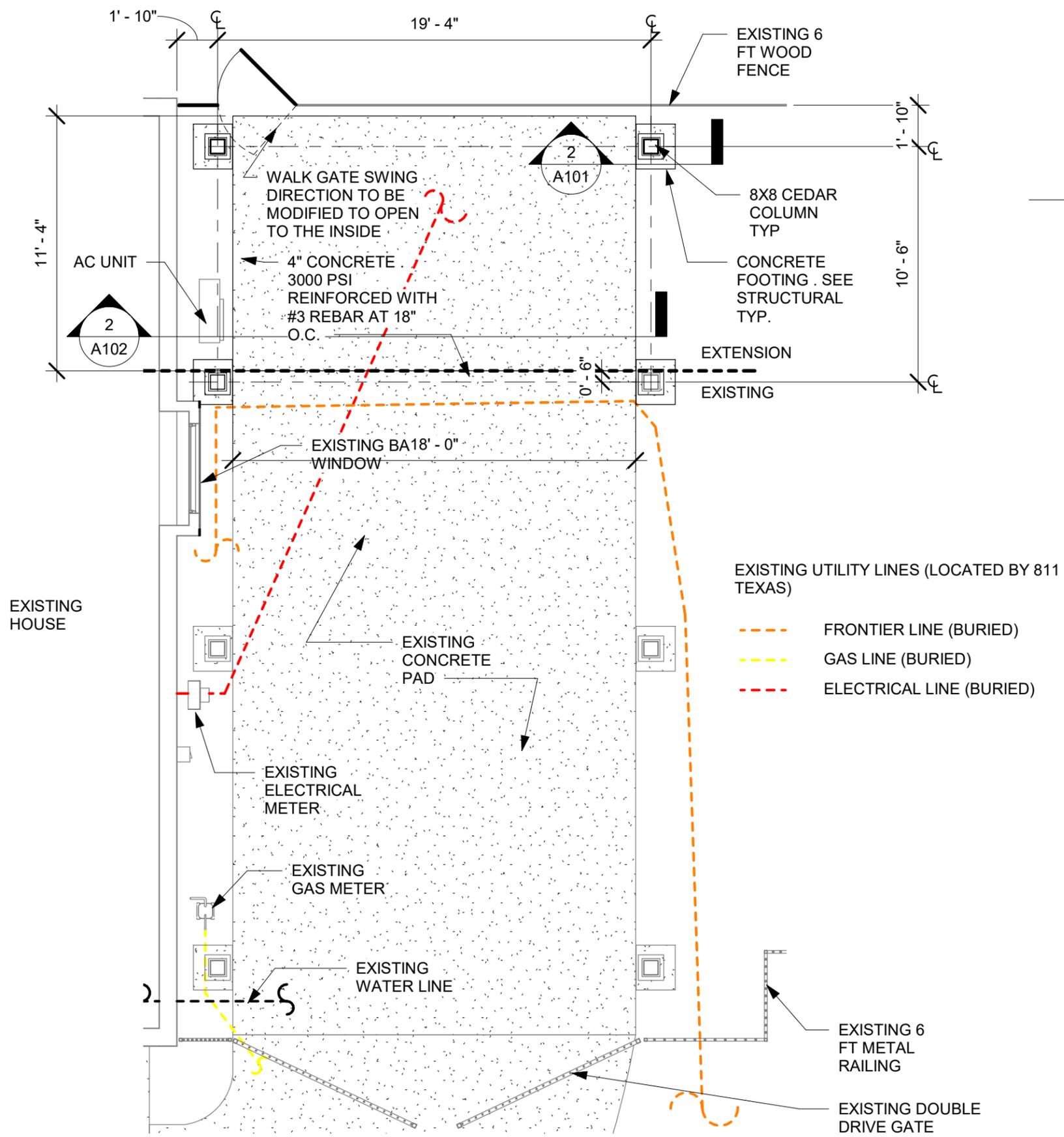
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2 FOOTING DETAIL (TYP)
3/4" = 1'-0"

1 FLOOR PLAN
3/16" = 1'-0"

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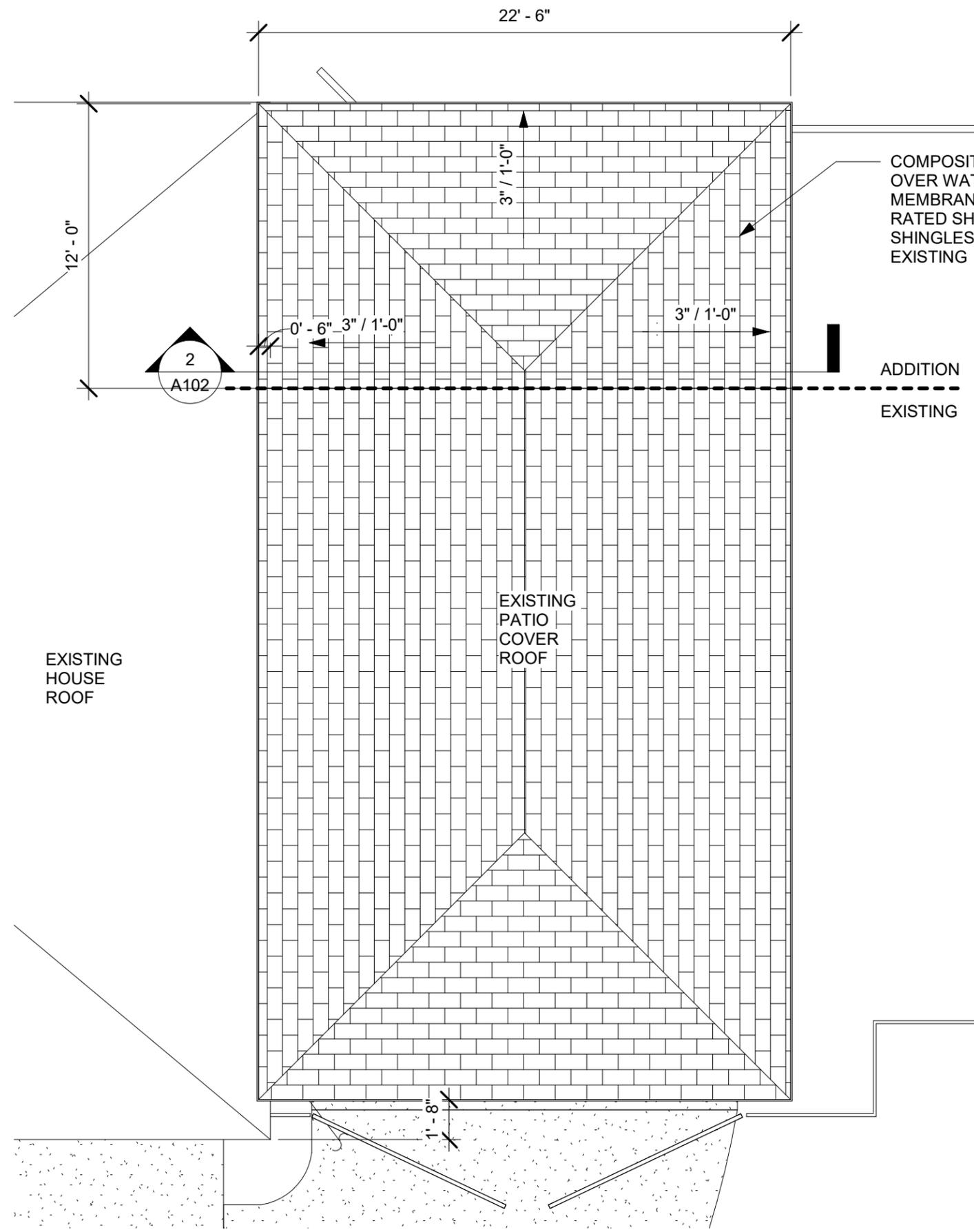
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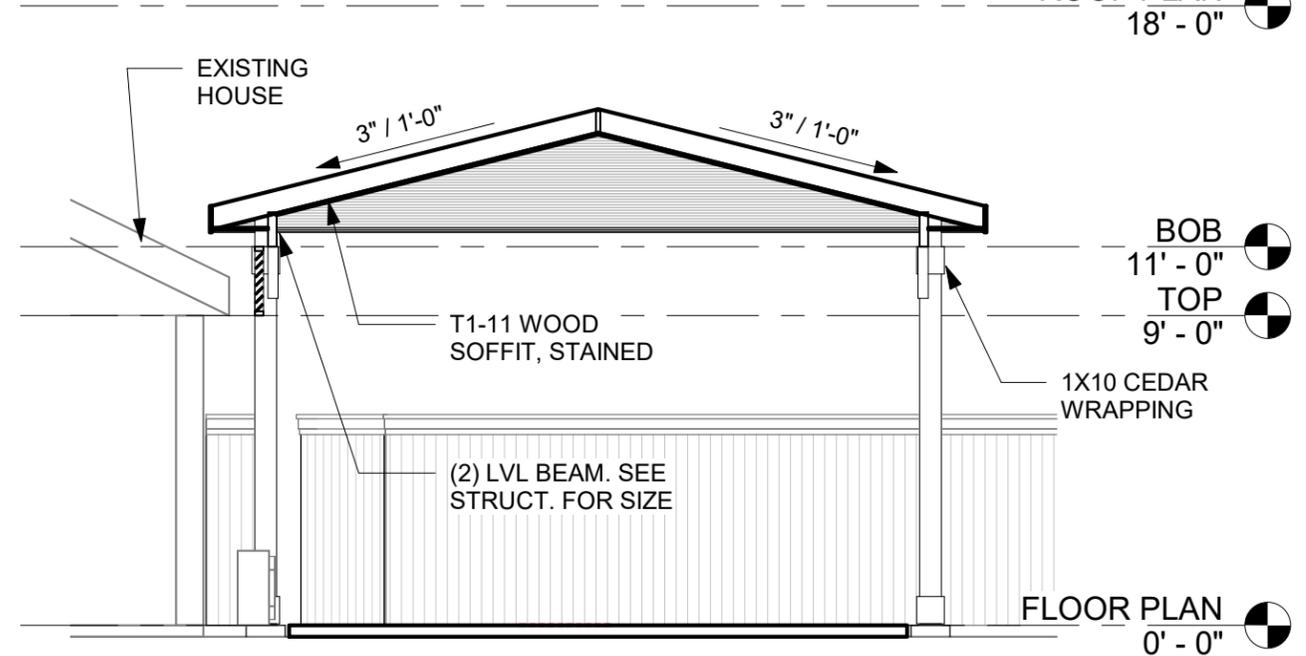
COMPOSITION SHINGLES
OVER WATERPROOF
MEMBRANE OVER APA
RATED SHEATHING . ROOF
SHINGLES TO MATCH
EXISTING

ADDITION
EXISTING

EXISTING
HOUSE
ROOF

EXISTING
PATIO
COVER
ROOF

1 ROOF PLAN
3/16" = 1'-0"



2 TYPICAL SECTION
3/16" = 1'-0"

ROOF PLAN
18'-0"

FLOOR PLAN
0'-0"

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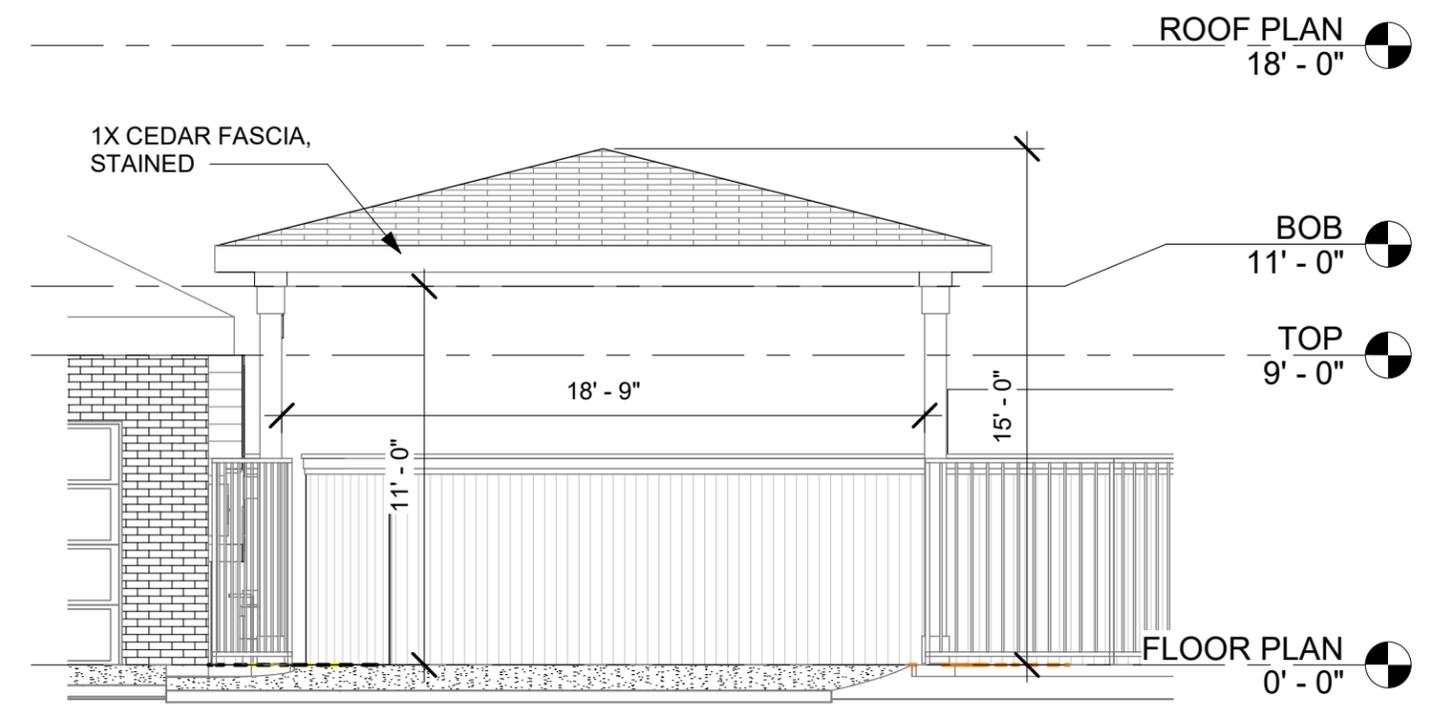
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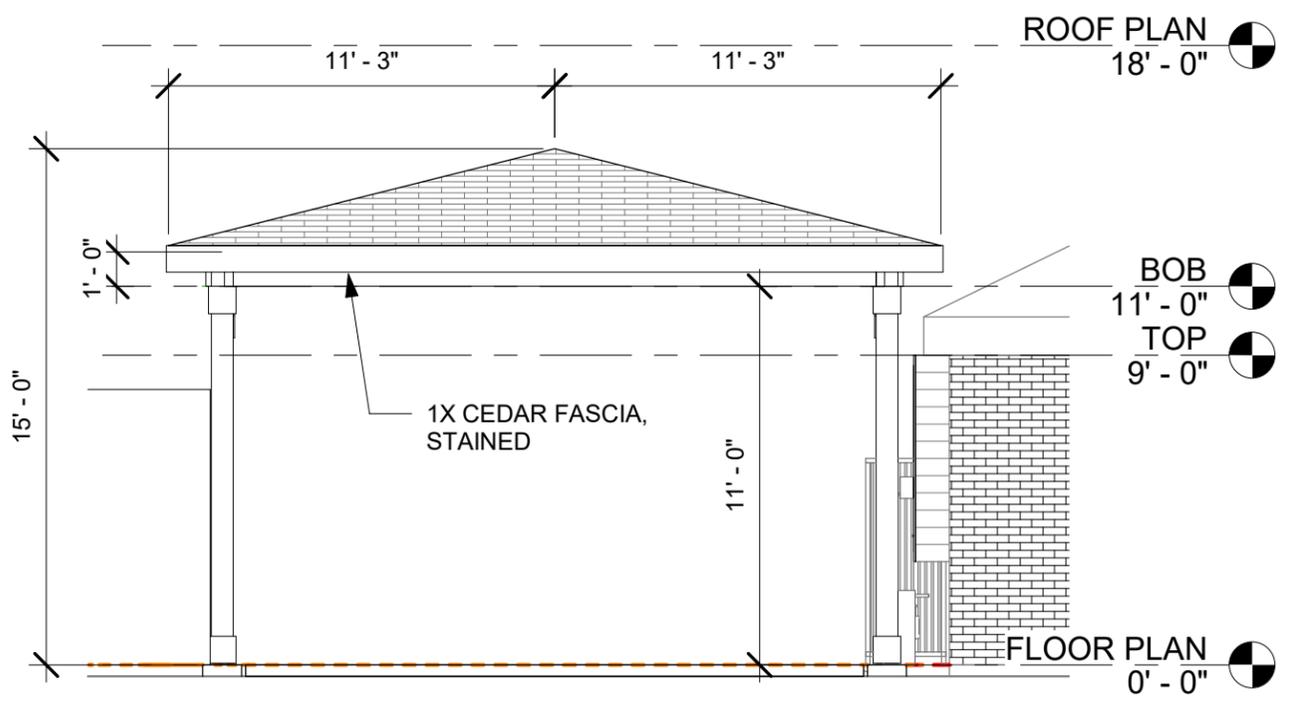
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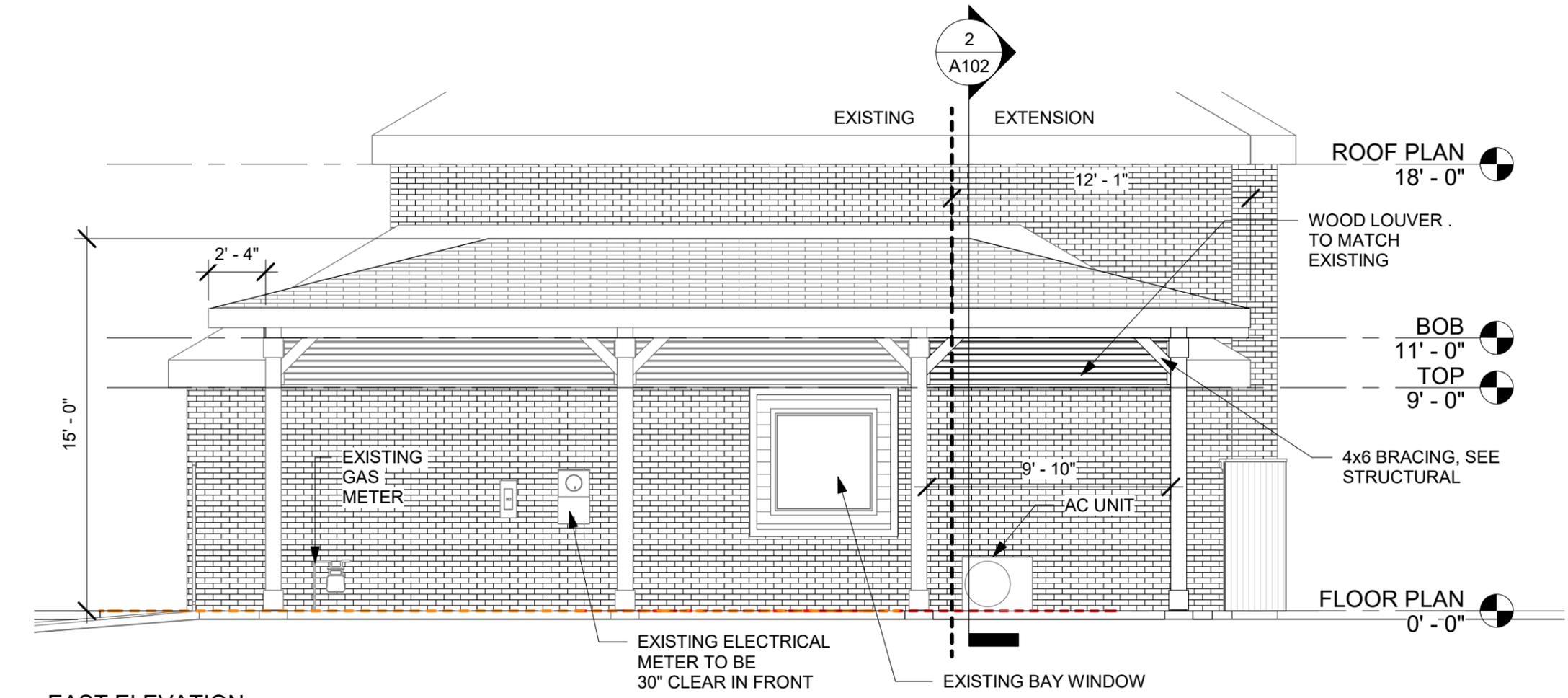
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1 FRONT ELEVATION
3/16" = 1'-0"



2 REAR ELEVATION
3/16" = 1'-0"



3 EAST ELEVATION
3/16" = 1'-0"

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