

LEGEND

- Ex. Water Pipe
- Fire Hydrant
- Ex. Sanitary Sewer
- Ex. Wifi Pipe
- Ex. Underground Utility
- Ex. Gas Pipe
- Ex. Storm Pipe
- Prop. Storm Pipe
- Ex. Firelane (By Others)
- Ground Sign Lighting
- # Parking Spaces
- Ex. Concrete Pavement/Sidewalk
- Prop. Paving
- Handicapped Parking
- Existing Contours
- Sanitary Sewer Manholes
- Water Valve
- Wheel Stops
- Handicapped Parking Signs
- Prop. Light Pole

SITE SUMMARY TABLE	LOT 1
TOTAL BUILDING AREA (S.F.)	5,730
* RETAIL (S.F.)	2,398
* EATING PLACE (S.F.)	3,283
* FIRE RISER ROOM (S.F.)	49
TOTAL PARKING SPACES REQ.	32
* RETAIL (1 PER 250 S.F.)	10
* EATING PLACE (1 PER 150 S.F.)	22
TOTAL PARKING PROV.	34 (+2 HC)

TYPICAL PAVING SECTION	
	DRIVE THRU & PARKING AREAS: 5" - 3500 PSI CONCRETE PAVEMENT WITH #3 BARS AT 18" O.C.E.W. 6" SUBGRADE RECOMPACTED AT 95% STANDARD PROCTOR DENSITY AT -1 TO +3 OPTIMUM MOISTURE CONTENT.
	DUMPSTER AREA: 8" - 3500 PSI CONCRETE PAVEMENT WITH #3 BARS AT 18" O.C.E.W. 6" SUBGRADE RECOMPACTED AT 95% STANDARD PROCTOR DENSITY AT -1 TO +3 OPTIMUM MOISTURE CONTENT.
	SIDEWALK/PATIO: 4" - 3500 PSI CONCRETE PAVEMENT WITH #3 BARS AT 18" O.C.E.W. 6" SUBGRADE RECOMPACTED AT 95% STANDARD PROCTOR DENSITY AT -1 TO +3 OPTIMUM MOISTURE CONTENT.

EXISTING ZONING - PD-1962-MU (PHASE 2) CENTER STAGE PLANNED DEVELOPMENT
 PROPOSED USE - RESTAURANT/RETAIL
 LOT AREA - 1.175 ACRES

- GENERAL NOTES:
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48121 C 0680 G DATED APRIL 18TH, 2011, (REVISED TO REFLECT LOMR) NO PORTION OF THIS PROPERTY IS WITHIN THE 100 YEAR FLOOD ZONE AE. BASE FLOODS DETERMINED
 - THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURE THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
 - HANDICAP PARKING SIGNS SHALL HAVE A SIGN RIDER *PUNISHABLE BY A FINE UP TO \$500*.
 - FIRE HYDRANTS ARE TO HAVE HYDRA-STORZ CONNECTION FOR 5-INCH HOSE ON THE PUMPER CONNECTION. FIRE FLOW REQUIREMENTS OF THE INTERNATIONAL FIRE CODE MUST BE MET.
 - SEE ARCHITECTURAL PLANS FOR BUILDING DETAILS.
 - SEE LANDSCAPE PLANS FOR LANDSCAPING DETAILS.



LOCATION MAP
 SCALE: 1" = 1,000'

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY FLOYD E. MIDDLETON, JR., PE REGISTRATION #67449 ON 1-3-23. ANY ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

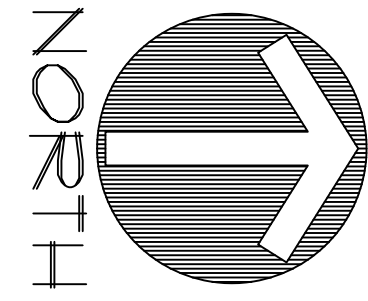
No.	DATE	REVISION	APPROV.

Middleton & Associates, LLC.
 CONSULTING CIVIL ENGINEERS & LAND PLANNERS
 TBPE #F-10900
 2785 ROCKBROOK DRIVE, SUITE 105
 LEWISVILLE, TEXAS 75067 (972) 393-9800

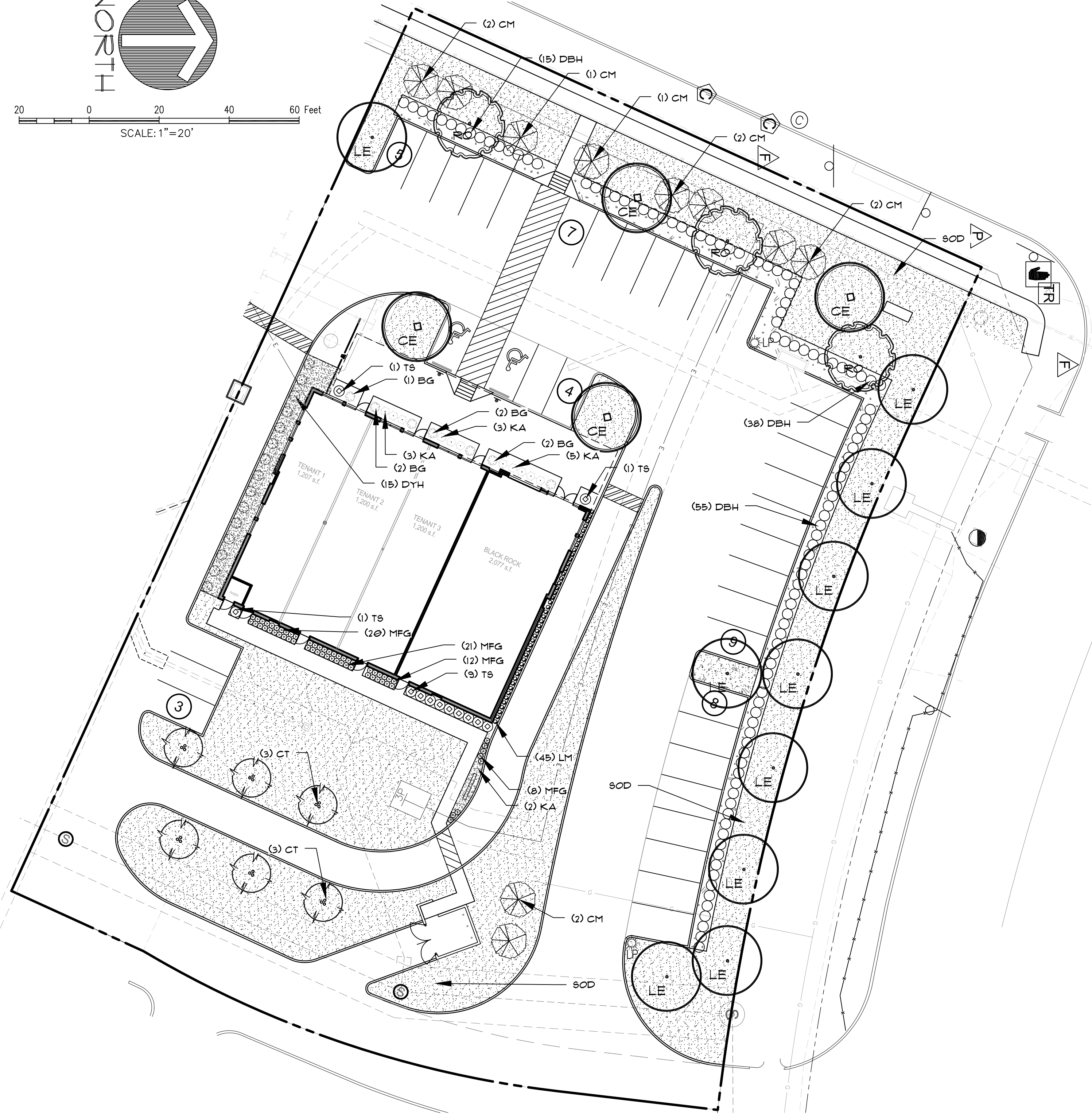
FINAL SITE PLAN
 LOT 1, BLOCK A
 KELLER CENTER STAGE, 1.175 AC.
 ZONED PD-1962-MU (PHASE 2)

OWNER/DEVELOPER
 REALTY CAPITAL MANAGEMENT
 909 LAKE CAROLYN PARKWAY #150
 IRVING, TEXAS 75039
 PH: 469-533-4133

Drawing File: 0050-003 SITE.DWG	DATE: 1/3/23	SCALE: 1"=20'	SHEET NO: SITE1
Project No. 0050-003			



SCALE: 1"=20'



LANDSCAPE ORDINANCE

CITY OF KELLER
Keller Center Stage

Final landscape plan will meet all City of Keller development ordinances. All landscape will be maintained according to city standards. All required landscape will be 100% watered by an underground irrigation system.

LANDSCAPE BUFFER (US 311)
REQUIRED: Minimum 30' landscape buffer
PROVIDED: 30' landscape buffer
LANDSCAPE BUFFER (RIDGE POINT PARKWAY)
REQUIRED: Minimum 30' landscape buffer
PROVIDED: 30' landscape buffer

BUFFER TREES (US 311)
REQUIRED: Minimum four-inch (4") caliper canopy tree to be placed 1 per 60' linear feet, but may be planted in clusters to allow visibility of signage. 178 lf. / 60 lf. = 3 canopy trees required
PROVIDED: 5 canopy trees (see Kimley Horn landscape plans)

REQUIRED: Minimum two (2) ornamental trees per 50' of frontage planted in clusters or linear arrangements. 178 lf. / 50 lf. = 8 ornamental trees required
PROVIDED: 8 ornamental trees

BUFFER TREES (RIDGE POINT PARKWAY)

REQUIRED: Minimum three-inch (3") caliper canopy tree to be placed 1 per 60', but may be planted in clusters to allow visibility of signage. 254 lf. / 60 lf. = 5 canopy trees required
PROVIDED: 1 canopy trees (see Kimley Horn landscape plans)

PARKING LOT LANDSCAPE

REQUIRED: Parking lots shall be 100% screened with shrubs or berms adjacent to all public streets. Berms shall be a minimum of 3' in height and shrubs shall be a minimum of 2' in height at time of planting.
PROVIDED: Continuous row of shrubs.

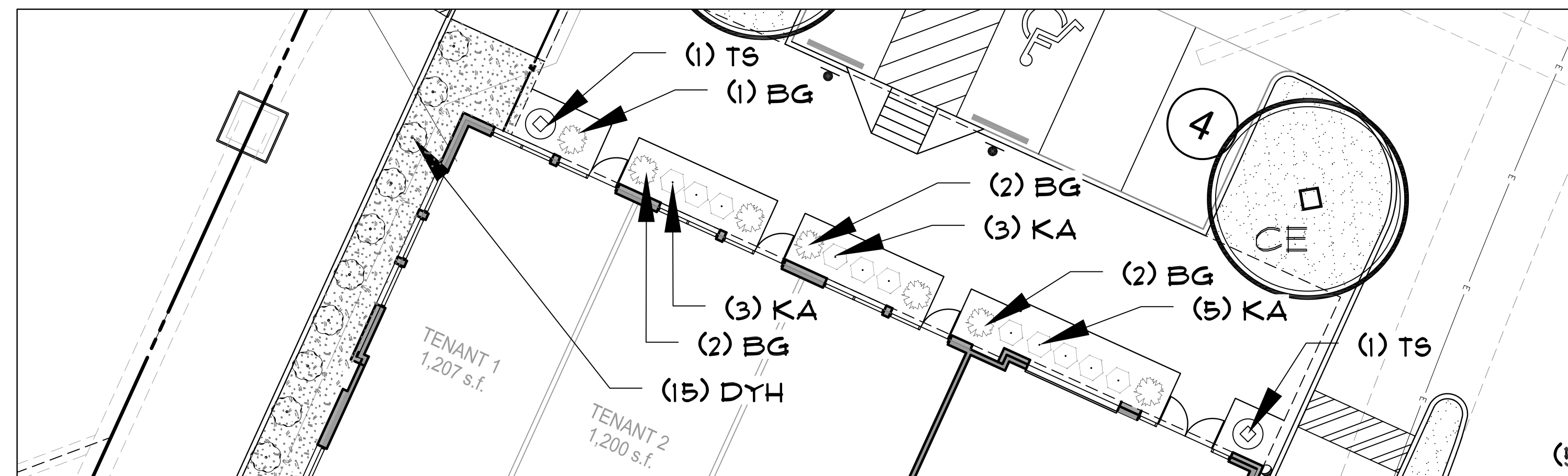
REQUIRED: Parking lot islands must be a minimum of 9' in width and 20' in length and shall contain one (1) large canopy tree. Islands that are equivalent to two parking spaces shall contain two (2) large canopy trees.
PROVIDED: 1 canopy trees

REQUIRED: Continuous islands that are perpendicular to parking spaces must contain three-inch (3") caliper canopy trees to be placed 1 per 40'.
PROVIDED: (see Kimley Horn landscape plans)

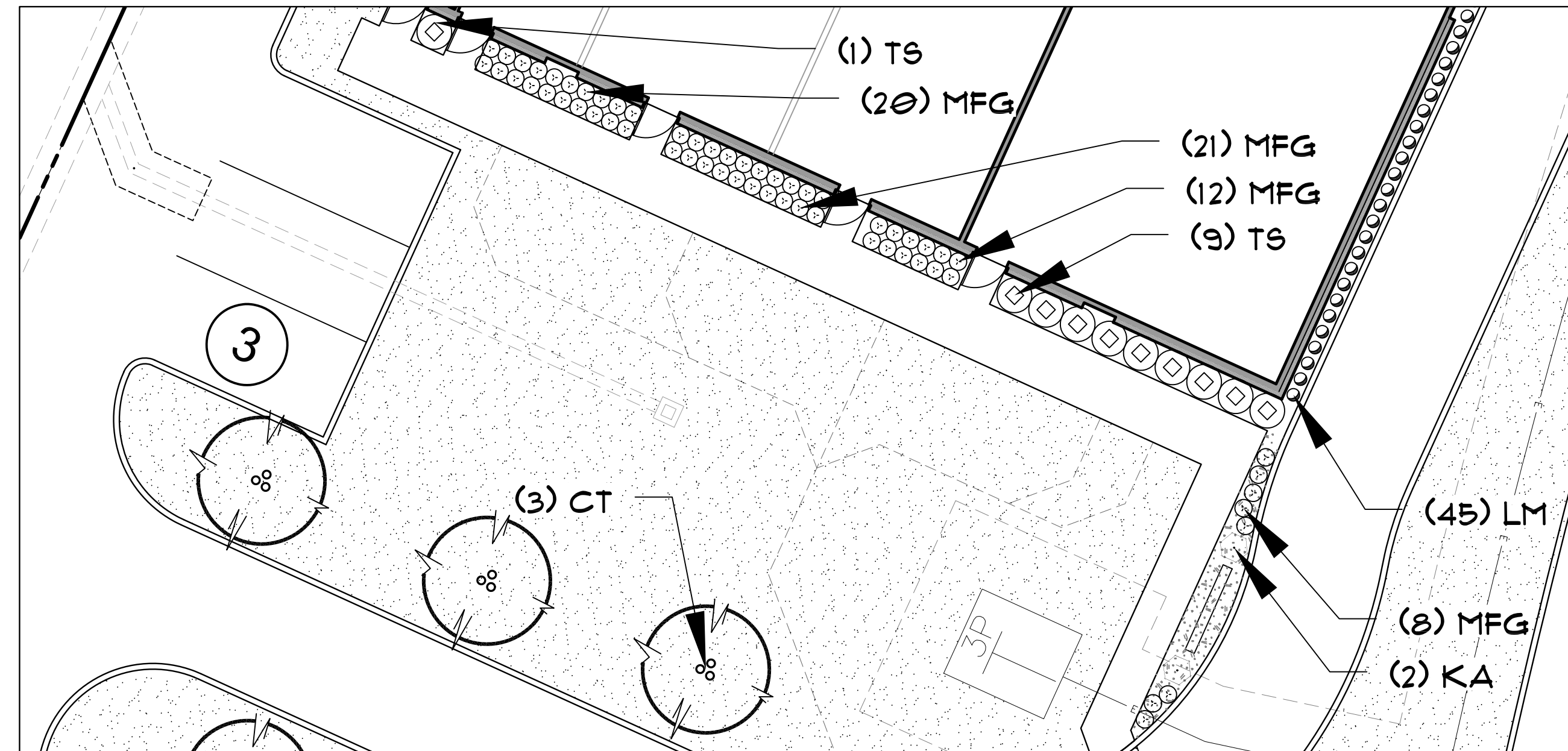
REQUIRED: 15% of all parking lots shall be landscaped.
PROVIDED: 18% of parking lot space is landscaped.

PLANT SCHEDULE

TREES	CODE	QTY	COMMON / BOTANICAL NAME	CAL	HGT	REMARKS	
	RO	3	Shumard Red Oak / Quercus shumardii	3"	10'-12'	PER PLAN	
	CE	4	Cedar Elm / Ulmus crassifolia	3"	8'-10'	PER PLAN	
	LE	10	Athena Lacebark Elm / Ulmus parvifolia 'Athena'	3"	10'-12'	PER PLAN	
ORNAMENTAL TREES	CODE	QTY	COMMON / BOTANICAL NAME	CAL	HGT	REMARKS	
	CM	10	Crape Myrtle / Lagerstroemia indica	15 GAL	7'-8'	MULTI-TRUNK	
	CT	6	Chaste Tree / Vitex agnus-castus	15 GAL	6'-8'	MULTI-TRUNK	
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER	HEIGHT	SPREAD	REMARKS
	KA	13	Kaleidoscope Glossy Abelia / Abelia x grandiflora 'Kaleidoscope'	3 gal	24"	3'-0"o.c.	
	BG	7	Blue Grama Grass / Bouteloua gracilis	3 gal	24"	24"-28"	FULL
	DBH	108	Dwarf Burford Holly / Ilex cornuta 'Burfordii Nana'	5 gal	30"	3'-0"	FULL
	DYH	15	Dwarf Yaupon Holly / Ilex vomitoria 'Nana'	3 gal	30"	3'-0"o.c.	
	TS	12	Texas Sage / Leucophyllum frutescens 'Bertstar Dwarf'	3 gal	36"		PER PLAN
PERENNIALS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER	HEIGHT	SPREAD	REMARKS
	LM	45	Lilyturf / Linopse muscan	1 gal	12"	18" o.c.	
	MFG	60	Mexican Feather Grass / Nassella tenuissima	1 gal	24"	24"o.c.	
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	HEIGHT	SPREAD	REMARKS
	MULCH	1,830 sf	Mulch groundcover /	--			
	SOD	14,051 sf	Bermuda Grass / Cynodon dactylon	--			



1. FRONT FACADE LANDSCAPE BED DETAIL
1"=10'



2. BACK FACADE LANDSCAPE BED DETAIL
1"=10'

PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW
AND IS NOT INTENDED FOR CONSTRUCTION,
BIDDING, OR PERMITTING PURPOSES.
JAMESON PINSON LANDSCAPE ARCHITECTS
DATED 12/7/2022



Drawn By: XD
Date: 10/3/2022
Scale: 1"=20'
Revisions:
12/5/2022

RCL22001

OWNER/DEVELOPER
REALTY CAPITAL MANAGEMENT
908 LAKE CAROLYN PKWY #160
IRVING, TX
Ph. (469) 633-4133
Contact: Sam Pan

L1.00

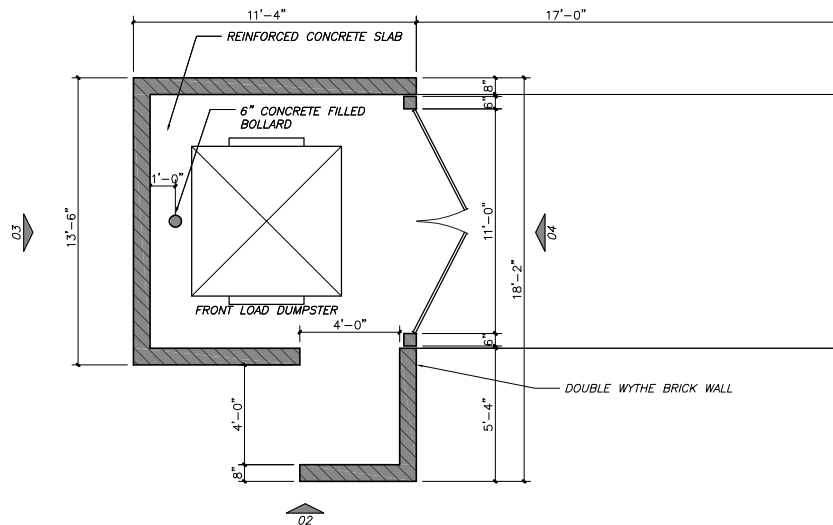
KELLER CENTER STAGE
KELLER CENTER STAGE
Lot 1, Block A
11750 Acres
in the
J.J. ROBERTS SURVEY, ABSTRACT NO. 1305
CITY OF KELLER
TARRANT COUNTY, TEXAS

LANDSCAPE PLAN

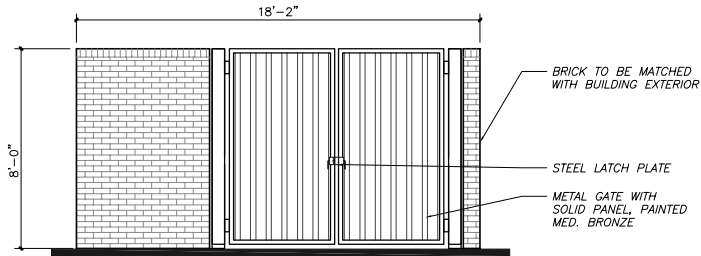


The John R. McAdams
Company, Inc.
(DBA: G&A McAdams)
111 Hillside Drive
Lewisville, Texas 75057
972.436.3712
201 County View Drive
Richardson, TX 75082
Phone: 940.240.1012
www.giam.com

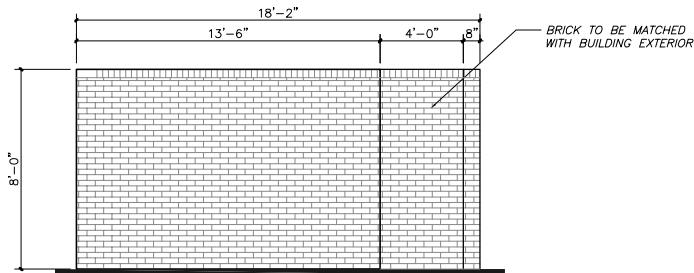
KELLER CENTER STAGE



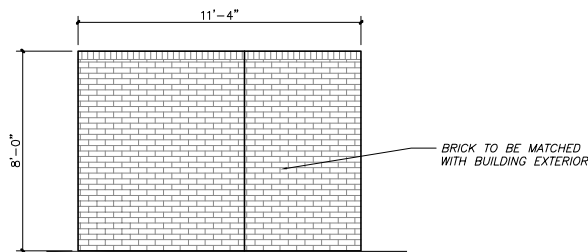
05 FLOOR PLAN
1/4" = 1'-0"



04 DUMPSTER ENCLOSURE- SOUTH ELEV.
1/4" = 1'-0"



03 DUMPSTER ENCLOSURE- NORTH ELEV.
1/4" = 1'-0"



02 DUMPSTER ENCLOSURE- WEST ELEV.
1/4" = 1'-0"

CENTER STAGE LOT 1

KELLER, TEXAS 76248

3301 W. AIRPORT FREEWAY, STE. 220 BEDFORD, TEXAS 76021
(817) 684-0088 info@cnkarch.com

CNK ARCHITECTS, INC.



LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	MODEL NO.	LAMPS				VOLTAGE
				TYPE	COLOR	LUMENS	WATTS	
AA	SINGLE HEAD POLE LIGHT, 16' SQUARE POLE	GLOBALUX	LSA2-150-MVD-JII-8-40; LSA-SPM; PS4-11-15WT	LED	4000K	16500	150	120-277

NOTES: 1) ALL FIXTURES MAY NOT BE USED.
 2) FURNISH COLD WEATHER (C) BALLASTS FOR ALL OUTDOOR HID OR FLUORESCENT LIGHTING FIXTURES.
 3) ENSURE ALL OUTDOOR FIXTURES ARE UL LISTED FOR THEIR INTENDED USE (I.E., DAMP OR WET LOCATION LISTED).
 4) CONTRACTOR SHALL PROVIDE 2', 3' OR 4' LENGTHS AS REQUIRED FOR UNDERCABINET LIGHTING FIXTURES TO ENSURE LIGHTING IS CONTINUOUS FROM END TO END WITH NO GAPS BETWEEN FIXTURES.
 5) PROVIDE ELECTRONIC BALLASTS AS APPROPRIATE AND AVAILABLE FOR ALL FLUORESCENT LIGHTING FIXTURES. ALL ELECTRONIC BALLAST SHALL BE AS MANUFACTURED BY ADVANCE, MOTOROLA OR TRIAD.

ME/P CONSULTANTS:
NOVA ENGINEERING
 TEXAS REGISTRATION NUMBER: F-9273
 4819 STATE HIGHWAY 121, SUITE #12
 THE COLONY, TX 75056
 PHONE: 972.323.7301 FAX: 972.323.7311
 WWW.NOVA-ENGINEERING.NET

ARCHITECT:
 OWNER:

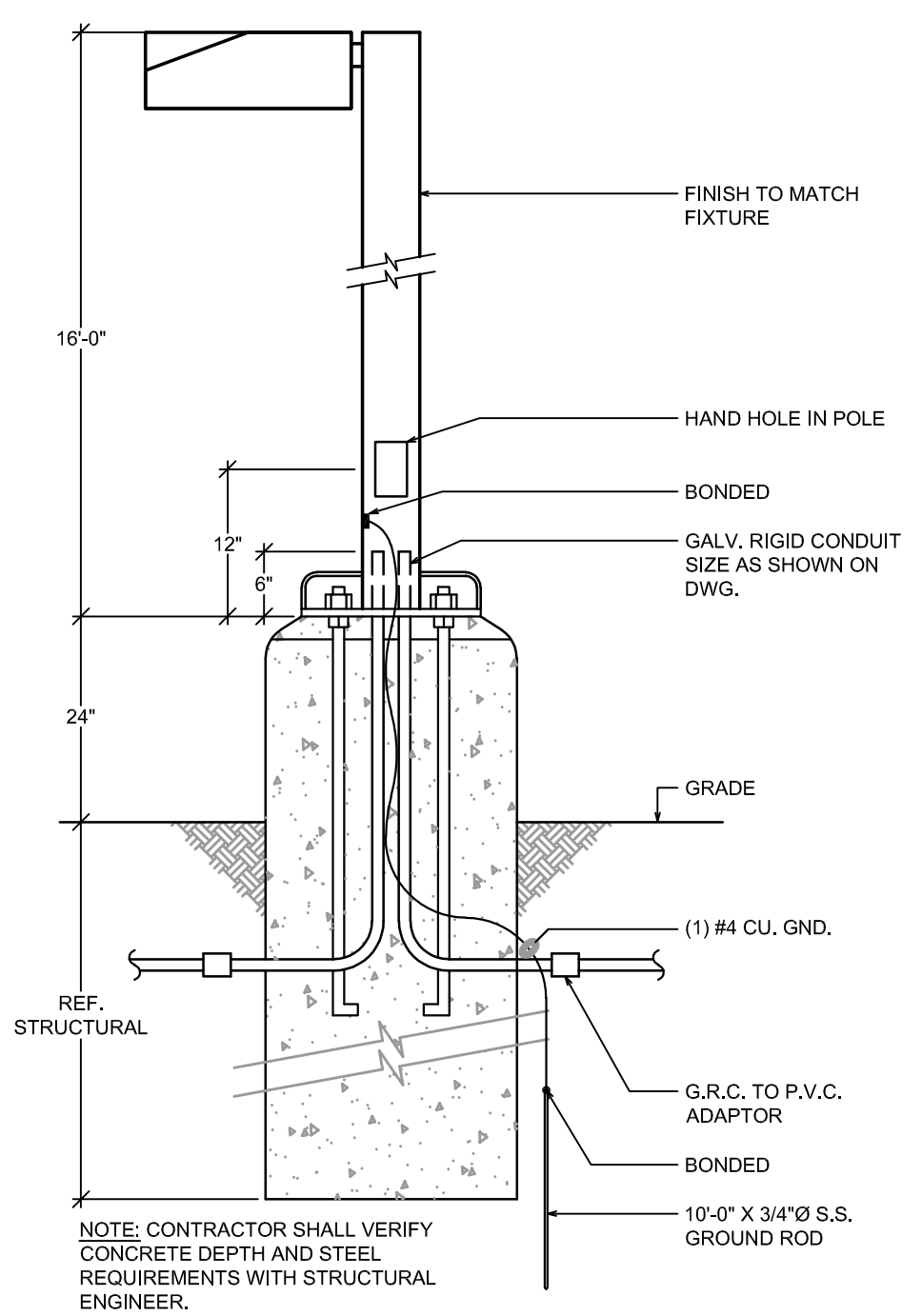
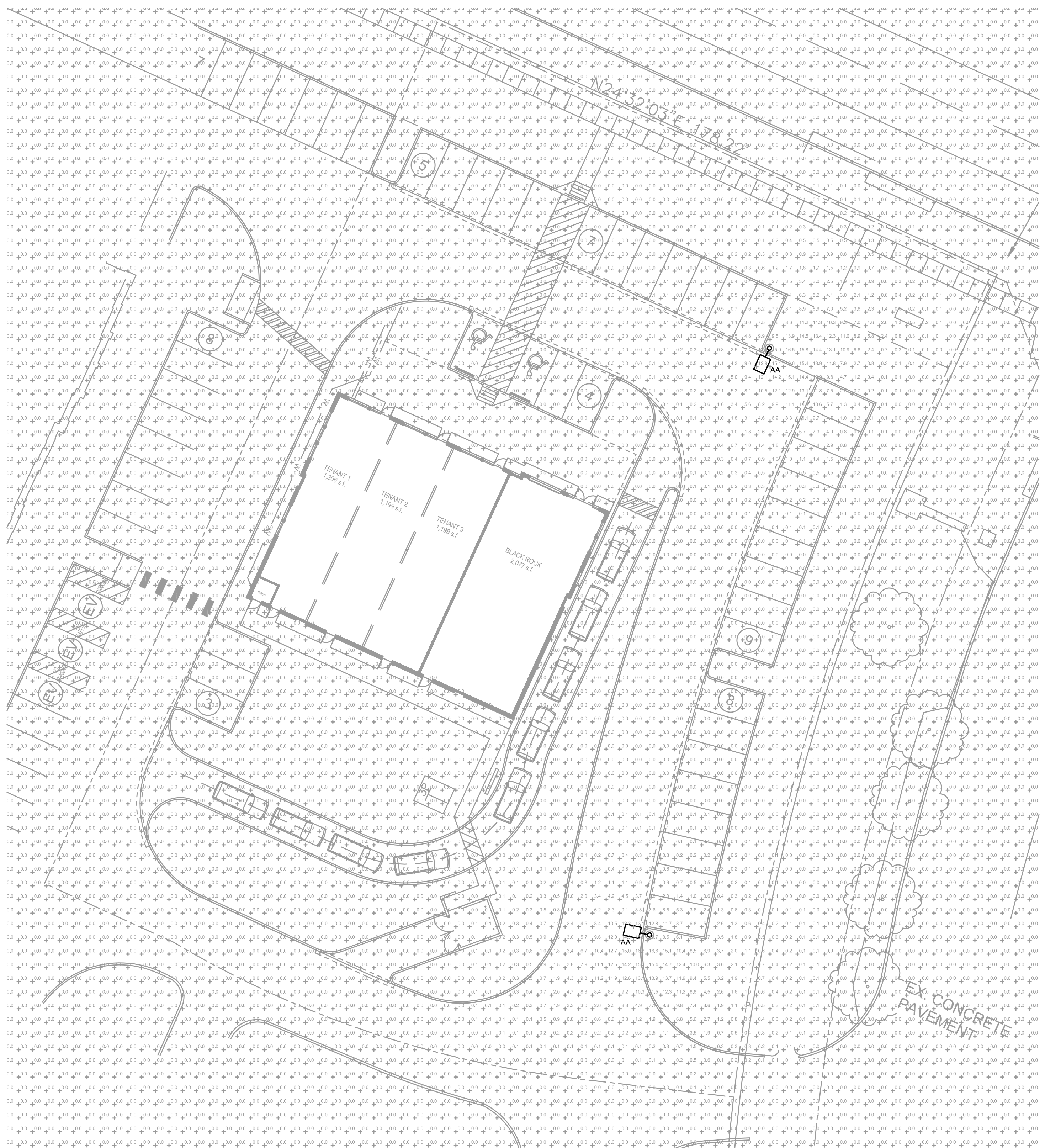
OWNER:

**LOT 1, BLOCK A
 KELLER CENTER STAGE**

SEAL:
 Design Development / Pricing
 October 27, 2022
 This document is released for the purpose of Design Development and Pricing under the authority of:
 Joel A. Garcia, PE #92730.
 It shall not be used for any other purpose.

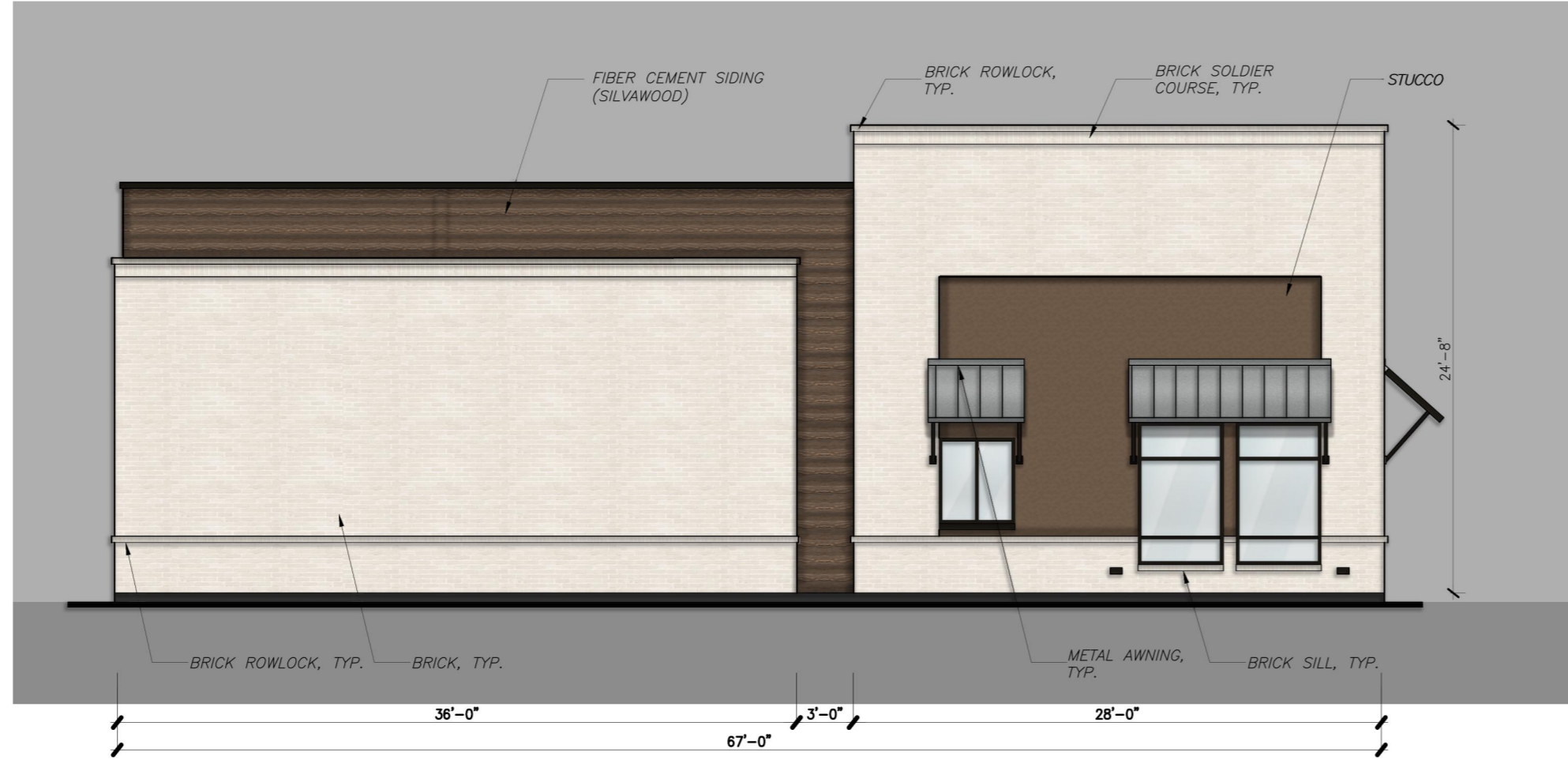
ISSUE DATE: 10/27/22
 PROJECT NUMBER: 22220
 REVISION:

DRAWN BY: CB REVIEWED BY: CC
 SHEET TITLE:
**SITE PLAN -
 PHOTOMETRICS**
 SHEET NUMBER:
E1.00



02 TYPICAL POLE BASE DETAIL FOR TYPE 'AA'
 SCALE: NOT TO SCALE

01 SITE PLAN - PHOTOMETRICS
 SCALE: 1" = 20'-0" ↑



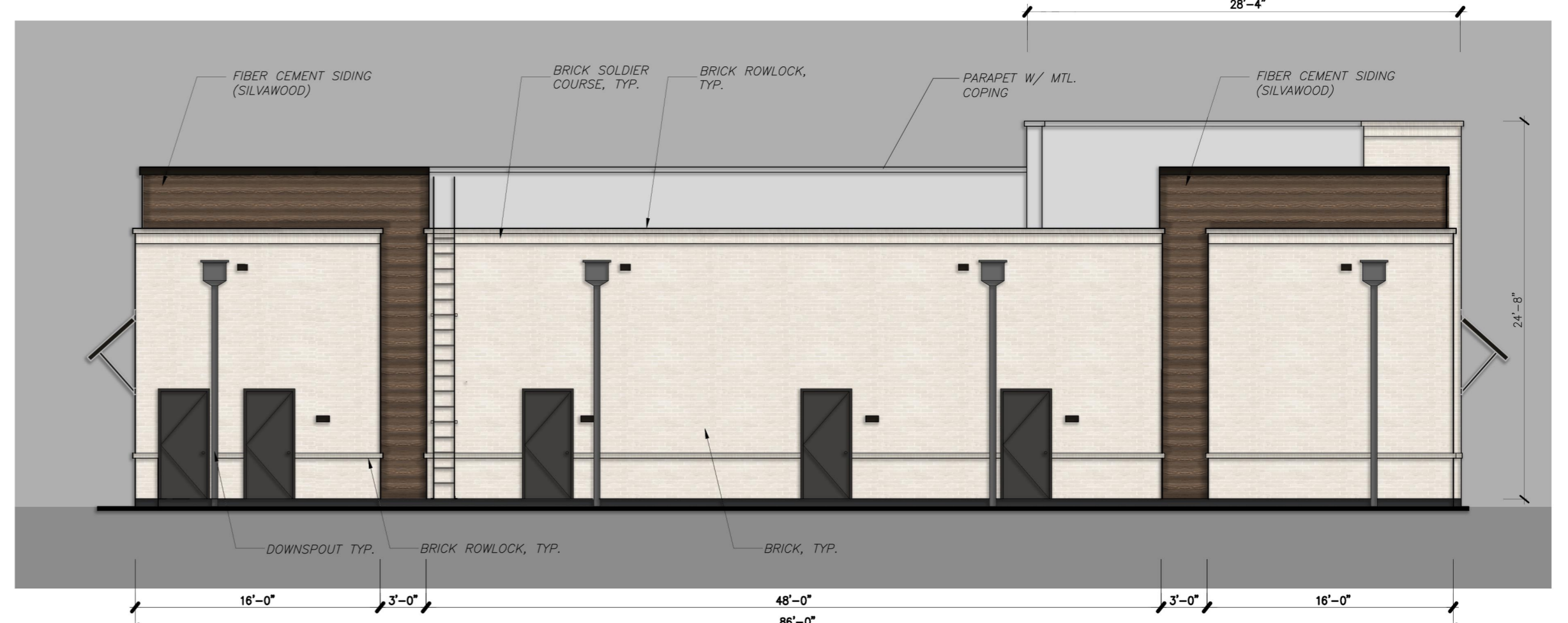
02 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



01 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



03 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



04 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS

	North		West		East		South	
		%		%		%		%
Total Façade S.F.	1535.2		1968		1699		1467.6	
Doors and Store Front S.F.	85.5		514		120.2		168.8	
Façade S.F. Minus Doors and Store Front	1449.7		1454		1578.8		1298.8	
Primary Masonry Totals	1240.7	86%	1181	81%	1323.6	84%	1037.6	80%
Brick S.F.	1040.7	72%	1015	70%	1323.6	84%	1037.6	80%
Stucco S.F.	200	14%	166	11%	0	0%	0	0%
Secondary Totals	209	14%	273	19%	255.2	16%	261.2	20%
Fiber Cement Siding S.F.	209	14%	273	19%	255.2	16%	261.2	20%

Revisions:

Job no.:

Issue date:

Sheet info:
 EXTERIOR ELEVATIONS