

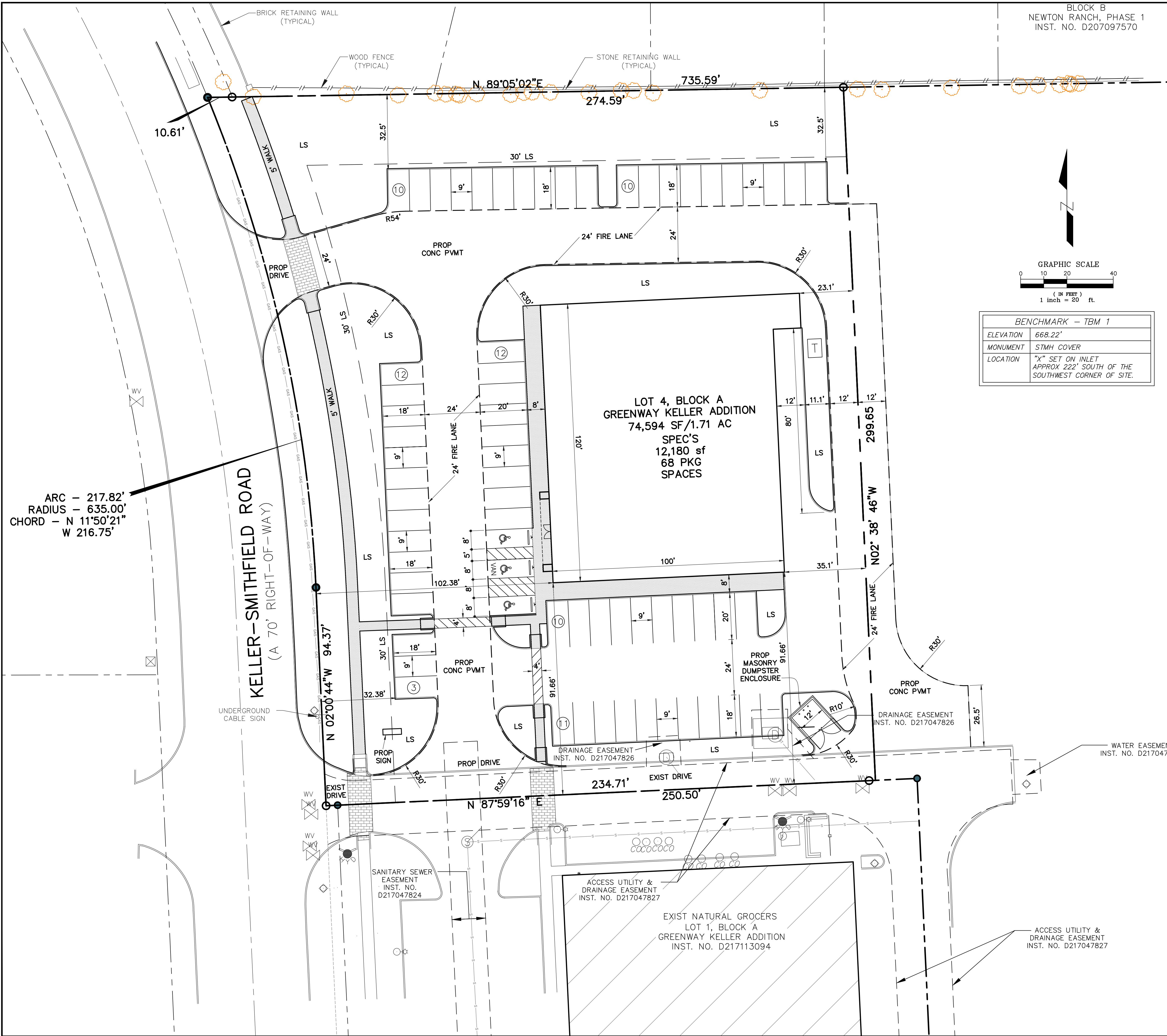


LETTER OF INTENT

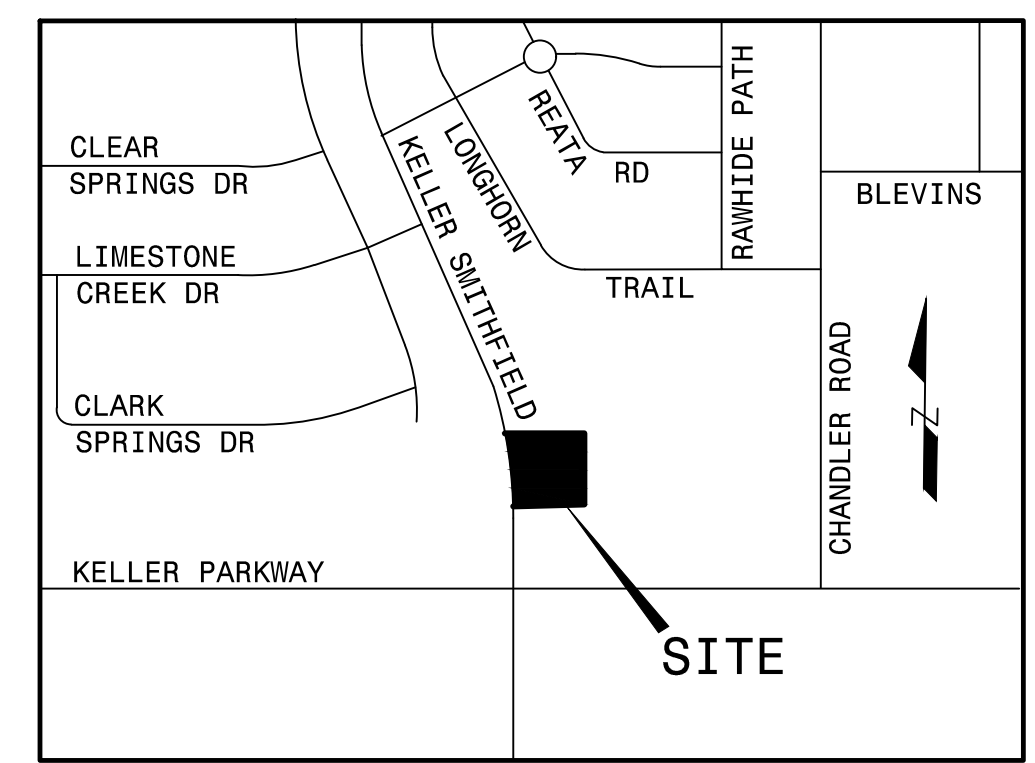
McClure Partners is proposing to develop a new prototypical 12,180 SF Spec's retail liquor store on an approximate 1.71-acre tract located on the east side of Keller-Smithfield Road approximately 351-feet north Keller Parkway and directly adjacent to an existing Natural Grocers store. The site is currently vacant and bounded to the west by Keller-Smithfield Road, Natural Grocers to the south, undeveloped commercial property to the east and Newton Branch Phase 1 subdivision to the north.

This will be the eighth Spec's Retail store to be developed by McClure Partners in the Dallas-Fort Worth area within the last 2-years. The stores are prototypical in design and range from 10,000 SF to 12,000 SF with a single customer entry and one truck loading area. The building materials are typical for the areas that they develop in and typically consist of brick and stone. The building heights range from 22-feet to 30-feet. The typical hours of operation are 10 am – 9 pm Monday through Saturday and closed on Sunday.

It is our opinion that the proposed Spec's development is compatible with the adjacent uses as its site layout, building shape and building materials are complimentary to the surrounding developments and neighborhoods. The site design takes into account the adjacent single-family neighborhoods as it is maintaining the required 30' landscape setback and screening devices along the common property line. The proposed delivery area will be faced away from the neighborhoods as will the dumpster enclosure. Per the conversations that Spec's representatives have had with City staff over the past year it is their opinion that their proposed use is desired and supported by the City and the surrounding developments.



BLOCK B
NEWTON RANCH, PHASE 1
INST. NO. D207097570

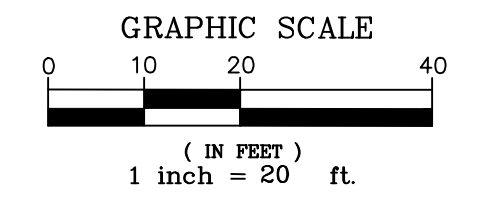


LOCATION MAP
N.T.S.

SITE SUMMARY TABLE

Site Address	KELLER SMITHFIELD ROAD, KELLER, TX
County	TARRANT
Project Name	SPEC'S
Zoning District	TC - TOWN CENTER
Proposed use	RETAIL
Site Area:	1.71 Acres 74,594 S.F.
Building Area	12,180 S.F.
Building Height:	1 Story
Lot Coverage:	12,180 SF / 74,594 SF = 16.3%
Floor Area Ratio:	12,180 SF S.F. / 74,594 SF = 1:16.3
Parking Required:	RETAIL 1/200
	Total Required = 61 SPACES
Parking Provided:	Regular = 65 SPACES
	Handicap = 3 SPACES
	Total = 68 SPACES
Impervious Area:	52,375 S.F.
Impervious Area Ratio:	52,375 S.F. / 74,594 = 70.2%
Pervious Area Ratio:	22,217 S.F. / 74,594 = 29.8%

BENCHMARK - TBM 1	
ELEVATION	668.22'
MONUMENT	STMH COVER
LOCATION	"X" SET ON INLET APPROX 222' SOUTH OF THE SOUTHWEST CORNER OF SITE.



EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
====	PAVEMENT	====
	PARKING COUNT	(+)
----	SIDEWALK	----
---	WATER LINE	---
---	SANITARY SEWER	---
---	GAS LINE	---
---	WOOD FENCE	---
○	TREE	○
○	WATER METER	○
○	FIRE HYDRANT	○
○	WATER VALVE	○
○	STORM SEWER M.H.	○
○	SANITARY SEWER M.H.	○
□	TRANSFORMER	□
○	LIGHT POLE	○
○	LANDSCAPE	LS

- NOTES:
1. TOPOGRAPHIC SURVEY PREPARED BY PEISER & MANKIN SURVEYING, LLC. DATED 02/17/20.
 2. REFERENCE ARCHITECT PLANS FOR EXACT BUILDING DIMENSIONS.
 3. ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING OR AS OTHERWISE NOTED.
 4. SEE CIVIL PLANS FOR SITE ENGINEERING DESIGN.

ARC - 217.82'
RADIUS - 635.00'
CHORD - N 11°50'21"
W 216.75'

KELLER-SMITHFIELD ROAD
(A 70' RIGHT-OF-WAY)

LOT 4, BLOCK A
GREENWAY KELLER ADDITION
74,594 SF/1.71 AC
SPEC'S
12,180 sf
68 PKG
SPACES

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-278-2948
TX Registration # F-12286

DEVELOPER:
MCCLURE PARTNERS
P.O. BOX 2935
WYLIE, TX 75098

CONCEPT PLAN
SPECS
LOT 4, BLOCK A
GREENWAY KELLER ADDITION
CITY OF KELLER, TEXAS

Scale: 1" = 20'
Designed by: JUV
Drawn by: JNM
Checked by: JUV
688-2444@VSE SITE PLAN.dwg
Date: 02/28/2020

DEVELOPER
MCCLURE PARTNERS
P.O. BOX 2935
WYLIE, TX 75098
PH: (214) 384-3470

ENGINEER
VASQUEZ ENGINEERING, LLC
JUAN J. VASQUEZ, P.E.
1919 S. SHILOH ROAD
SUITE 440, LB 44
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972-278-2948 TELE
972-271-1383 FAX

SHEET
CP1