



DR RANKIN, PLLC
TBPE Firm #8838

February 14th, 2020

Via Email: jducay@cityofkeller.com

City of Keller Planning & Zoning
Attn: JP Ducay
1100 Bear Creek Parkway
Keller, TX 76244

RE: Keller Town Center Addition - Block G, Lot 6 (Site Plan & SUP)

Mr. Ducay,

Attached is our proposed Site Plan and Specific Use Permit revised per city comments. We offer the following written responses to aid staff in their review.

Fire Department

Our proposed development provides an access easement extending to our west property line. This allows the future development west to complete cross access fire lane connections at any point(s) along our west fire lane. We have added notes to our site and paving plans stating this allowance and have illustrated the planned fire lane cross access points of extension on the drawings. The retaining wall is an interim condition and will be removed where cross access paving connections are made by the future development to the west.

Public Works

- Dumpster approach exhibit provided showing truck turning radii. Please note the proposed design is very similar to the existing dumpster enclosure configurations on adjacent lots 4 & 5.
- Irrigation system will be installed per city code. Backflow prevention mechanism required.
- Sidewalk extended to property line. A low wrought iron fence will be installed adjacent to open ditch until adjacent property develops and connects sidewalk and fire lanes.
- Proposed grades along the east building face set a high point at the cross access landing (center of the east façade), the concrete sidewalk slopes down both north and south at 0.8% to sheet flow drainage.
- Drainage calculations expanded to include 1 & 10 year storm events.
- All easements revised to 15ft minimum. Please note that the water easement along the east building face utilizes easement area provided by the existing access, drainage and utility easement dedicated with the lot 5 plat.

Community Development

- No rear landscape buffer required. The dashed line is the drainage easement for the detention pond.
- Exhibits provided to clarify landscape buffer variance request along the Keller Parkway frontage.
- Dumpster enclosure elevations and renderings provided per comment.
- Screening wall note updated per comment.
- Exhibits provided for proposed planters and plant material along building front façade.
- Building elevations revised per comments.

Contact us if there is additional information that we can provide to help facilitate your review.

Respectfully,

Donald R. Rankin, P.E.

DR RANKIN, PLLC

Cc: Todd Ruppenthal (Chapps Investment)

Plotted by: DR. RANKIN Plot Date: 2/14/2020 11:36 AM
Drawing: C:\Land Projects 2006\KELLER-CHP001.dwg Saved By: --- Save Time: 2/14/2020 11:35 AM

Site Plan Notes

- Any revision to this plan will require City approval and will require revisions to any corresponding plans to avoid conflicts between plans.
1. Firelanes and Site paving shall be concrete, designed and constructed per City standards.
 2. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current, adopted International Building Code, ADA and TAS requirements.
 3. Mechanical units, dumpsters and trash compactors shall be screened in accordance with City Ordinance.
 4. All signage contingent upon approval by Building Inspection Department.
 5. Outdoor lighting shall comply with illumination standards within the City Code of Ordinances.

**GREENWAY-KELLER, LP
TRACT I (Remainder)
Instr. #D207093496
3.4624 Acres
(150,823 SF)**

**CROSS ACCESS NOTE:
CROSS ACCESS WITH FUTURE DEVELOPMENT
TO THE WEST ALLOWED THE ENTIRE LENGTH
OF LOT 6 WEST FIRE LANE**

LEGEND

- ⑪ PROPOSED PARKING
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY MANHOLE
- ⊗ PROPOSED WATER METER
- PROPOSED SITE LIGHTING
- ▨ PROPOSED FIRELANE
- ▩ EXISTING FIRELANE
- 725 EXISTING CONTOUR INTERVAL
- ☼ EXISTING LIGHTPOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE W/ GUY WIRE

REVIEWED

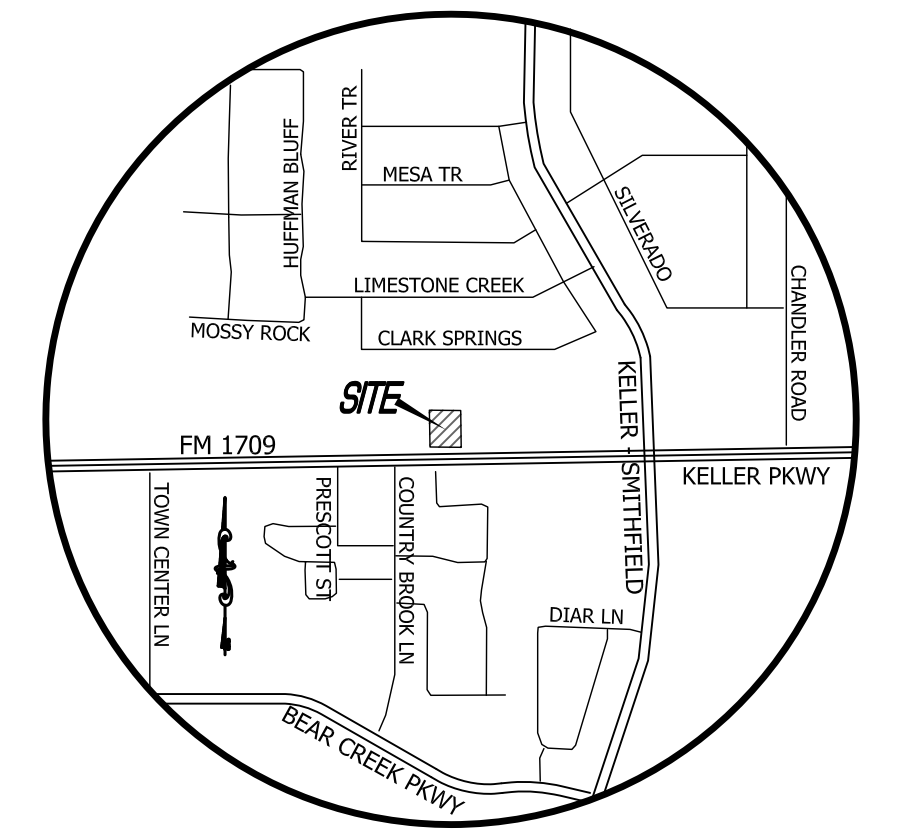
CITY OF KELLER
Date Released for Construction

City Engineer

- FIRE LANE STRIPING REQUIREMENTS:**
- Fire lanes shall be marked with a 6-inch wide continuous bright red stripe on both sides. Striping shall be on the curb face where curb is available.
 - White 4-inch lettering with a 1-inch stroke centered on the red stripe shall read "NO PARKING - FIRE LANE". This lettering shall be painted every 25-feet as measured from the end of one lettering group to the beginning of the next group with a 1-foot space between "NO PARKING" and "FIRE LANE".
 - Bright red paint shall meet TxDOT specification TTP-115.

8 ft Masonry Screening Wall to be Constructed per City Standard Along Lot 6 North Property Line to Match the Screening Wall Constructed w/ Lots 1-5

Saddlebrook Estates
Phase One
Cabinet A, Slide 4425
P.R.T.C.T.



LOCATION MAP
1" = 1000'

PROPOSED WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM.	METER IRR.	SAN. SERVICE SIZE
1	2"	1.5"	X		6"
2	1"	1"	X		N/A

- VARIANCES Requested:**
1. Section 8.03(P.6-Fig 5) Front Yard Landscape Buffer Requirement.
 2. Section 8.03(P.4.c.7): Allow no windows on the North (Rear Façade).
 3. Section 8.03(P.4.c.8): Allow a flat roof.
 4. Section 8.03(P.4.g.8): Eliminate the foundation planting requirement on the front and sides of the building. Developer will provide a minimum of five (5) planter boxes along the front façade.
 5. Section 8.07(G.): Allow three (3) handicap [ADA] parking spaces to be counted toward the overall parking requirement.
 6. Section 8.09(D.6) Table 2: Allow end tenants to have a second Wall Sign on the side of the building in addition to the front sign.

BLOCK G, LOT 6 SITE INFORMATION

LAND AREA: 64,942 SF or 1.491 ACRES
ZONING: TC - TOWN CENTER
PROPOSED USE: RETAIL / RESTAURANT
BUILDING AREA: 9,755 SF
BUILDING HEIGHTS: 26' (1 STORY - Average Height 24.5')
FLOOR TO AREA: 0.15:1 [9,750/64,942]
LOT COVERAGE: 15.0%
PARKING REQUIRED: RETAIL (1,130/200 sf) = 6 SPACES
PARKING REQUIRED: RESTAURANT (6,625/150 sf) = 58 SPACES
PARKING PROVIDED: 64 SPACES
PARKING PROVIDED: 65 TOTAL (62 w/ 3 HANDICAP)
TOTAL IMPERVIOUS SURFACE: 49,581 SF (76.3%)
TOTAL LANDSCAPE AREA: 15,361 SF (23.7%)

ADDITIONAL SITE NOTES:

- No Trees exist on site.
- No 100 year flood plain exists on property.
- All mechanical equipment shall be screened.
- 24 ft wide firelanes to have a minimum 30' inside radius.
- All dimensions are to face of curb or edge of paving unless noted.
- Parking dimensions are 9' x 18' with 2' overhang.
- Parking dimensions are 9' x 20' with NO overhang.
- Concrete pavement construction of all walks, parking & driveways
- Landscape areas not to exceed 3:1 max slope.
- Firelanes not to exceed 6% max slope.

SITE PLAN ~KELLER PLACE~

**KELLER TOWN CENTER ADDITION
BLOCK G, LOT 6
1.491 ACRES ~ PAMELIA ALLEN SURVEY
ABSTRACT #028
KELLER, TARRANT COUNTY, TEXAS
ZONING: TC
(TOWN CENTER)**

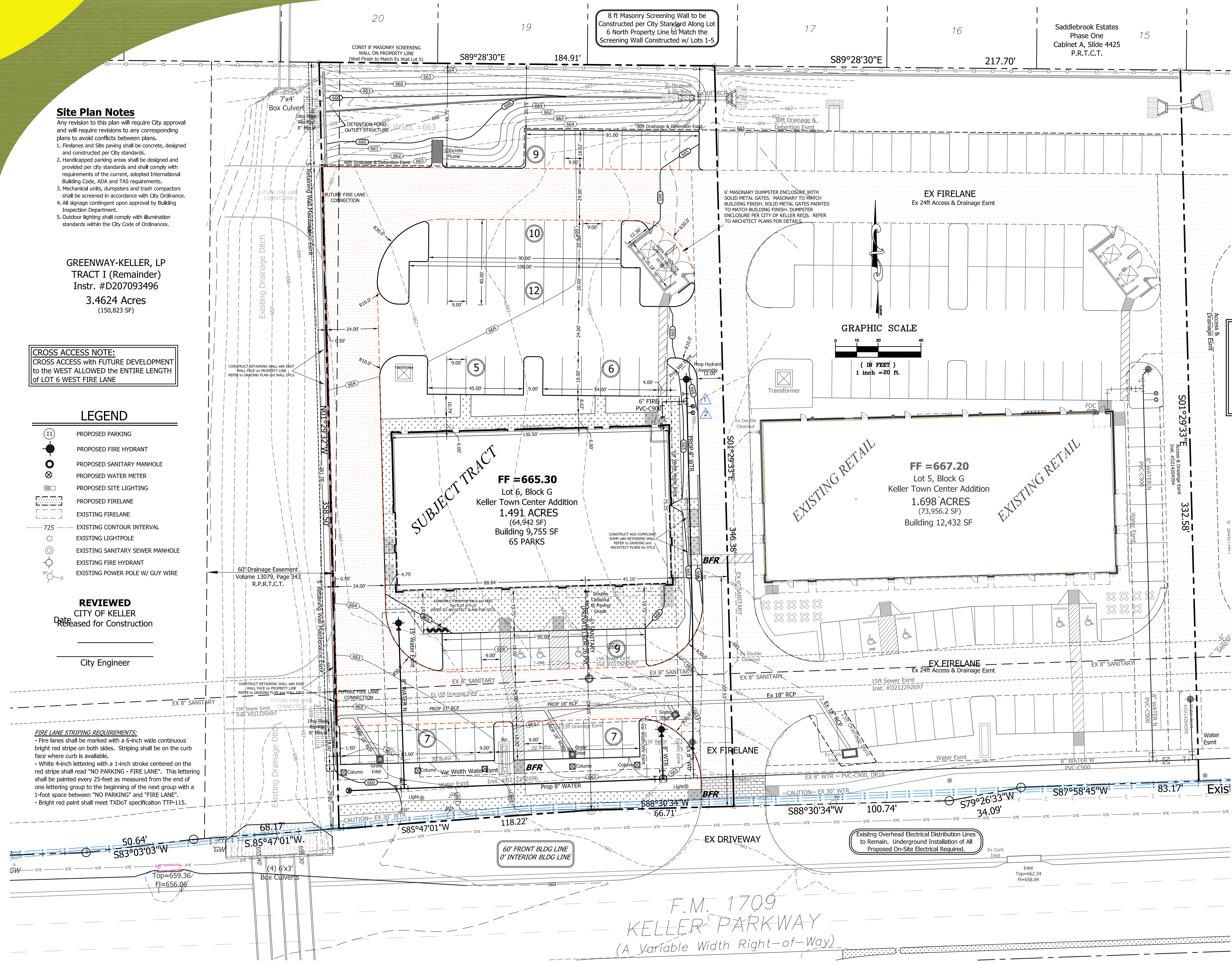
OWNER / DEVELOPER:
CHAPPS INVESTMENTS KELLER
6 JERIMIAH LANE
LADERA RANCH, CA 92694
(305) 610-4392

ARCHITECT:
HODGES & ASSOCIATES
13642 OMEGA DRIVE
DALLAS, TEXAS 75244
(972) 387-1000

CIVIL ENGINEER:
DR RANKIN, PLLC
TBPE FIRM #8838
2321 DAYBREAK TRAIL
PLANO, TEXAS 75093
(972) 378-0683

SURVEYOR:
AJ BEDFORD GROUP, INC.
301 NORTH ALAMO ROAD
ROCKWALL, TEXAS 75087
(972) 722-0225
FAX 0361

Submital: 01-08-20
Revised: 02-14-20



F.M. 1709
KELLER PARKWAY
(A Variable Width Right-of-Way)

Drawing: C:\Land Projects\2006\KELLER-CHP001\CHP001SUP.dwg Saved By: Save Time: 2/14/2020 11:34 AM
 Plotted by: DR. RANKIN Plot Date: 2/14/2020 11:35 AM

Site Plan Notes

Any revision to this plan will require City approval and will require revisions to any corresponding plans to avoid conflicts between plans.

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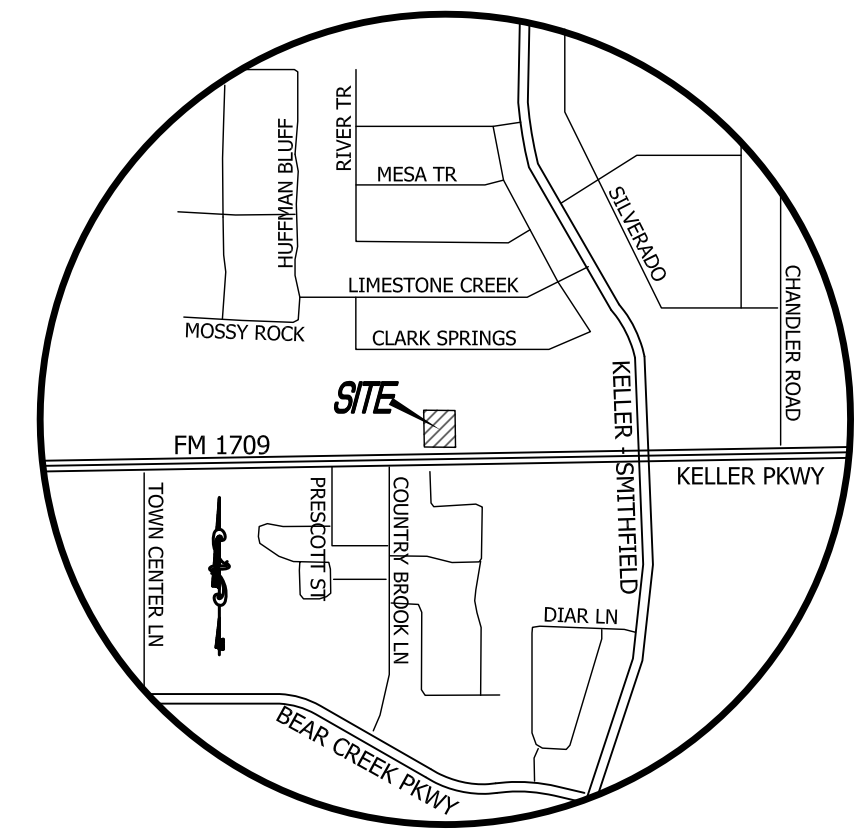
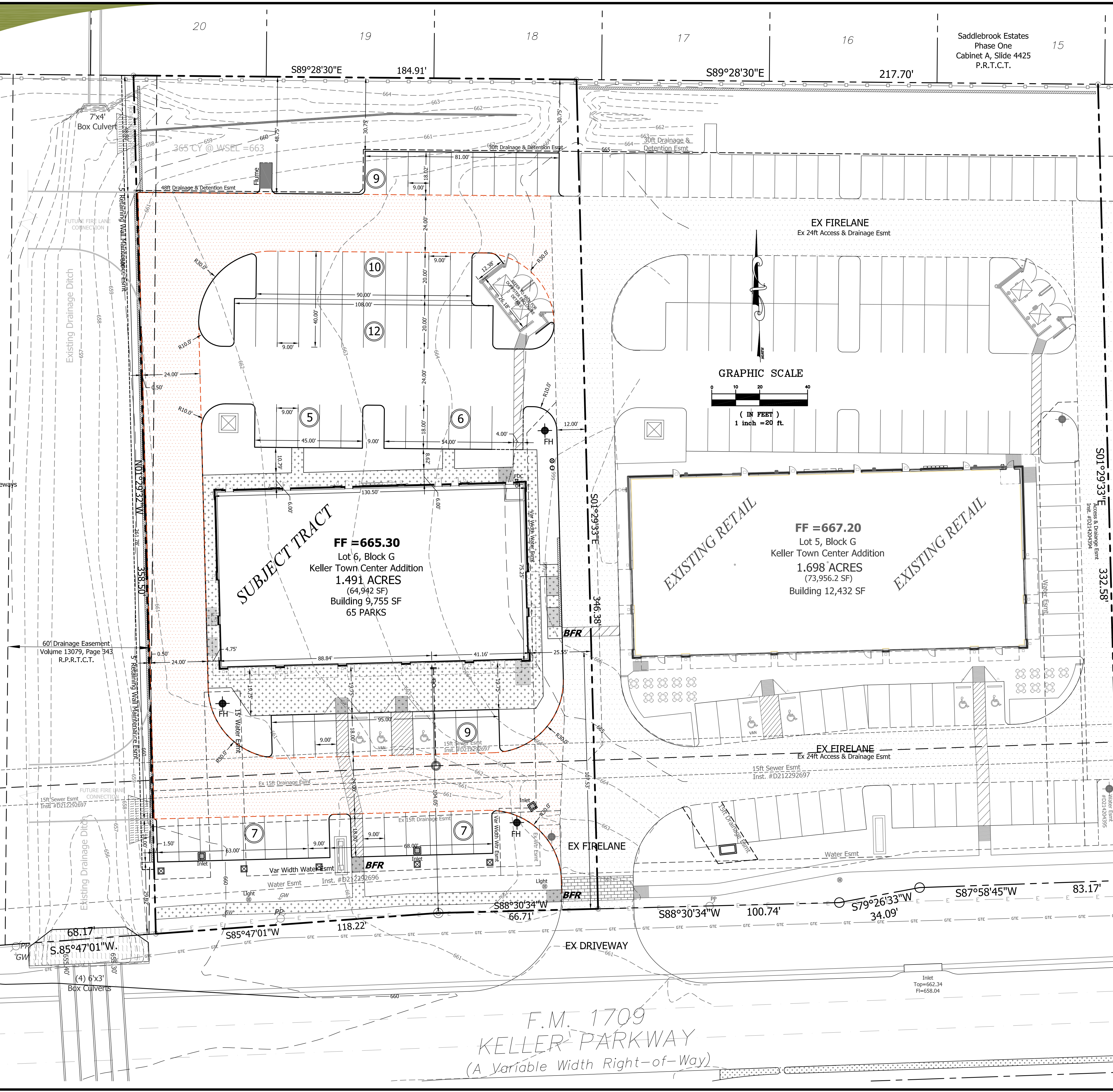
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- All stripes to be painted white within development.
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- ⊗ EXISTING FIRE HYDRANT
- ⊗ EXISTING POWER POLE W/ GUY WIRE

REVIEWED
CITY OF KELLER
 Released for Construction

Date _____
 City Engineer _____



LOCATION MAP
1" = 1000'

LEGAL DESCRIPTION

FIELD NOTE DESCRIPTION
 BEING a 1.491 acre tract of land situated in the PAMELIA ALLEN SURVEY, ABSTRACT NO. 28 in the City of Keller, Tarrant County, Texas and being part of a 8.110 acre tract "Tract 1" to GREENWAY-KELLER, L.P. recorded in clerk file #D207093496 of the Official Public Records of Tarrant County, Texas and being more particularly described as follows:
BEGINNING at an "X" in concrete set for the southwest corner of LOT 5, BLOCK G of KELLER TOWN CENTER recorded in document D216120748 of the Official Public Records of Tarrant County, Texas and being located in the north line of F.M. Road 1709 (Keller Parkway);
THENCE along the north line of said Keller Parkway, SOUTH 88°30'34" WEST a distance of 66.71 feet to a concrete monument found for corner;
THENCE continuing with the north line of said Keller Parkway, SOUTH 85°47'01" WEST a distance of 118.22 feet to a 5/8 inch iron rod set for corner;
THENCE departing the north line of said Keller Parkway, NORTH 01°29'33" WEST a distance of 358.50 feet to a 5/8 inch iron rod set for corner in the south line of SADDLE BROOK ESTATES, PHASE ONE recorded in Cabinet A, Slide 4425;
THENCE along the south line of said SADDLE BROOK ESTATES, PHASE ONE, SOUTH 88°28'30" EAST a distance of 184.91 feet to a 5/8 inch iron rod set for corner;
THENCE departing the south line of said SADDLE BROOK ESTATES, PHASE ONE, SOUTH 01°29'33" EAST a distance of 346.38 feet to the POINT OF BEGINNING;
CONTAINING within these metes and bounds 1.491 acres or 64,942 square feet of land more or less.

SPECIFIC USE PERMIT REQUEST to ALLOW
SINGLE STORY (1) BUILDING CONSTRUCTION
within TC ZONING (TOWN CENTER) DISTRICT

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SPECIFIC USE PERMIT
~KELLER PLACE~

KELLER TOWN CENTER ADDITION
BLOCK G, LOT 6
1.491 ACRES ~ PAMELIA ALLEN SURVEY
ABSTRACT #028
KELLER, TARRANT COUNTY, TEXAS
ZONING: TC
(TOWN CENTER)

OWNER / DEVELOPER:
 CHAPPS INVESTMENTS KELLER
 6 JERIMIAH LANE
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ARCHITECT:
 HODGES & ASSOCIATES
 13642 OMEGA DRIVE
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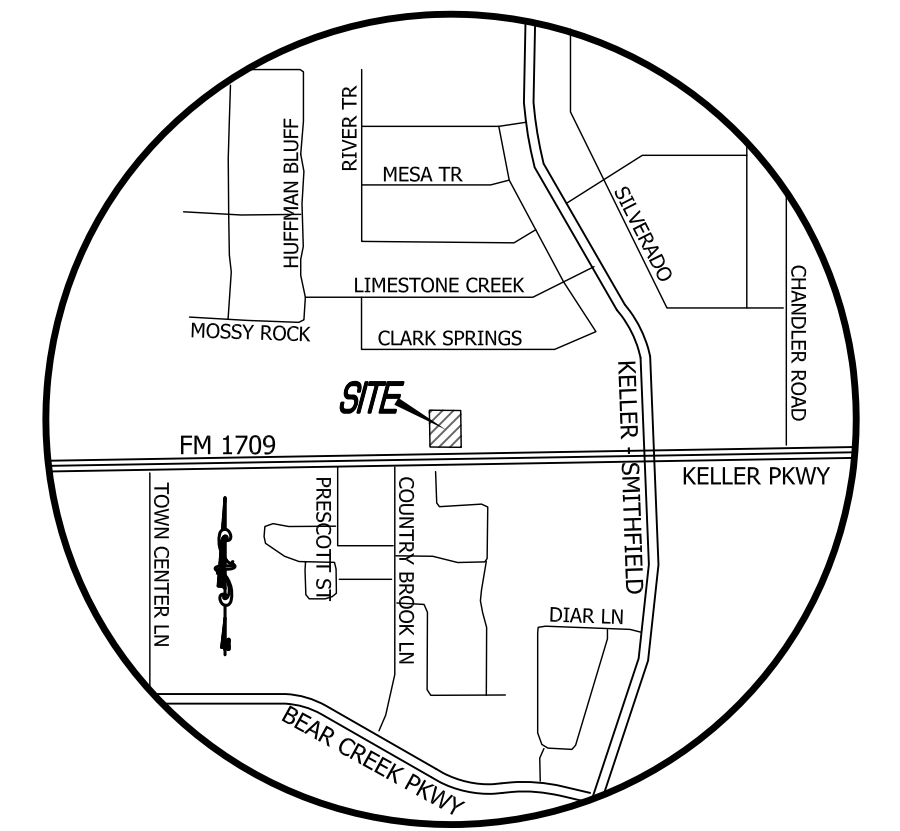
CIVIL ENGINEER:
 DR RANKIN, PLLC
 TBPE FIRM #8838
 2321 DAYBREAK TRAIL
 PLANO, TEXAS 75093
 (972) 378-0683

SURVEYOR:
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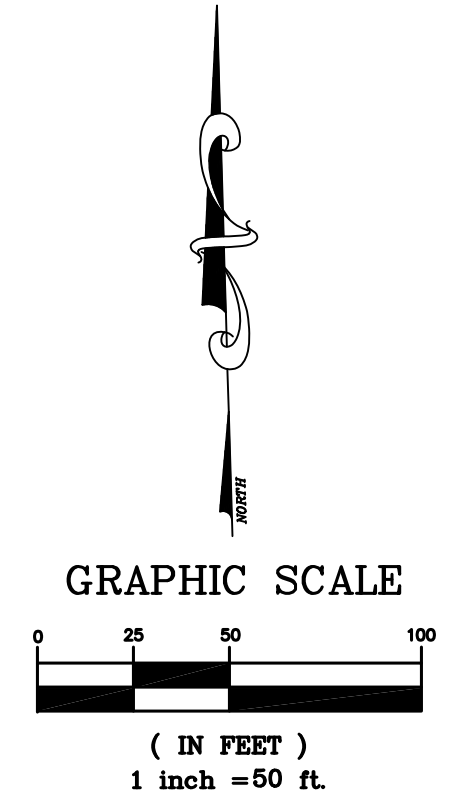
Submittal: 01-08-20
 Revised: 02-14-20

Plotted by: DR RANKIN Plot Date: 12/23/2019 12:17 PM

Drawing: C:\Land Projects 2006\KELLER-CHP001\CHP001AERIAL.dwg Saved By: --- Save Time: 12/23/2019 12:16 PM



LOCATION MAP
1" = 1000'



GENERAL NOTE:
All materials and construction shall conform to the City of Keller Standard Construction Details for paving, drainage, water & sanitary sewer facilities and shall be installed in accordance with City specifications and north Texas standard specifications for public works construction published by NCTCOG. These specifications shall be considered a part of the site construction plans.

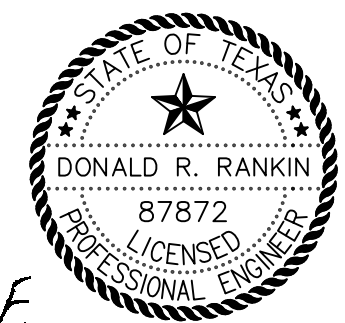
CITY CONSTRUCTION NOTES GOVERN PUBLIC IMPROVEMENTS

BENCHMARKS:
Bm #1 - City Bersten Top Security Monument with access cover, located in the median of Bear Creek Parkway, approx. 16ft east of the bridge over Bear Creek. (Posted Elevation = 634.72')
BASIS OF BEARINGS - Special Warranty Deed, Recorded in Document No. D207093496, Deed Records, Tarrant County, Texas.

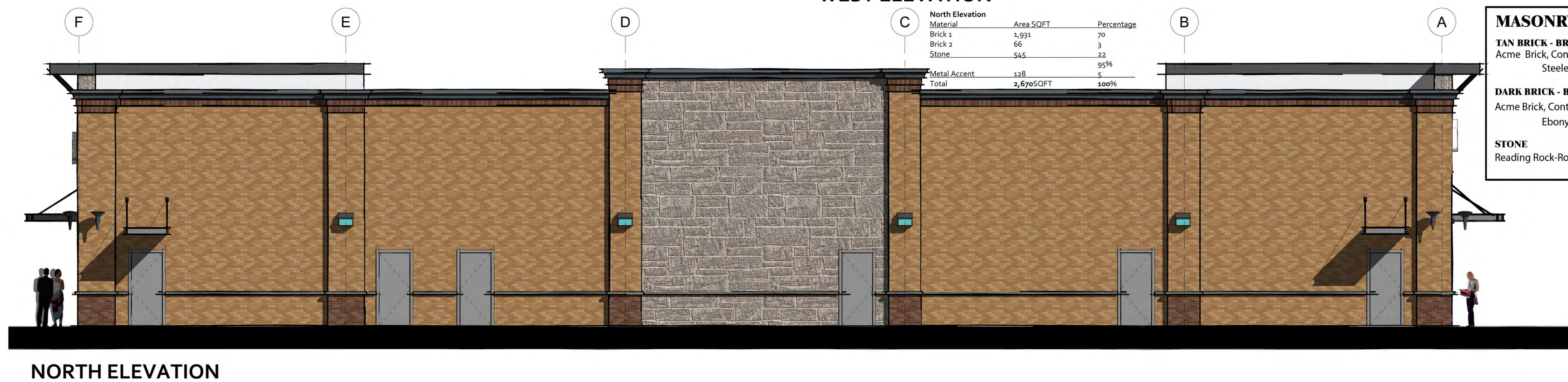
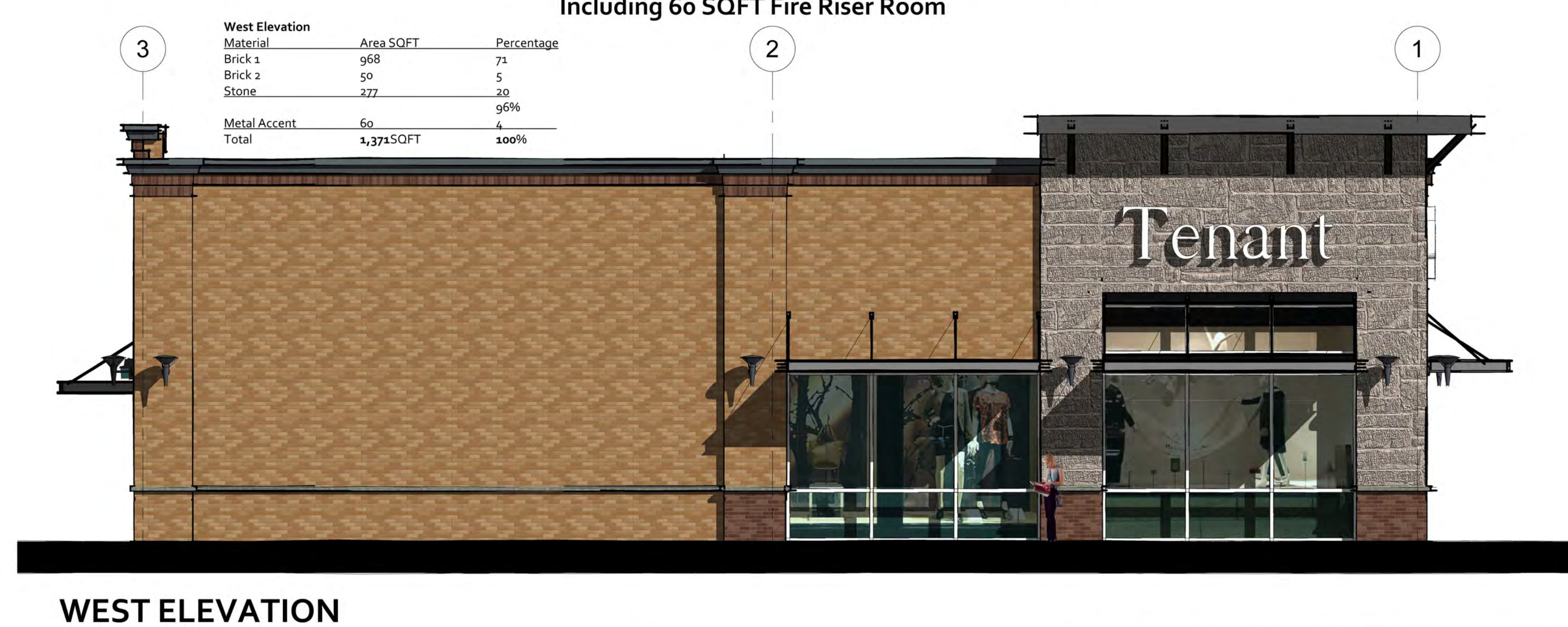
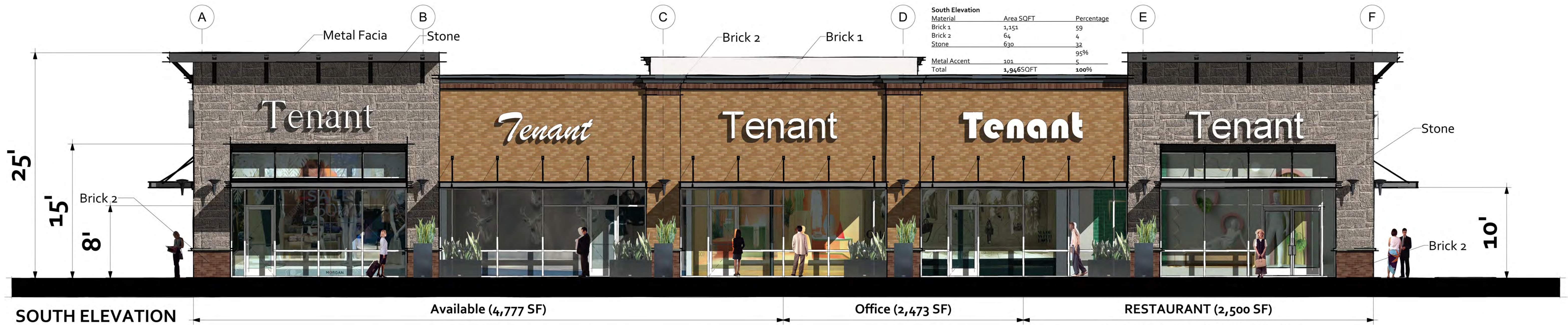
#	PLAN REVIEW REVISIONS	BY	DATE
0	Owner Coordination	DRR	11-04-19
1	Site Plan & SUP Application	DRR	01-08-20
#	CONSTRUCTION REVISIONS	BY	DATE

DR RANKIN, PLLC
 Civil Engineering 2321 Daybreak Trail
 Land Development Plano, Texas 75093
 ~Consulting 972 378 0683
 ~Design TBPE Firm #8838

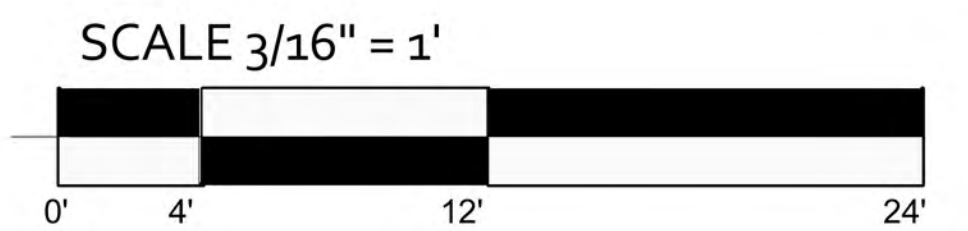
Preliminary Only:
 The seal appearing on this document was authorized by Donald R. Rankin, P.E. 87872 on 01-08-20. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act.
Don Rankin P.E.



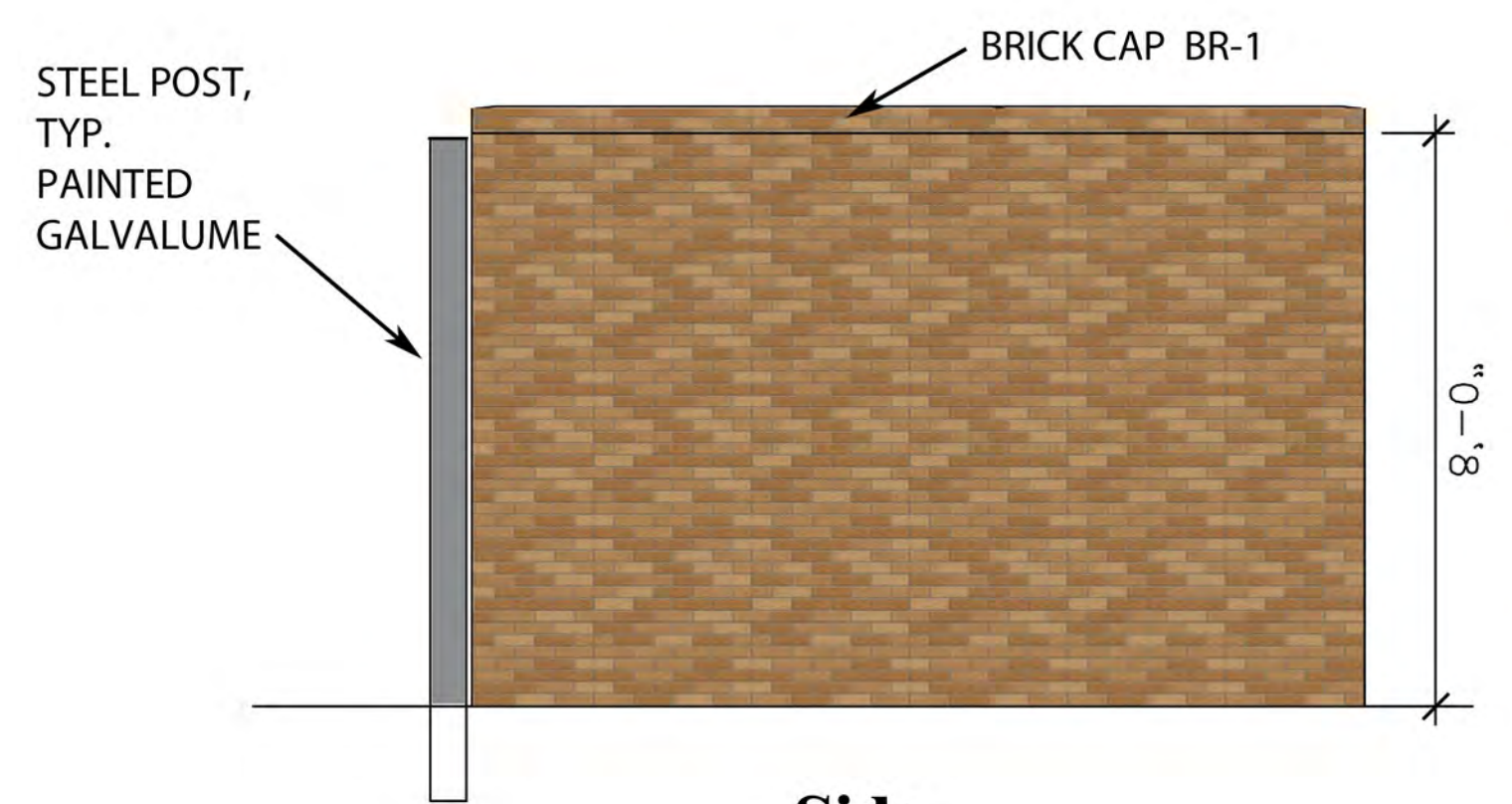
AERIAL EXHIBIT	PROJECT
LOT 6, BLOCK G	CHP001
KELLER TOWN CENTER ADDITION	SHEET
KELLER PLACE	1 of 1
KELLER, TARRANT CO, TX	



MASONRY INFORMATION	
TAN BRICK - BRICK 1	Acme Brick, Contact: Brad Burks (817)-685-9541 Steele Gray; Smooth; King
DARK BRICK - BRICK 2	Acme Brick, Contact: Brad Burks (817)-685-9541 Ebony; Smooth; King
STONE	Reading Rock-Rock Cast, Contact: Brad Burks (817)-685-9541 Commonwealth Gray; Chisel



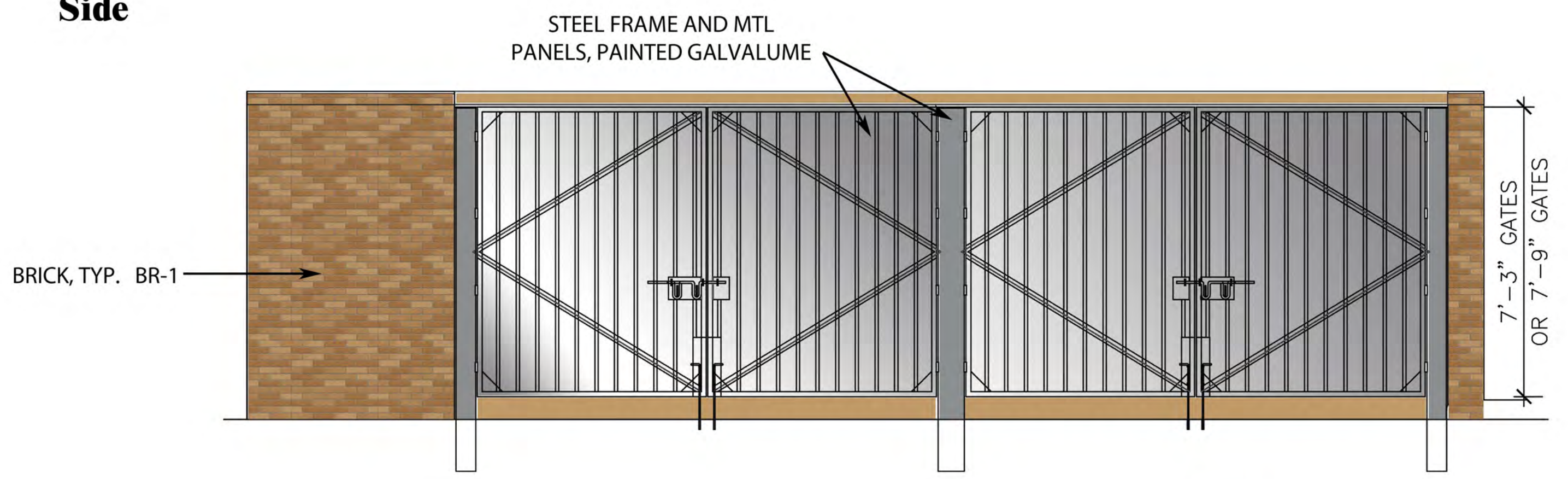
Keller Marketplace Elevations



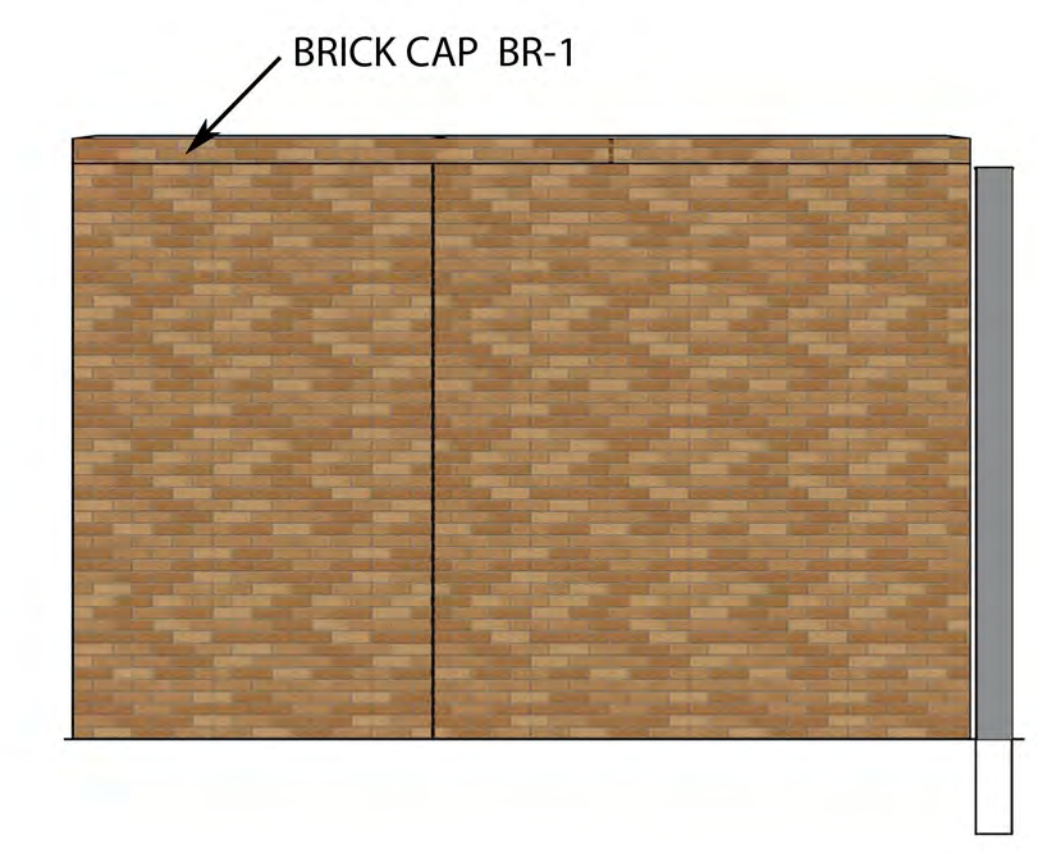
Side



Back



Double Front



Side

MASONRY INFORMATION

TAN BRICK - BRICK 1
Acme Brick, Contact: Brad Burks (817)-685-9541
Steele Gray; Smooth; King

DARK BRICK - BRICK 2
Acme Brick, Contact: Brad Burks (817)-685-9541
Ebony; Smooth; King

STONE
Reading Rock-Rock Cast, Contact: Brad Burks (817)-685-9541
Commonwealth Gray; Chisel

NOTE: Full details of dumpster enclosure complying with the standards of the UDC will be provided in the construction set

Dumpster Elevation



Keller Marketplace Elevations



DR RANKIN, PLLC
TBPE Firm #8838
January 8th, 2020
Via Hand Delivery

City of Keller Planning & Zoning
1100 Bear Creek Parkway
Keller, TX 76244

**RE: Keller Town Center Addition
Proposed Lot 6, Block G
Site Plan Variance Request**

To Whom It May Concern:

Per the City's Unified Development Code for the Town Center zoning district, the site and building design elements listed below are not in compliance with zoning district's design criteria.

- **Landscape Buffer along FM 1709:** Due to the FM1709 variable width right-of-way (specifically the distance from Keller Parkway north curb line to the Town Center Addition property line) and the previously established front commercial drive and streetscape alignments on the adjacent lots (First Financial, Freddy's, Sherwin Williams and Keller Market Place Lot 4 & Keller Market Place Lot 5), a reduction in landscape buffer width from 30' to 24' wide near the subject lot's southeast corner will maintain the existing streetscape geometry along the north side of FM1709. Please note that this will be the last lot requiring this variance request. The required landscape buffer can be met by all remaining lots to the west while maintaining the streetscape alignments established by the existing Keller Town Center development. In reference to UDC 803 P.6-Fig 5, a Variance is requested for this reduction in landscape buffer width.
- **Allow No Windows on North (rear) Facade:** The proposed building's north face is adjacent to the Saddlebrook residential subdivision. Out of respect for the neighbor's, our design will focus the retail activity to the front of the building. This has been done previously for other nearby buildings, per UDC 803 P.4.c.7,
- **Flat Roof design in lieu of sloped:** The proposed building has parapet height changes, cornices, and shed type sloped standing seam metal awnings. As has been done previously for other nearby buildings, per UDC 803 P.4.c.8, a Variance for a flat roof (hidden behind the parapets) is requested.
- **Required landscape plantings adjacent to the building's foundation:** Foundation plantings described in UDC 803 P.4.g.8 can create non-uniform moisture conditions in soils immediately adjacent to the building foundation and flatwork at front entry doors. We request a Variance to eliminate the foundation plantings in lieu of five (5) planter boxes along the proposed store front.
- **Handicap Parking:** Per UDC 807 G, Allow three handicap parking stalls to be counted as parking provided.
- **Attached Building Signage:** Per UDC 809 K.2.b, only one attached building sign per tenant is allowed unless the building is located on a street corner. We request a Variance which will allow our corner tenants one additional attached sign on each building side (east/west).

Please consider this letter as our formal request for these site and building design variances.

Respectfully,

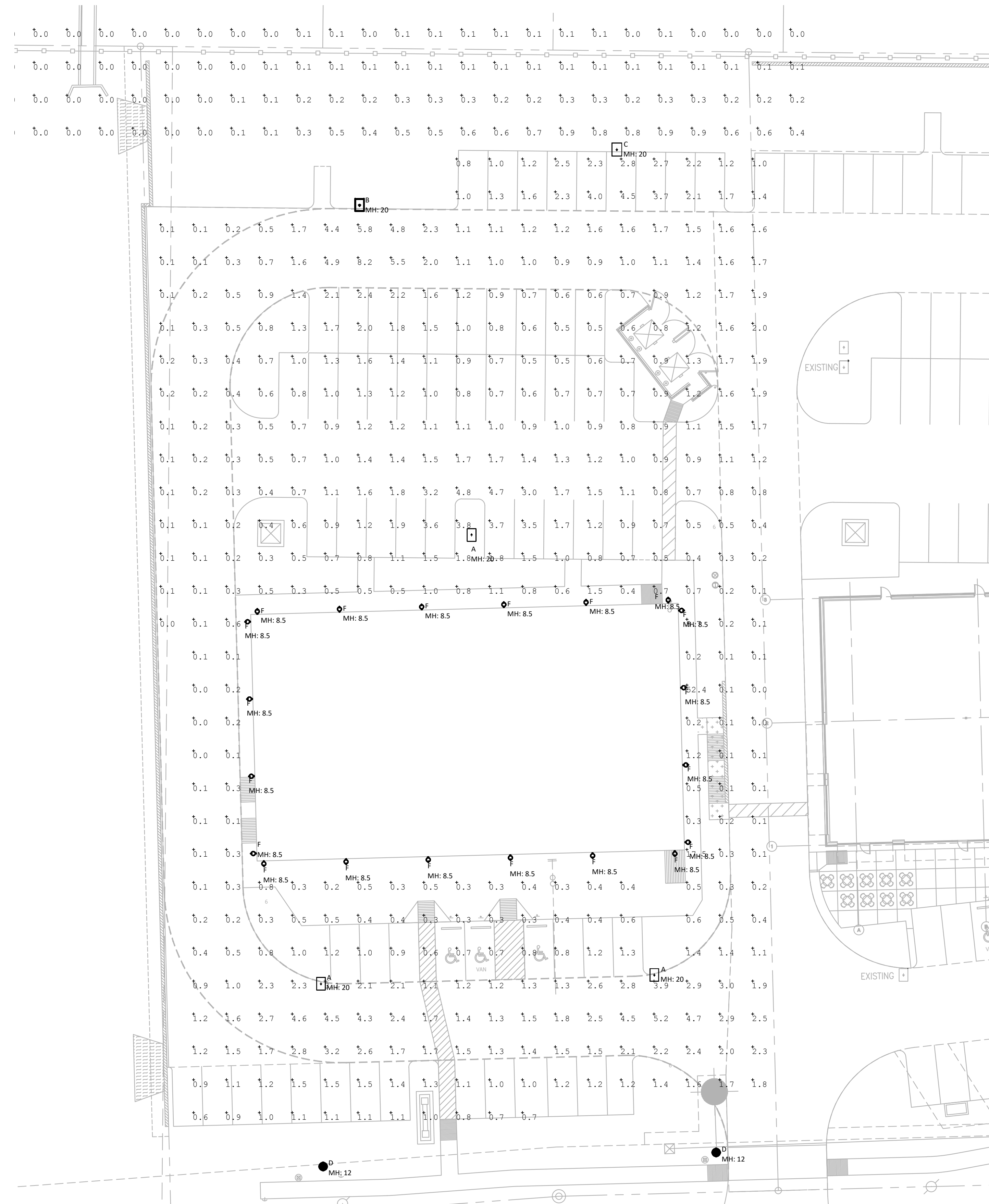
Donald R. Rankin, P.E.
DR RANKIN, PLLC

PARKING LOT LIGHT FIXTURE SCHEDULE						
TYPE	MANUFACTURER	NUMBER OF FIXTURES PER POLE	LAMPS NO.	LAMPS TYPE	VOLTS	REMARKS
A	KIM LIGHTING AR3E35-120L4K	1	-	129W LED	208	TYPE III AREA LUMINAIRE MOUNTED TO 17.5' POLE ON 2.5' FOOTING. TOTAL MOUNTING HEIGHT OF 20'.
B	KIM LIGHTING AR3E35-120L4K	2	-	129W LED	208	(2) TYPE III AREA LUMINAIRES MOUNTED TO 17.5' POLE ON 2.5' FOOTING. TOTAL MOUNTING HEIGHT OF 20'.
C	KIM LIGHTING AR3E35-120L4K-NFO	1	-	129W LED	208	TYPE III AREA LUMINAIRE WITH NEIGHBOR FRIENDLY OPTIC MOUNTED TO 17.5' POLE ON 2.5' FOOTING. TOTAL MOUNTING HEIGHT OF 20'.
D	CONFIRM MODEL / MANUFACTURER WITH CITY	1	-	100W HPS	208	ARCHITECTURAL PEDESTRIAN POLE WITH 100W HPS BULB MOUNTED ON 12.5' POLE.
F	HYDREL LOWELL-2/9LED38-40K-120-NFL-CNS-C2-DNA	1	-	12W LED	208	ARCHITECTURAL DECORATIVE WALL SCONCE WITH NARROW FLOOD DISTRIBUTION.

Calculation Summary										
Label	CalcType	Units	PtSpLr	PtSpTb	Avg	Max	Min	Avg/Min	Max/Min	Description
NEIGHBORHOOD BORDER_Planar	Illuminance	Fc	10	10	0.17	0.9	0.0	N.A.	N.A.	Readings taken at grade level
Overall Area	Illuminance	Fc	10	10	1.36	52.4	0.0	N.A.	N.A.	Readings taken at grade level
Lot 6 - Rear parking spaces only	Illuminance	Fc			1.60	8.2	0.5	3.20	16.40	Readings taken at grade level
Lot 6 - Front parking spaces only	Illuminance	Fc			1.44	4.5	0.6	2.40	7.50	

- NOTES:
- 1) Fixture Mounting Heights (MH) are indicated next to each fixture.
 - 2) All fixtures labeled with "_alt" indicates an alternative fixture different from what was listed in the fixture schedule received was used in this calculation
 - 3) Interior reflectances 80/50/20; exterior reflectances 20% UON.
 - 4) Quantity (QTY) indicated on HLA Luminaire Schedule is for what is included in this calculation study only - Not final counts.
 - 5) Contractor to verify exact fixture quantities and fixture run lengths before ordering.

The Intent of this calculation report is to show estimated light levels of the given lighting layout. It is provided using Fixture Photometrics (IES files) furnished by the Manufacturers. The Manufacturer is responsible for the validity, integrity, and organization of IES files. The use of this calculation report for any other purpose is not authorized by Hossley Lighting Associates.



01 PHOTOMETRIC PLAN
SCALE : 1"=20'-0"

KELLER RETAIL BUILDING
RESTAURANT BUILDING
 KELLER PKWY. - LOT 6, BLOCK 'G'
 KELLER, TEXAS 76248



Project Number:
18103-01

Drawn By: JEP
Checked By: SM

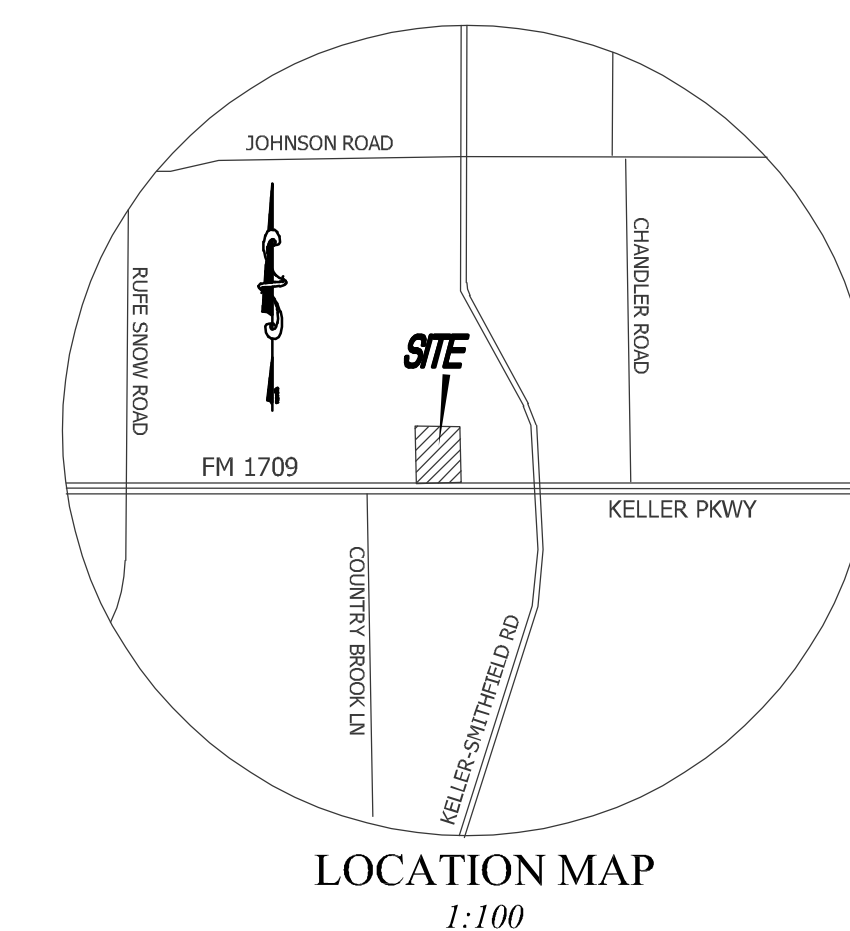
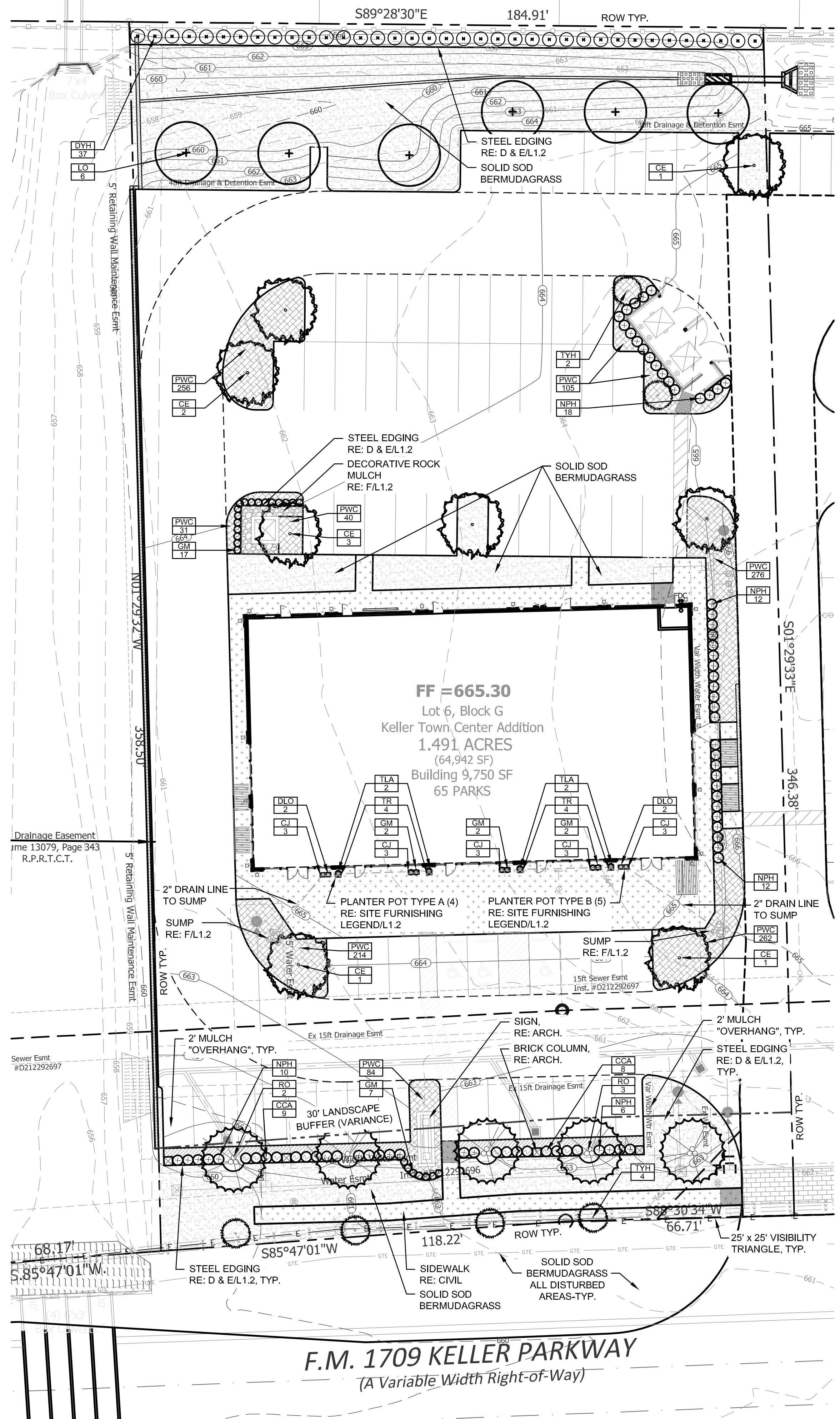
Issue Log		
No	Description	Date
1	SITE PLAN APPLICATION	01.08.20

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INTERIM REVIEW DOCUMENTS
THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW AND IS ISSUED UNDER THE AUTHORITY OF KEITH W. GASSMAN, P.E. (P.E.#89636) ON 01.08.2020. THIS DOCUMENT IS NOT INTENDED TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT SUBMITTAL.

SALASOBRIEN
Houston | Dallas/Ft. Worth | Baton Rouge
106 Decker Drive, Suite 200
Irving, Texas 75062
972.812.1270 | Registration No. F-4111
Silas O'Brien Project No.

E1.2
PHOTOMETRIC PLAN



CITY OF KELLER - TOWN CENTER LANDSCAPE ORDINANCE

CATEGORY	REQUIRED	PROVIDED
TREE PRESERVATION	ALL TREES PRESERVED	THERE ARE NO EXISTING TREES ON SITE.
STREET LANDSCAPE BUFFER (184 LF)	A ROW OF RED OAKS, MIN. (4") CALIPER, MATCHED WITH A ROW OF TREE YAUPON HOLLY, 30'-0" O.C. ALONG FM 1709 / KELLER PARKWAY.	5-RED OAKS AND 4 (ONE FEWER DUE TO VISIBILITY TRIANGLE) TREE YAUPON HOLLIES PROVIDED @ 30' O.C.
PARKING LOT TREES (65 SPACES)	1-LARGE TREE FOR EACH 12 PARKING SPACES (6-LARGE TREES REQUIRED)	9-LARGE TREES AND 2 SMALL TREES PROVIDED
OFF-STREET PARKING AREAS ADJACENT TO STREETS	ALL OFF-STREET PARKING AREAS ADJACENT TO STREETS SHALL BE SCREENED BY A SOLID ROW OF EVERGREEN SHRUBS, TO CREATE A (3') EVERGREEN HEDGE, AND BRICK COLUMNS WITH STONE CAPS, THIRTY FEET (30') O.C.	PROVIDED
FOUNDATION PLANTING	A MIN. (5') FOUNDATION PLANTING SHALL BE PROVIDED ALONG THE FRONT AND SIDES OF ALL BUILDINGS AND PARKING STRUCTURES.	NOT PROVIDED RE: VARIANCE ITEM
PARKING INTERIOR	TWENTY-FIVE (25) SQUARE FEET OF LANDSCAPED AREA SHALL BE PROVIDED FOR EACH SURFACE PARKING SPACE. - 65 PARKING SPACES x 25 S.F. = 1,625 S.F.	2,035 S.F. OF LANDSCAPE AREA PROVIDED
IRRIGATION	ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH A COMPLETE AND AUTOMATIC IRRIGATION SYSTEM	DETAILED IRRIGATION PLANS WILL BE SUBMITTED WITH CONSTRUCTION DOCUMENTS
MAINTENANCE	ALL LANDSCAPE AREAS WILL BE MAINTAINED PER CITY STANDARDS	ALL LANDSCAPE AREAS WILL BE MAINTAINED PER CITY STANDARDS

PRIME CONSULTANT
LANDSCAPE ARCHITECT

DCBA
 LANDSCAPE ARCHITECTURE
 dcbadesign.com
 730 EAST PARK BOULEVARD • SUITE 100
 PLANO, TX 75074 • TEL. (972) 509-1266

IRRIGATION DESIGNER
SETH HEIDMAN
 IRRIGATION DESIGN AND CONSULTING
 6009 W. PARKER ROAD #149-221
 PLANO, TX 75093
 PHONE: (972) 816-5141

PROJECT

KELLER TOWN CENTER ADDITION, BLOCK G - LOT 6 KELLER, TEXAS

SEAL

SHEET TITLE

LANDSCAPE PLAN

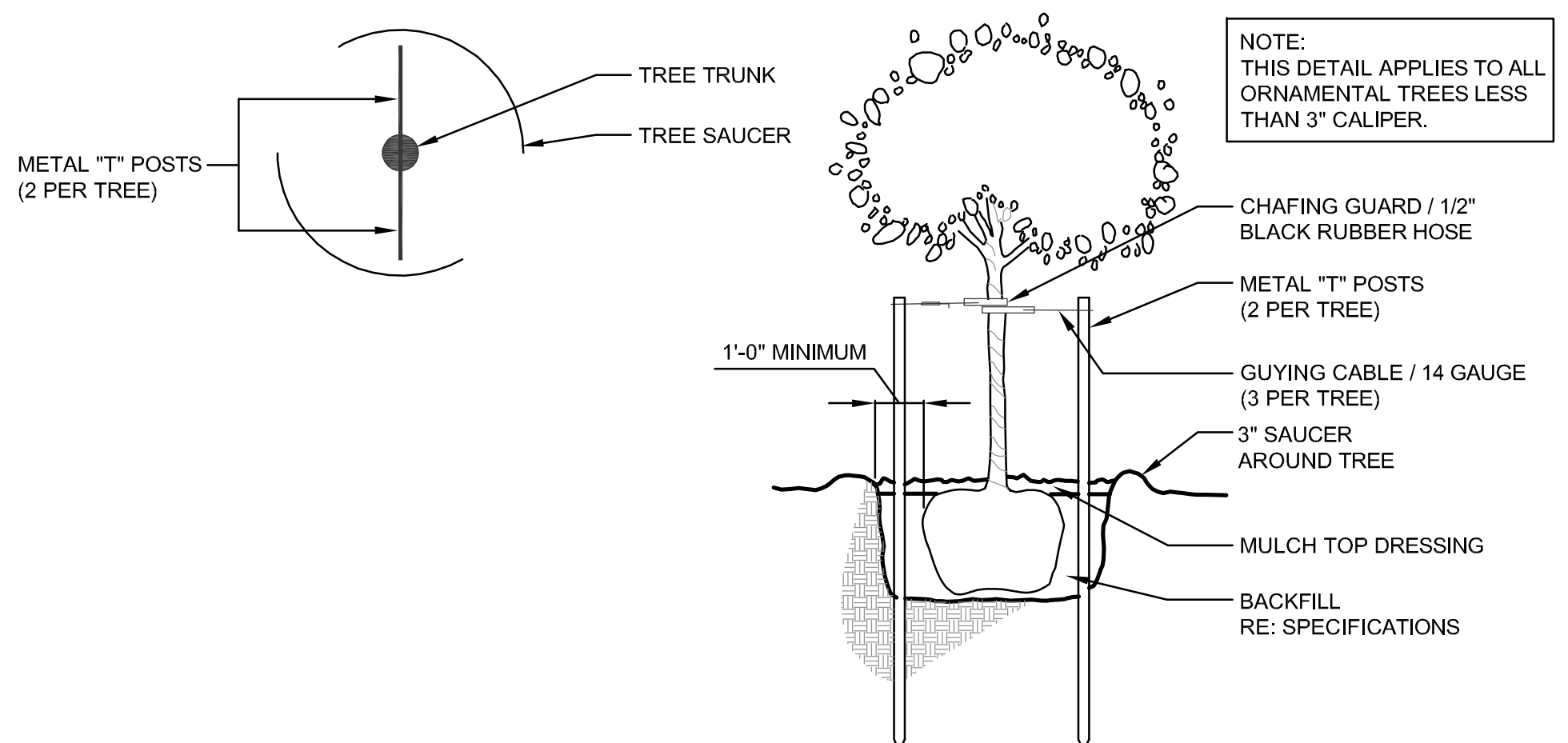
PROJECT MANAGER: bju PROJECT DESIGNER: bju
 DRAWN BY: bju CHECKED BY: bju
 ISSUE DATE: 02/27/20 SCALE: AS NOTED

SHEET No.

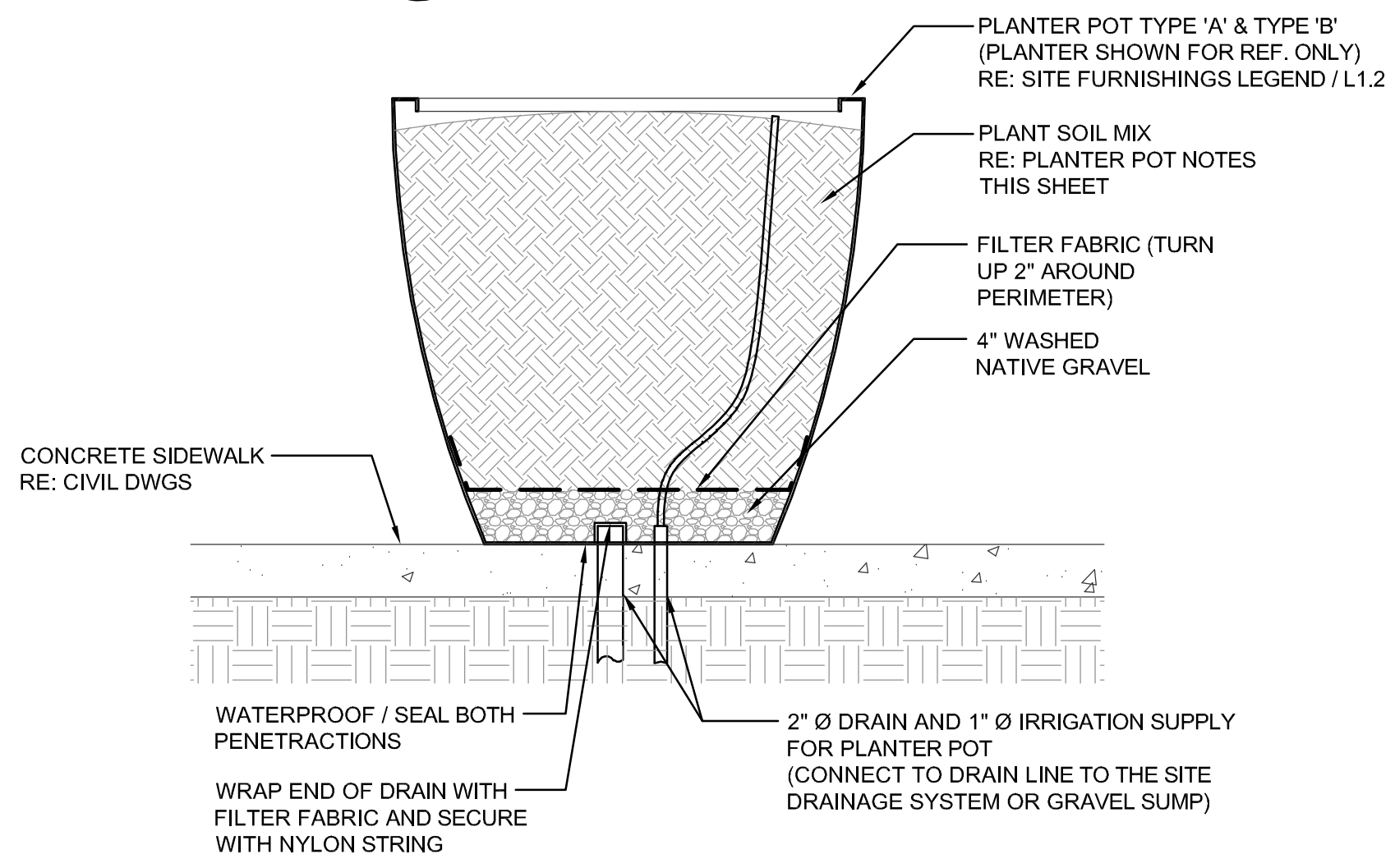
A LANDSCAPE PLAN
 SCALE: 1"=20'-0"
 PLAN

0 10 20 40
 (FEET)
 1 inch = 20 ft.

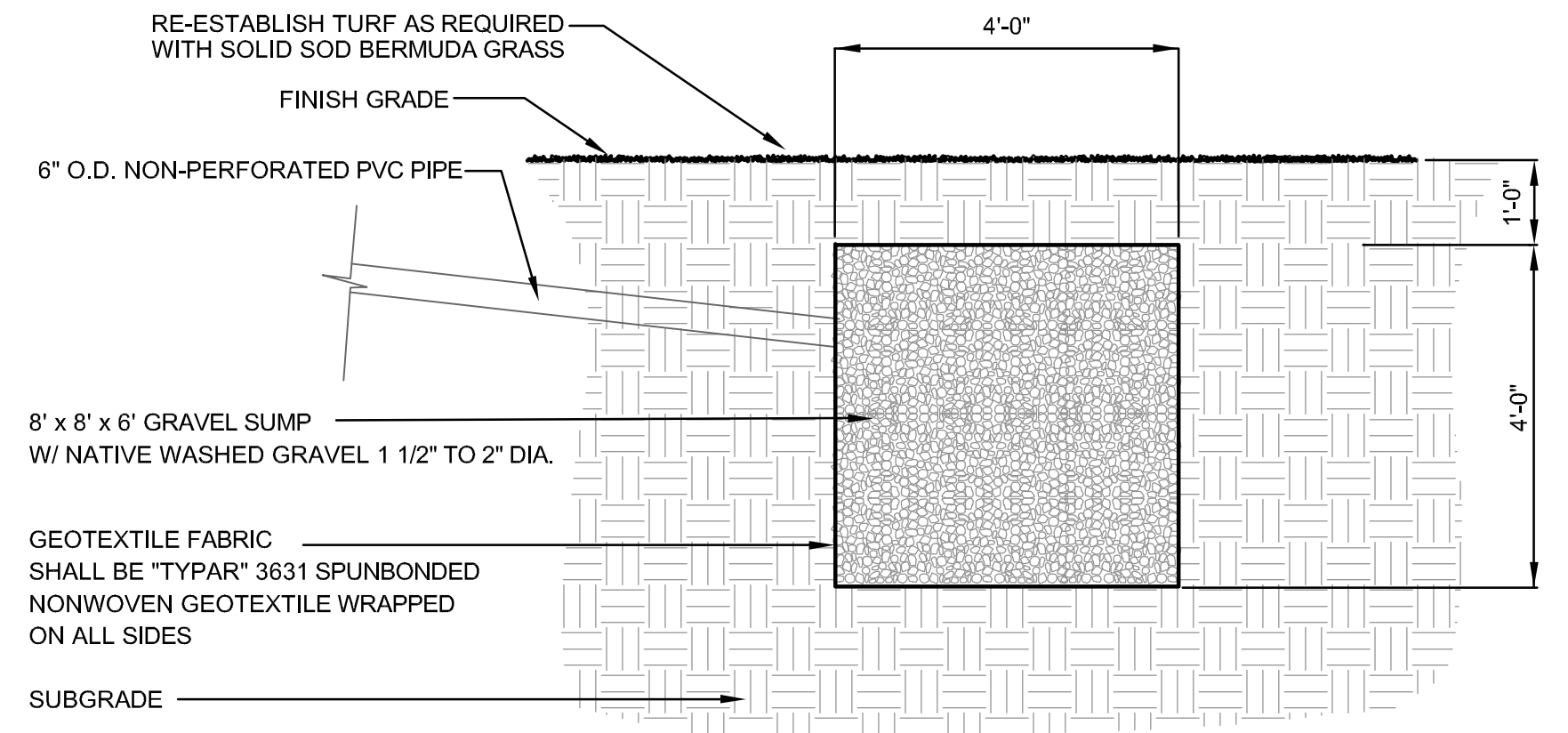
F.M. 1709 KELLER PARKWAY
 (A Variable Width Right-of-Way)



B TREE STAKING DETAIL
SCALE: N.T.S. SECTION/ELEVATION

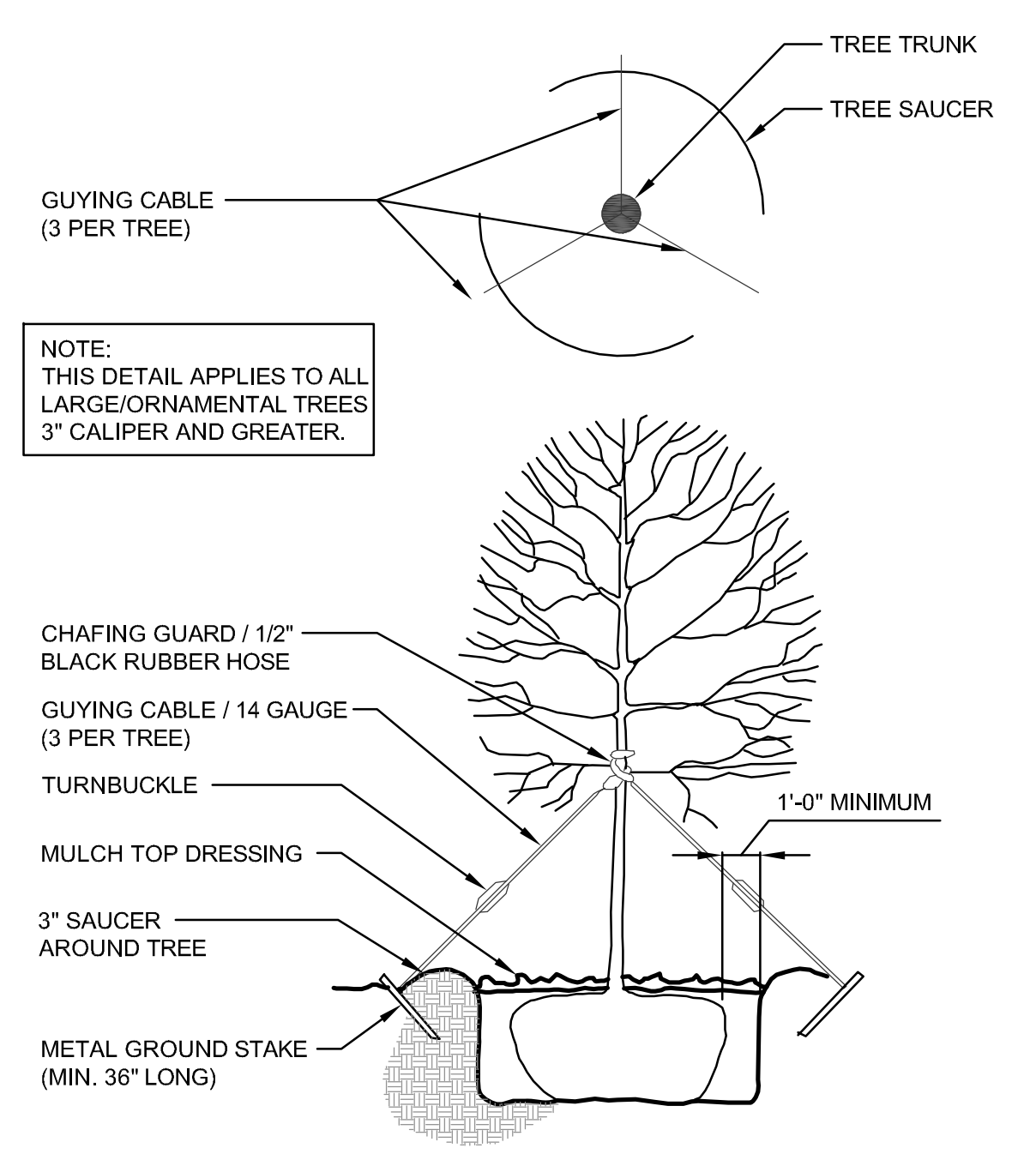


G PLANTER POT
SCALE: N.T.S. SECTION/ELEVATION

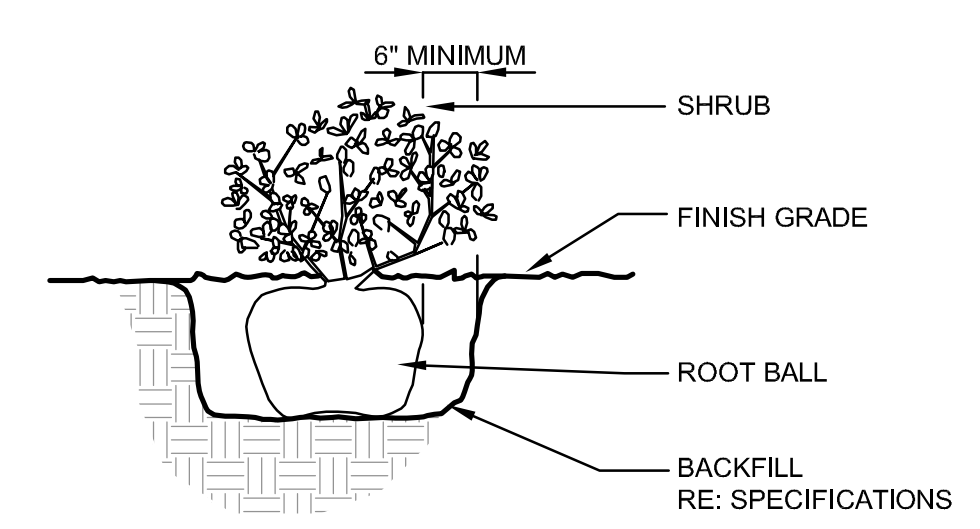


F SUMP
SCALE: N.T.S. SECTION

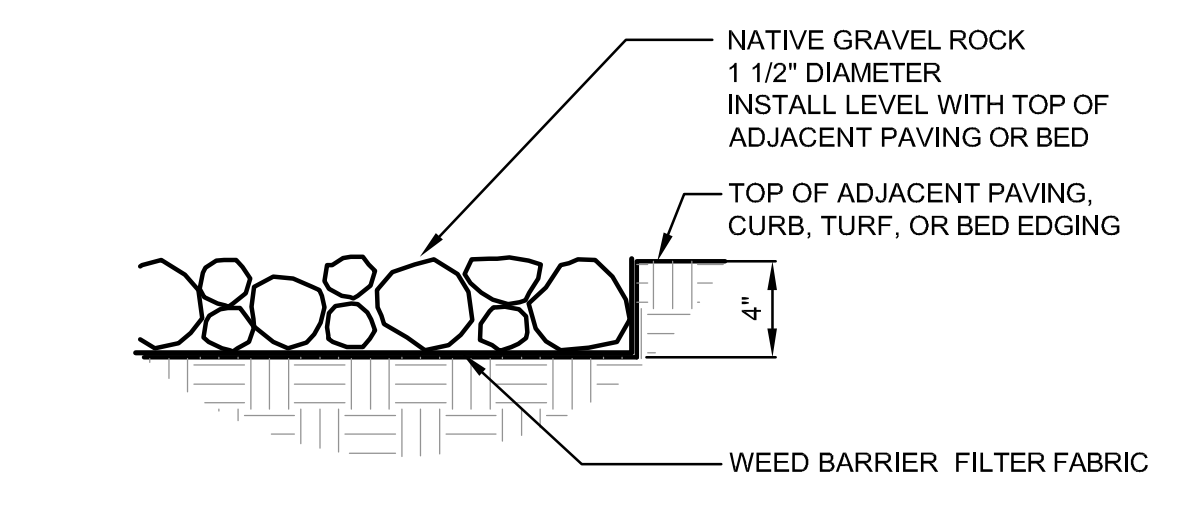
SITE FURNISHING LEGEND			
KEY	QUANTITY	DESCRIPTION	REPRESENTATIVE
PLANTER POT TYPE 'A' "PEDESTAL"	4	VERADECK OUTDOORS "PEDESTAL" STEEL PLANTER: 17"x17"x40" TALL METALLIC SERIES COLOR: GRAY OR BLACK POWERCOAT	VERADECK OUTDOORS 1-888-538-5552 INFO@VERADECK.COM
PLANTER POT TYPE 'B' "LONG BOX"	5	VERADECK OUTDOORS "LONG BOX" STEEL PLANTER: 38"x15"x16" TALL METALLIC SERIES COLOR: GRAY OR BLACK POWERCOAT	VERADECK OUTDOORS 1-888-538-5552 INFO@VERADECK.COM



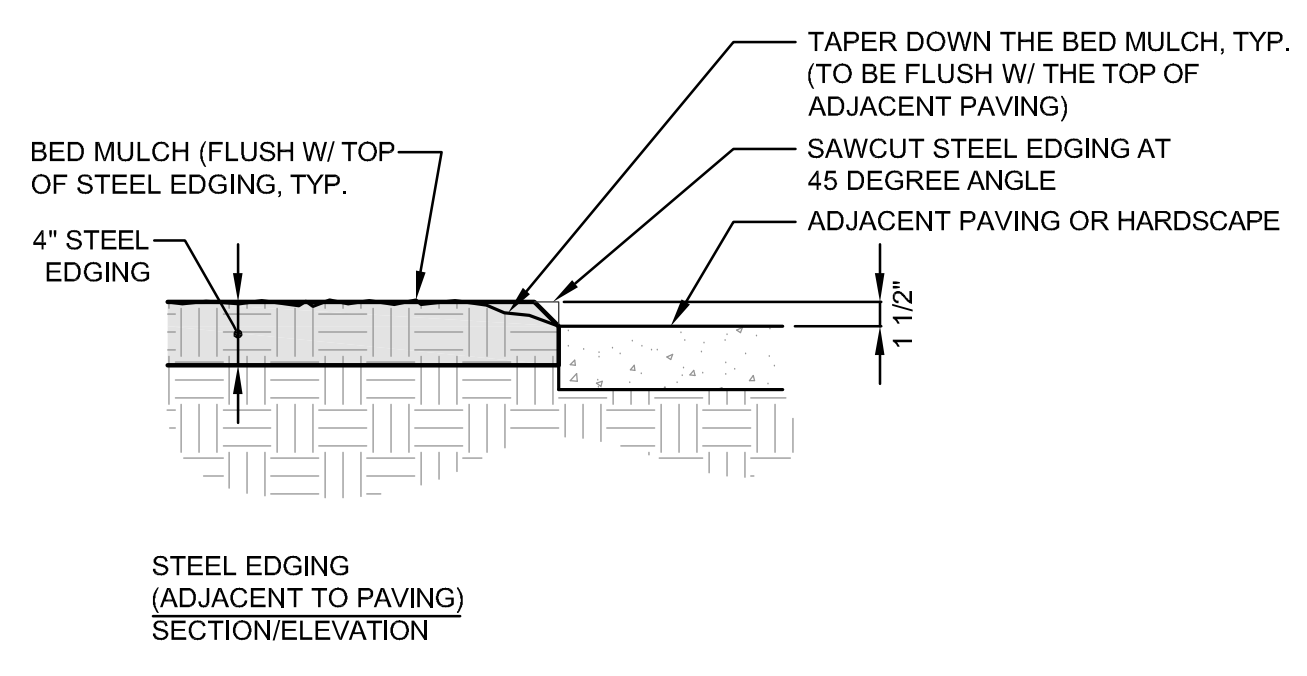
A TREE GUYING DETAIL
SCALE: N.T.S. SECTION/ELEVATION



C SHRUB PLANTING DETAIL
SCALE: N.T.S. SECTION/ELEVATION



E DECORATIVE ROCK MULCH
SCALE: N.T.S. SECTION

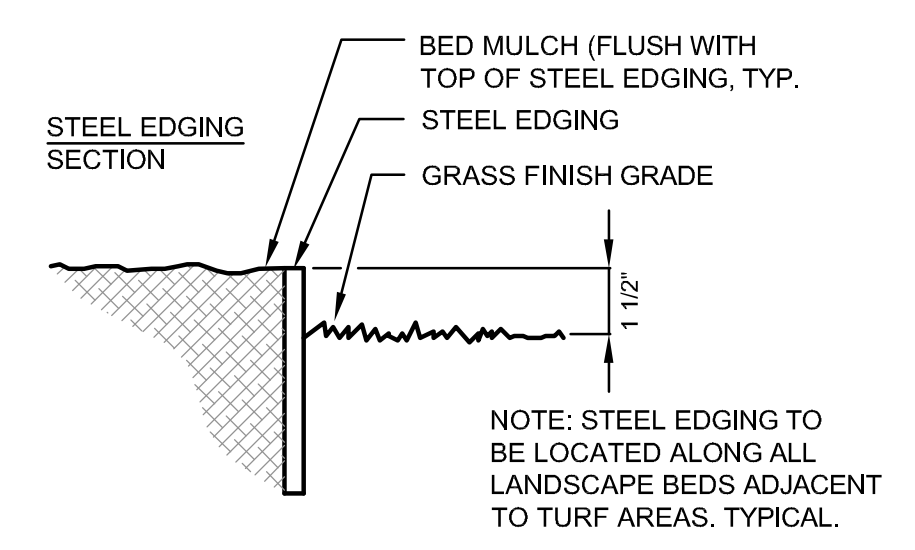


D STEEL EDGING
SCALE: N.T.S. SECTION/ELEVATION

PLANT LIST					
KEY	QUANTITY (LANDSCAPE ARCHITECT'S ESTIMATE ONLY)	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
LO	6	LIVE OAK	Quercus virginiana	100 gallon; Minimum 4" caliper x 16' height x 6' spread	Container-grown; full head; branching at ± 6'; matched
RO	5	RED OAK	Quercus shumardii	100 gallon; Minimum 4" caliper x 16' height x 6' spread	Container-grown; full head; branching at ± 6'; matched
CE	7	CEDAR ELM	Ulmus crasifolia	100 gallon; Minimum 4" caliper x 16' height x 6' spread	Container-grown; full head; branching at ± 6'; matched
TYH	6	TREE FORM YAUPON HOLLY	Ilex vomitoria	30 gallon; Minimum 2" caliper x 8' height x 4' to 5' spread	Container-grown; full head; multi-trunk (3-5 canes)
NPH	58	NEEDLE POINT HOLLY	Ilex cornuta 'Needlepoint'	5 gallon; Minimum 24" height x 18" s spread	Full; plant 36" o.c.
CCA	17	CANYON CREEK ABELIA	Abelia grandiflora 'Canyon Creek'	5 gallon; Minimum 24" height x 18" s spread	Full; plant 36" o.c.
TLA	4	TWIST OF LIME ABELIA	Abelia grandiflora 'Twist of Lime'	3 gallon; Minimum 18" height x 15" s spread	Full; plant 36" o.c.
DLO	4	DWARF WEEPEING LOROPETALUM PURPLE PINE	Loropetalum chinensis 'Peak' PP18441	3 gallon; Minimum 12" height x 18" s spread	Available from Southern Living Plant Collection. No Substitutions Full; plant 30" o.c.
DYH	37	DWARF YAUPON HOLLY	Ilex vomitoria 'Nana'	5 gallon; Minimum 24" height x 18" s spread	Full; plant 60" o.c.
GM	30	GULF MUHLY W WHITE CLOUD	Muhlenbergia capillaris 'White Cloud'	3 gallon	Full; plant 24" o.c.
PWC	1268	PURPLE WINTERCREEPER	Euonymus fortunei 'Coloratus'	1 gallon	Full; plant 18" o.c.
CJ	15	CREEPING JENNY	Lysimachia nummularia	4" pot	Full; plant as shown
TR	12	TRAILING ROSEMARY	Rosemarinus officinalis 'Prostratus'	4" pot	Full; plant as shown

LANDSCAPE GENERAL NOTES:

- QUANTITIES SHOWN ON PLANT LIST ARE LANDSCAPE ARCHITECT'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR SHALL BE RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRE AT SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT LIST.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES, AMBIGUITY, OR UNLABELED PLANTS ON PLANS PRIOR TO BID SUBMITTAL. IF DISCREPANCY, AMBIGUITY, OR UNLABELED PLANT IS NOT CLARIFIED BY LANDSCAPE ARCHITECT PRIOR TO BID SUBMITTAL DATE, CONTRACTOR SHALL NOTE SUCH ITEM ON BID.
- CONTRACTOR SHALL PROVIDE REPRESENTATIVE SAMPLES OF SHRUB AND GROUNDCOVER STOCK FOR LANDSCAPE ARCHITECT'S AND/OR OWNER'S APPROVAL PRIOR TO MAJOR SHIPMENT OF MATERIALS TO SITE. IF REPRESENTATIVE EXAMPLES CANNOT BE PROVIDED, CONTRACTOR SHALL FURNISH GOOD QUALITY PHOTOGRAPH OF LANDSCAPE MATERIALS TO LANDSCAPE ARCHITECT AND/OR OWNERS. PHOTOGRAPHS SHALL HAVE A MEANS OF DETERMINING SCALE AND SIZE OF MATERIALS WITHIN THE PHOTOGRAPH (I.E. FIELD POLE WITH ONE FOOT INCREMENT FOR TREES).
- AFTER TILLAGE AND CLEANING, ALL AREAS TO BE GRASSED SHALL BE LEVELED, AND FINE GRADED. THE REQUIRED RESULT SHALL BE THE ELIMINATION OF RUTS, DEPRESSIONS, HUMPS, AND OBJECTIONABLE SOIL CLOUDS. DURING THE SOIL PREPARATION PROCESS, A "ROCK PICK" OR "ROCK RAKE" SHALL BE USED TO GATHER SURFACE STONES AS SMALL AS ONE INCH (1") IN DIAMETER.
- UNLESS NOTED ON PLANS OTHERWISE, GRASS AREAS TO BE SOLID SOD BERMUDA GRASS.
- CONTRACTOR SHALL GUARANTEE A FULL STAND OF GRASS, REGARDLESS OF WHETHER A PERMANENT LANDSCAPE IRRIGATION SYSTEM IS INSTALLED. CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION OR HAND WATER AS REQUIRED FOR TURF ESTABLISHMENT.
- SOIL AMENDMENT: "A PROFESSIONAL BEDDING SOIL" AS PRODUCED BY LIVING EARTH TECHNOLOGIES, INC., 1808 W. NORTHWEST HIGHWAY, DALLAS, TEXAS (PHONE: 214-869-4332) OR "NATURAL T. L. COMPOST" AS PRODUCED BY SOIL BUILDING SYSTEMS, INC., 1770 "Y" STREET, DALLAS, TEXAS (PHONE: 972-831-8181), OR APPROVED EQUAL.
- TREE HOLES TO BE EXCAVATED 2' GREATER THAN BALL DIAMETER AND 6" DEEPER. TREE BACKFILL SHOULD BE COMPOSED OF 5 PARTS OF EXISTING SOIL EXCAVATED FROM THE HOLE TO ONE PART SOIL AMENDMENT, THOROUGHLY MIXED WITH 5 LBS. PER CUBIC YARD BACKFILL FERTILIZER (13.13.13 ANALYSIS BULK FERTILIZER). TREE BACKFILL TO BE MECHANICALLY MIXED PRIOR TO BACKFILL OPERATIONS.
- SHRUB PITS SHALL BE EXCAVATED 12" GREATER THAN CONTAINER DIAMETER AND 6" DEEPER. BACKFILL WITH 1/2 EXISTING SOIL AND 1/2 SOIL AMENDMENT (OR APPROVED EQUAL) AS NOTED UNDER NOTE 7. ABOVE, THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- SOIL PREPARATION FOR GROUNDCOVER, SHRUB, AND SEASONAL COLOR BEDS:
A) EXCAVATE EXISTING SOIL, IF NECESSARY, AND ADD TO SHRUB, GROUNDCOVER, AND SEASONAL COLOR AREAS THE FOLLOWING:
- 4" LAYER OF COMPOST MIX
- 14-14-14 SLOW RELEASE FERTILIZER (OSMACOTE) AT A RATE OF 5 LBS. / 100 S.F.
B) SPREAD MATERIALS UNIFORMLY AND CULTIVATE THOROUGHLY BY MEANS OF A MECHANICAL TILLER. TILL TO A MINIMUM DEPTH OF 8".
C) POCKET PLANTING OF SHRUB, GROUNDCOVER, AND SEASONAL COLOR IS NOT ALLOWED.
- MULCH TOPDRESSING TO BE MINIMUM 3" LAYER DOUBLE SHREDDED HARDWOOD, SPREAD UNIFORMLY ON ALL SHRUB AND GROUNDCOVER BEDS AND ON ALL TREE SAUCERS. AVAILABLE FROM LIVING EARTH TECHNOLOGY (PHONE: 214-869-4332) OR APPROVED EQUAL.
- BED EDGING (IF APPLICABLE) TO BE 1/8" X 4" COL-MET "COMMERCIAL" EDGING AS MANUFACTURED BY COL-MET, GARLAND, TEXAS (PHONE: 800-829-8225), OR APPROVED EQUAL. DARK GREEN COLOR UNLESS NOTED OTHERWISE ON DRAWINGS.
- ALL HOLES FOR TREES AND LARGE SHRUBS SHALL BE TESTED FOR WATER RETENTION PRIOR TO TREE OR SHRUB INSTALLATION. AFTER HOLE IS EXCAVATED, IT IS TO BE FILLED WITH WATER TO THE TOP OF THE EXCAVATION. IF, AFTER 24 HOURS, THE HOLE STILL HOLDS WATER, THE CONTRACTOR SHALL EXCAVATE AN ADDITIONAL 6" FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL THEN INSTALL 6" OF NATIVE WASHED GRAVEL COVERED ON THE TOP (AND UP TO A MINIMUM OF 12" ON THE SIDES OF THE HOLE) WITH FILTER FABRIC. THE CONTRACTOR SHALL ALSO INSTALL A CAPPED 3" DIAMETER PVC SUMP WHICH WILL EXTEND FROM NEAR THE BOTTOM OF THE ROCK LAYER TO 3" ABOVE THE PROPOSED FINISH GRADE SO THE HOLE CAN BE EVACUATED THROUGH MECHANICAL MEANS.



- PLANTER POT NOTES:**
- HOLES FOR DRAINAGE AND IRRIGATION TO BE DRILLED ON SITE BY CONTRACTOR.
 - LANDSCAPE CONTRACTOR TO COORDINATE IRRIGATION AND DRAINAGE PIPING INSTALLATION WITH OTHER TRADES. INSTALL 90° SWEEP ELLS 90° ELBOWS (1" & 2"). USE WELD-ON #705 SOLVENT AND #P-88 PRIMER FOR PVC CONNECTIONS
 - DO NOT WATERPROOF INTERIOR OF POT, EXCEPT AROUND PENETRATIONS.
 - PREPARED SOIL MIX BY LANDSCAPE CONTRACTOR TO BE "READY TO PLANT" AS PROVIDED BY SOIL BUILDING SYSTEMS (972) 831-8181 OR APPROVED EQUAL.

PRIME CONSULTANT
LANDSCAPE ARCHITECT

DCBA
LANDSCAPE ARCHITECTURE
dcbadesign.com
730 EAST PARK BOULEVARD • SUITE 100
PLANO, TX 75074 • TEL. (972) 509-1266

IRRIGATION DESIGNER

SETH HEIDMAN
IRRIGATION DESIGN AND CONSULTING
6009 W. PARKER ROAD #149-221
PLANO, TX 75093
PHONE: (972) 816-5141

DATE	NO.	REVISIONS

PROJECT

KELLER TOWN CENTER ADDITION, BLOCK G - LOT 6
KELLER, TEXAS

SEAL

SHEET TITLE

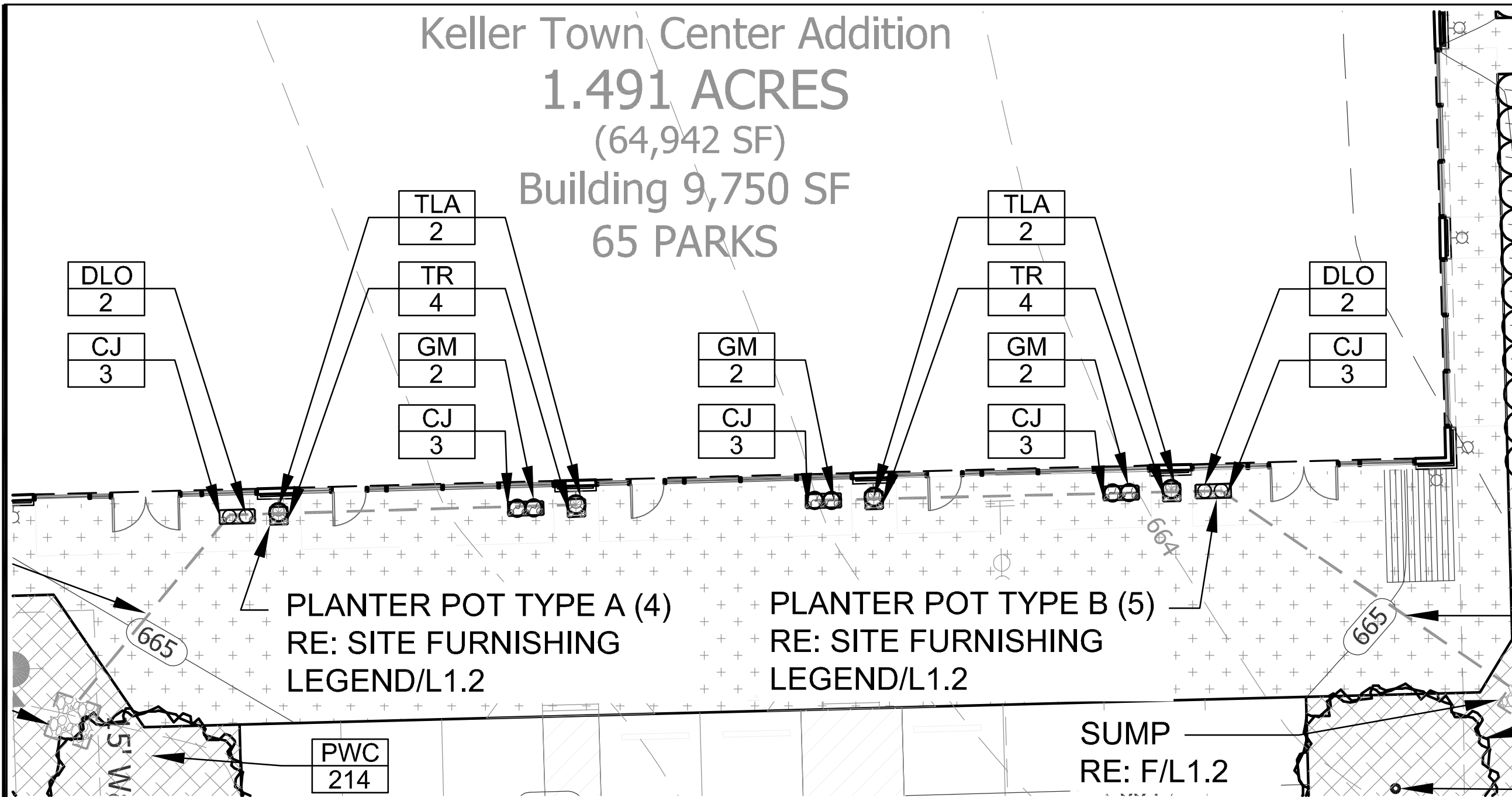
LANDSCAPE DETAILS

PROJECT MANAGER: bjv	PROJECT DESIGNER: bjv
DRAWN BY: bjv	CHECKED BY: bjv
ISSUE DATE: 02/27/20	SCALE: AS NOTED

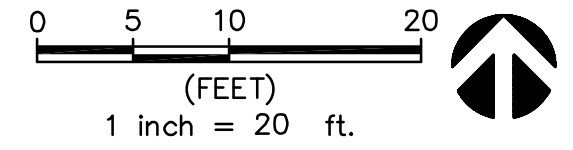
SHEET NO.

L1.2

Keller Town Center Addition
 1.491 ACRES
 (64,942 SF)
 Building 9,750 SF
 65 PARKS



A LANDSCAPE PLAN
 SCALE: 1"=10'-0"



SITE FURNISHING LEGEND			
KEY	QUANTITY	DESCRIPTION	REPRESENTATIVE
PLANTER POT TYPE 'A' "PEDESTAL"	4	VERADECK OUTDOORS "PEDESTAL" STEEL PLANTER: 17"x17"x40" TALL METALLIC SERIES COLOR: GRAY OR BLACK POWERCOAT	VERADECK OUTDOORS 1-888-538-5552 INFO@VERADECK.COM
PLANTER POT TYPE 'B' "LONG BOX"	5	VERADECK OUTDOORS "LONG BOX" STEEL PLANTER: 38"x15"x16" TALL METALLIC SERIES COLOR: GRAY OR BLACK POWERCOAT	VERADECK OUTDOORS 1-888-538-5552 INFO@VERADECK.COM

PLANT LEGEND	
TLA	TWIST OF LIME ABELIA
TR	TRAILING ROSEMARY
DLO	DWARF LOROPETALUM PETITE DELIGHT
GM	GULF MUHLY WHITE CLOUD
CJ	CREEPING JENNY



DCBA

LANDSCAPE
 ARCHITECTURE
 dcbadesign.com
 730 EAST PARK BOULEVARD • SUITE 100
 PLANO, TX 75074 • TEL (972) 509-1266

PROJECT

**KELLER
 MARKET
 PLACE -
 LOT 6**

KELLER, TEXAS

SHEET TITLE

**HARDSCAPE
 PLANS**

PROJECT MANAGER:
 BJV

DRAWN BY:
 BJV

ISSUE DATE:
 02/27/20

SCALE:
 AS NOTED

SHEET No.

SK1

Plotted by: DR RANKIN Plot Date: 2/14/2020 11:26 AM

Drawing: C:\Land Projects\2006\KELLER-CHP001\CHP001PAV.dwg Saved By: Save Time: 2/14/2020 11:26 AM

8 ft Masonry Screening Wall to be Constructed per City Standard Along Lot 6 North Property Line to Match the Screening Wall Constructed w/ Lots 1-5

ADDITIONAL SITE NOTES:

- No Trees exist on site.
- No 100 year flood plain exists on property.
- All mechanical equipment shall be screened.
- 24 ft wide firelanes to have a minimum 30' inside radius.
- All dimensions to face of curb unless noted.
- All stripes to be painted white within development.
- Parking dimensions are 9' x 18' with 2' overhang.
- Parking dimensions are 9' x 20' with NO overhang.
- Concrete pavement construction of all walks, parking & driveways
- Landscape areas not to exceed 3:1 max slope.
- Firelanes not to exceed 6% max slope.

GREENWAY-KELLER, LP
TRACT I (Remainder)
Instr. #D207093496
3.4624 Acres
(150,823 SF)

CROSS ACCESS NOTE:
CROSS ACCESS WITH FUTURE DEVELOPMENT TO THE WEST ALLOWED THE ENTIRE LENGTH OF LOT 6 WEST FIRE LANE

REFERENCE CONSTRUCTION PLANS:

- "Keller MarketPlace Lot 4" prepared by DR RANKIN, PLLC - dated March 20th, 2015.
- "Keller MarketPlace Lot 5" prepared by DR RANKIN, PLLC - dated November 30th, 2017.
- "Sherwin Williams" prepared by Civil Point Engineers - dated May 9th, 2014.
- "30 Inch Waterline" City of Southlake, prepared by Eddie Cheatham & Associates - dated July 12th, 1984.
- "FM 1709 Improvements" Federal Project No. STP94(114)JMM,ETC - dated December 7th, 1993.
- "Saddlebrook Estates Phase I" prepared by Dowdy, Anderson & Associates - dated January 12th, 1998.
- "Saddlebrook Estates Phase II" prepared by Dowdy, Anderson & Associates - dated October 10th, 1999.
- "Newton Ranch Phase I" prepared by GSWW, Inc. - dated October 4th, 2006.
- "Echelon at Town Center & Country Brook Drive" prepared by Carter & Burgess, Inc. - dated May 9th, 2014.

REVIEWED
CITY OF KELLER
Released for Construction
Date _____
City Engineer _____

SITE CONSTRUCTION NOTES:
Existing above ground structures in public right of way, including but not limited to: gas markers & manholes, communication markers & manholes, street signs, etc., shall be relocated at contractor expense where conflicts occur with required improvements.

FIRE LANE STRIPING REQUIREMENTS:

- Fire lanes shall be marked with a 6-inch wide continuous bright red stripe on both sides. Striping shall be on the curb face where curb is available.
- White 4-inch lettering with a 1-inch stroke centered on the red stripe shall read "NO PARKING - FIRE LANE". This lettering shall be painted every 25-feet as measured from the end of one lettering group to the beginning of the next group with a 1-foot space between "NO PARKING" and "FIRE LANE".
- Bright red paint shall meet TxDOT specification TTP-115.

F.M. 1709
KELLER PARKWAY
(A Variable Width Right-of-Way)

CAUTION!!!!
Existing Underground Utilities.
Contractor to field verify the location prior to excavation & report any conflicts to the Engineer.

PAVING LEGEND

- 8" - NCTCOG Class "C" concrete pavement reinforced with #4 bars @ 18" O.C.B.W. on a 8" Lime Stabilized subgrade per City specifications compacted to 95% Std. Proctor Density per City specifications (Dumpster Pad and Dumpster Approach Paving)
- 7" - NCTCOG Class "C" concrete pavement reinforced with #4 bars @ 18" O.C.B.W. on a 8" Lime Stabilized subgrade per City specifications compacted to 95% Std. Proctor Density per City specs (Firelane & Drive Aisle Paving)
- 6" - NCTCOG Class "C" concrete pavement reinforced with #3 bars @ 18" O.C.B.W. on a 6" subgrade compacted to 95% Std. Proctor Density per Geotechnical Engineer specifications (Parking Paving)
- 4" - NCTCOG Class "A" concrete pavement reinforced with #3 bars @ 18" O.C.B.W. on subgrade compacted to 95% Std. Proctor Density per City specifications (Sidewalk Paving)
- FULL DEPTH SAW CUT & LONGITUDINAL BUTT JOINT
- 4" SCHEDULE 40, SOLVENT WELD PVC SLEEVE

LEGEND

- 11 PROPOSED PARKING COUNT
- BFR PROPOSED BARRIER FREE RAMP
- PROPOSED FIRELANE
- PROPOSED SITE LIGHTING
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING POWER POLE W/ GUY WIRE

RECOMMENDATIONS FOR PLACEMENT OF SITE PAVING
REFER TO SITE GEOTECHNICAL REPORT
TERRACON CONSULTANTS
PROJECT #94195251
AUGUST 15, 2019

GENERAL NOTE:

All materials and construction shall conform to the City of Keller Standard Construction Details for paving, drainage, water & sanitary sewer facilities and shall be installed in accordance with City specifications and north Texas standard specifications for public works construction published by NCTCOG. These specifications shall be considered a part of the site construction plans.

CITY CONSTRUCTION NOTES GOVERN PUBLIC IMPROVEMENTS

BENCHMARKS:

Bin #1 - City Bersten Top Security Monument with access cover, located in the median of Bear Creek Parkway, approx. 10ft east of the bridge over Bear Creek. (Posted Elevation = 634.72')

BASIS OF BEARINGS - Special Warranty Deed, Recorded in Document No. D207093496, Deed Records, Tarrant County, Texas.

#	PLAN REVIEW REVISIONS	BY	DATE
0	Owner Coordination	DRR	11-04-19
1	Site Plan Application	DRR	01-08-20
2	Revised per City Comments	DRR	02-14-20

#	CONSTRUCTION REVISIONS	BY	DATE

DR RANKIN, PLLC

Civil Engineering 2321 Daybreak Trail
Land Development Plano, Texas 75093
~Consulting 972 378 0683
~Design TBPE Firm #8838

For Review:
The seal appearing on this document was authorized by Donald R. Rankin, P.E. 87872 on 02-14-20. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act.

Don Rankin P.E.

SCHMATIC PAVING PLAN	PROJECT
LOT 6, BLOCK G	CHP001
KELLER TOWN CENTER ADDITION	SHEET
KELLER PLACE	1 of 6
KELLER, TARRANT CO, TX	



TEXAS EXCAVATION SAFETY SERVICES
1-800-344-8377

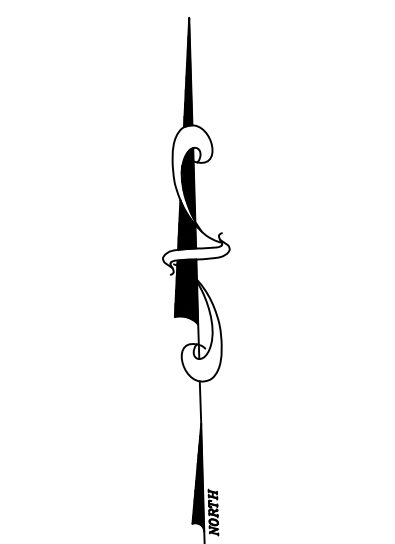
Plotted by: DR RANKIN Plot Date: 2/14/2020 11:31 AM

Drawing: C:\Land Projects 2006\KELLER-CHP001\CHP001.GRD Saved By: Save Time: 2/14/2020 11:30 AM

8 ft Masonry Screening Wall to be Constructed per City Standard Along Lot 4 North Property Line to Match the Screening Wall Constructed w/ Lots 1-5



GREENWAY-KELLER, LP TRACT I (Remainder) Instr. #D207093496 3.4624 Acres (150,823 SF)

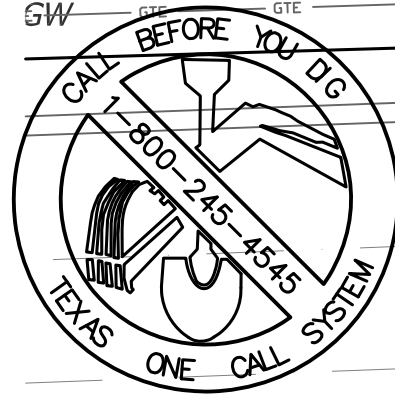


GRAPHIC SCALE 1 inch = 20 ft

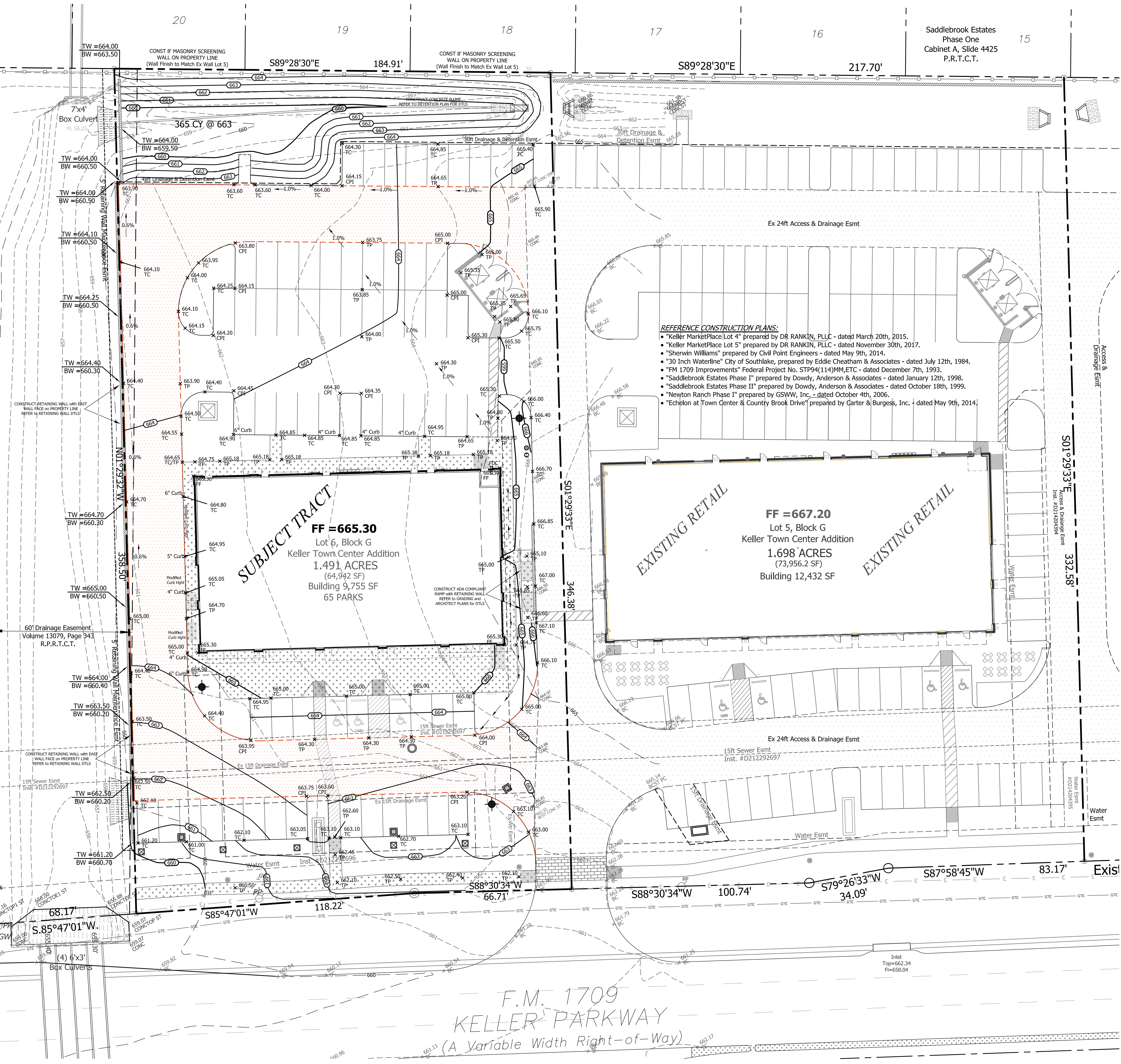
RECOMMENDATIONS FOR PLACEMENT OF SITE EXCAVATION REFER TO SITE GEOTECHNICAL REPORT TERRACON CONSULTANTS PROJECT #94195251 AUGUST 15, 2019

ADDITIONAL SITE NOTES:

- No Trees exist on site.
No 100 year flood plain exists on property.
All mechanical equipment shall be screened.
24 ft wide firelanes to have a minimum 30' inside radius.
All dimensions to face of curb unless noted.
All stripes to be painted white within development.
Parking dimensions are 9' x 18' with 2' overhang.
Parking dimensions are 9' x 20' with NO overhang.
Concrete pavement construction of all walks, parking & drive ways.
Landscape areas not to exceed 3:1 max slope.
Firelanes not to exceed 6% max slope.



TEXAS EXCAVATION SAFETY SERVICES 1-800-344-8377



Saddlebrook Estates Phase One Cabinet A, Slide 4425 P.R.T.C.T.

- REFERENCE CONSTRUCTION PLANS:
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SITE CONSTRUCTION NOTES: Existing above ground structures in public right of way, including but not limited to: gas markers & manholes, communication markers & manholes, street signs, etc., shall be relocated at contractor expense where conflicts occur with required improvements.

LEGEND

- EXISTING FIRELANE PAVING
PROPOSED FIRELANE PAVING
FLOW DIRECTION
EXISTING SPOT ELEVATION
CURB POINT INTERSECTION (top of curb)
TOP OF PAVEMENT SPOT ELEVATION
FINISHED GRADE SPOT ELEVATION
DRAINAGE AREA DIVIDE
PROPOSED CONTOUR INTERVAL
EXISTING CONTOUR INTERVAL
EXISTING FIRE HYDRANT
EXISTING SANITARY SEWER MANHOLE
EXISTING POWER POLE W/ GUY WIRE

REVIEWED

CITY OF KELLER Released for Construction

Date City Engineer

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CITY CONSTRUCTION NOTES GOVERN PUBLIC IMPROVEMENTS

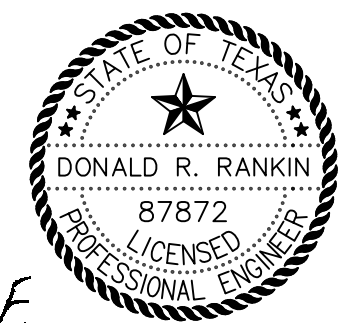
BENCHMARKS:

Bm #1 - City Bersten Top Security Monument with access curb, located in the median of Bear Creek Parkway, approx. 16ft east of the bridge over Bear Creek. (Posted Elevation = 634.72)
BASIS OF BEARINGS - Special Warranty Deed, Recorded in Document No. D207093496, Deed Records, Tarrant County, Texas.

Table with 4 columns: #, PLAN REVIEW REVISIONS, BY, DATE. Contains 3 rows of revision data.

DR RANKIN, PLLC Civil Engineering Land Development ~Consulting ~Design 2321 Daybreak Trail Plano, Texas 75093 972 378 0683 TBPE Firm #8838

For Review: The seal appearing on this document was authorized by Donald R. Rankin, P.E. 87872 on 02-14-20. Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act.



SCHEMATIC GRADING PLAN PROJECT: LOT 6, BLOCK G CHP001 KELLER TOWN CENTER ADDITION SHEET: KELLER PLACE 2 of 6 KELLER, TARRANT CO, TX

F.M. 1709 KELLER PARKWAY (A Variable Width Right-of-Way)



TEXAS EXCAVATION
SAFETY SERVICES
1-800-344-8377

Plotted by: DR RANKIN Plot Date: 2/14/2020 11:43 AM

Drawing: C:\Land Projects\2006\KELLER-CHP001\dwg\XCHP001TO-XSECT.dwg Saved By: --- Save Time: 2/14/2020 11:42 AM

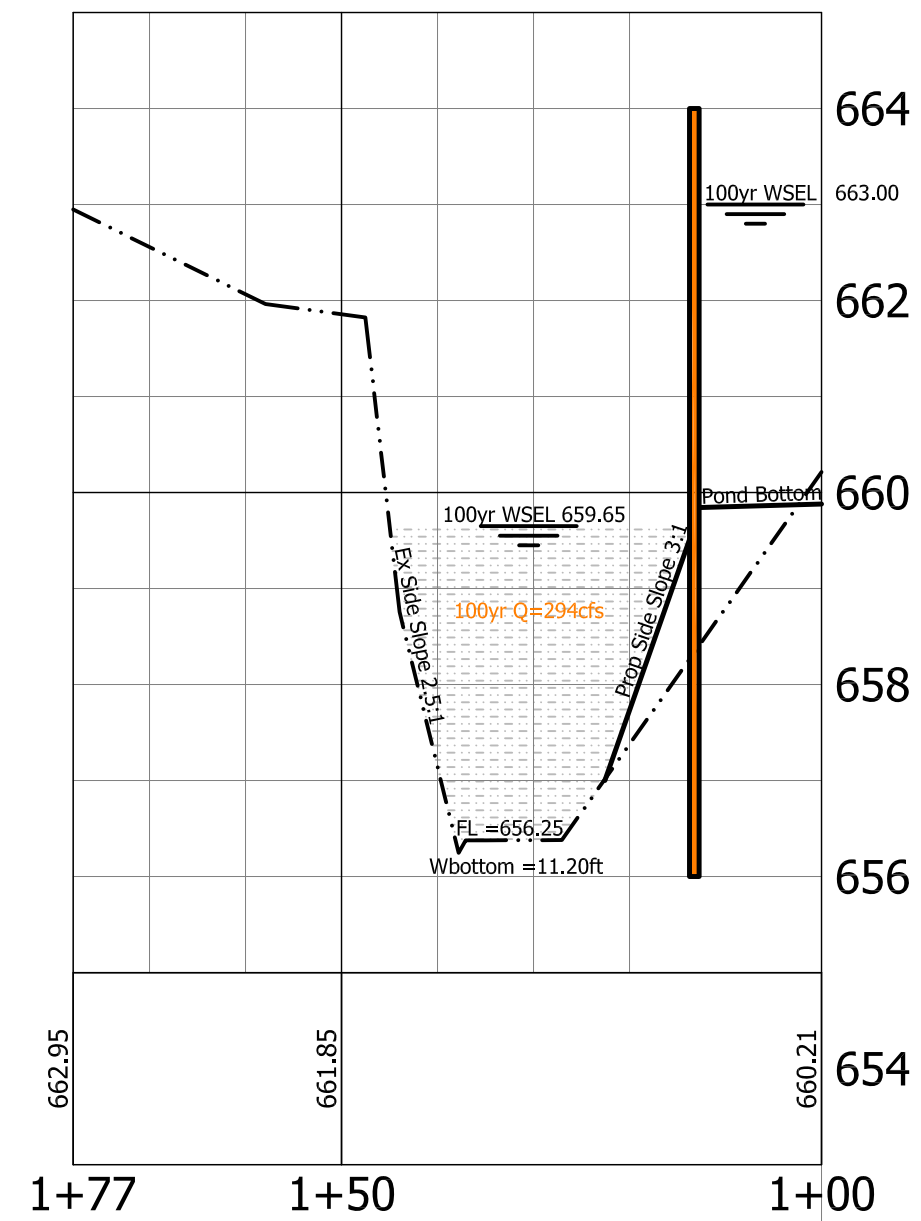
RECOMMENDATIONS FOR PLACEMENT
OF SITE EXCAVATION
REFER TO SITE GEOTECHNICAL REPORT
TERRACON CONSULTANTS
PROJECT #94195251
AUGUST 15, 2019

REFERENCE CONSTRUCTION PLANS:

- "Keller MarketPlace Lot 4" prepared by DR RANKIN, PLLC - dated March 20th, 2015.
- "Keller MarketPlace Lot 5" prepared by DR RANKIN, PLLC - dated November 30th, 2017.
- "Sherwin Williams" prepared by Civil Point Engineers - dated May 9th, 2014.
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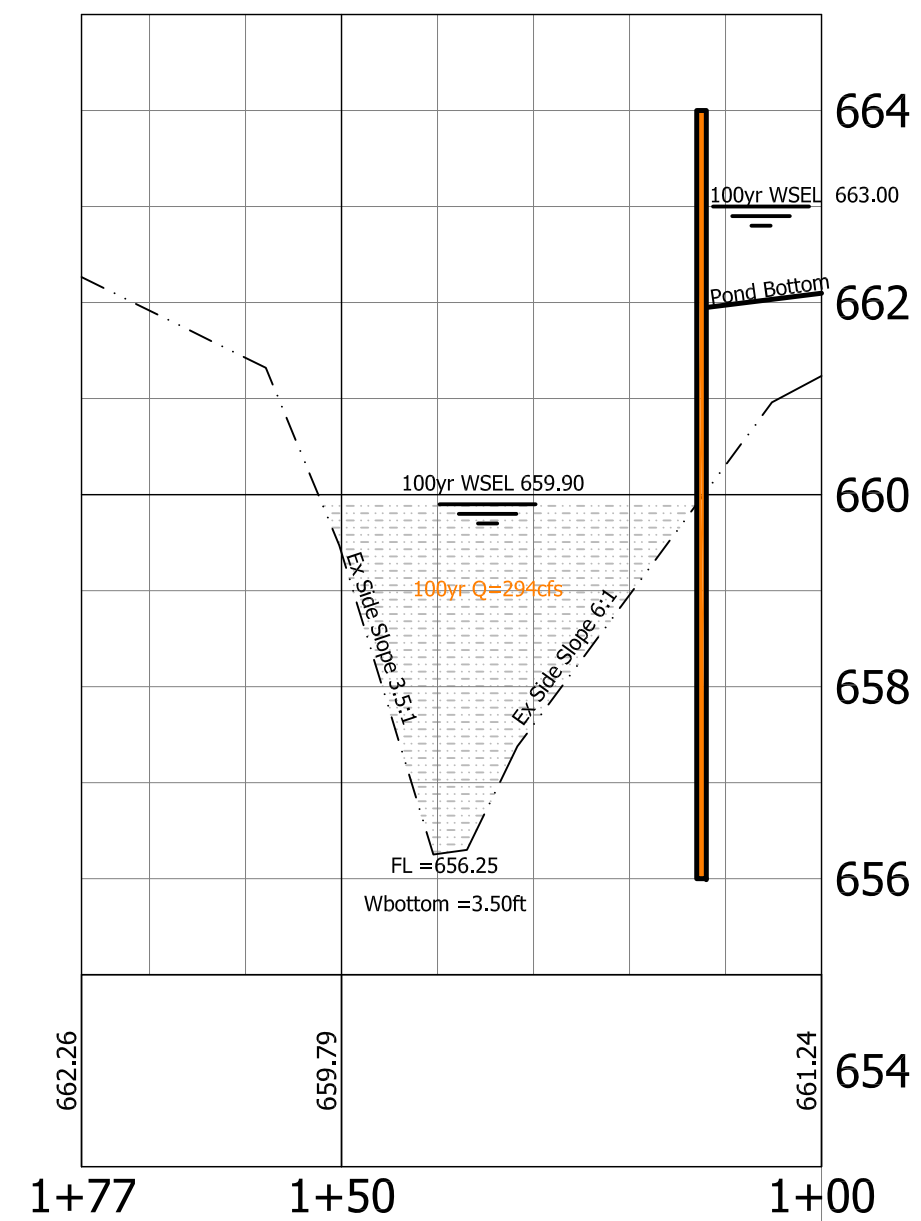
Normal Depth Calcs				
Scroll down for sketch and definition of terms				
	Inputs	Channel Results	Box Culvert Results	Units
Maining Formula Elements	Q	294	294	CFS (Cubic Feet/Sec)
	V	13.1956, 3655	13.1956, 3655	GPM (Gallons/Minute) [US]
	S	190.0171656	190.0171656	MGD (Million galdays) [US]
	n	0.03	0.03	No Units
Channel Dimensions	R	0.002453197	0.00022342	Feet/Foot or Meter/Meter
	T	2.245152592	1.145287343	Feet
	B	29.9	29.9	Feet
	H	11.2	11.2	Feet
Section Properties	SL	3.4	3.4	Any Unit (Horizontal/Vert.)
	SR	2.5	2.5	Any Unit (Horizontal/Vert.)
	% Full (DH)	3	3	% Full
	D	3.4	3.4	Feet
a	69.87	69.87	Square Feet	
p	31.10652422	61.00652422	Feet	

DITCH STA 1+00
1"=20ft Horz. / 1"=2ft Vert.



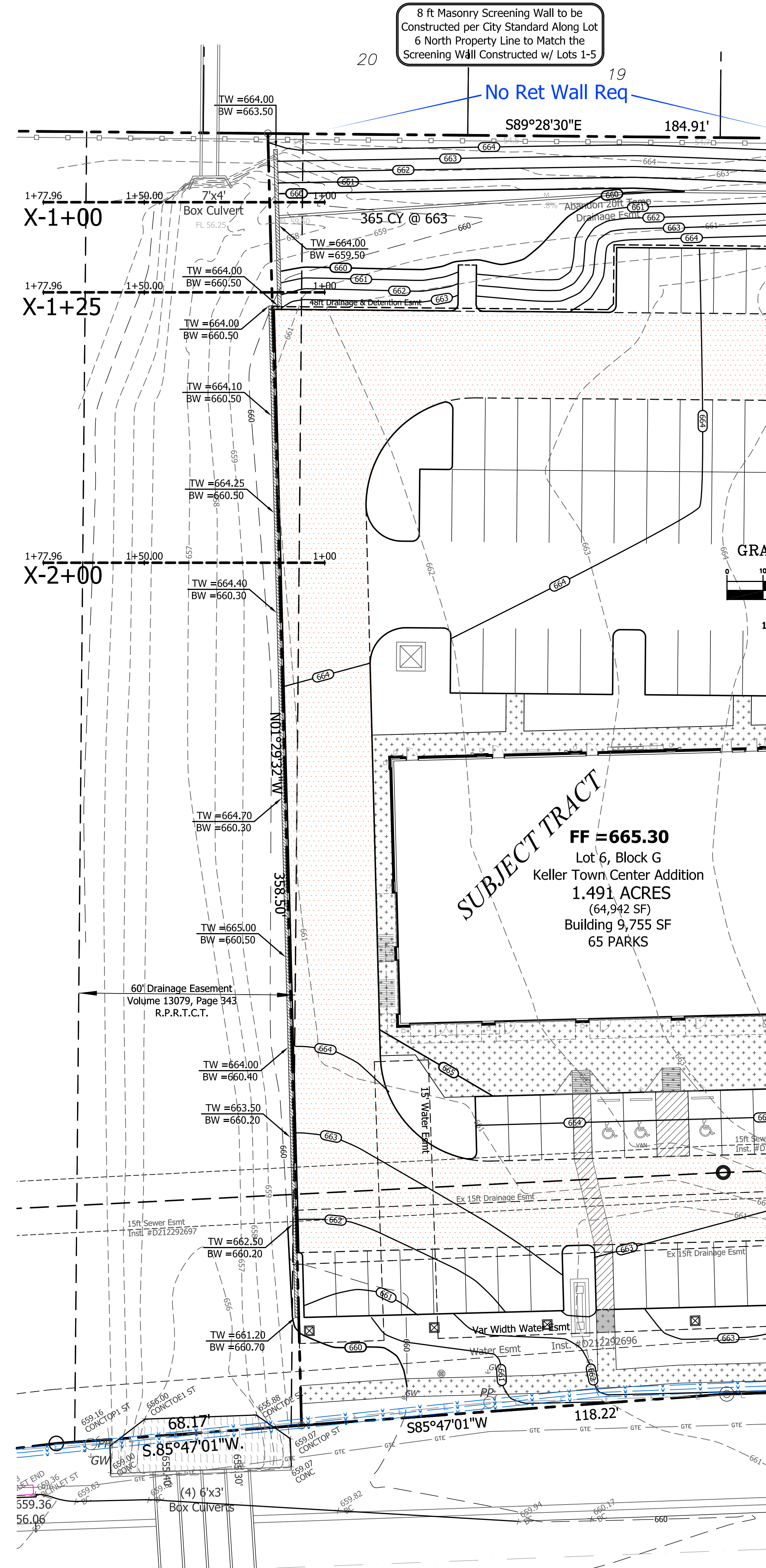
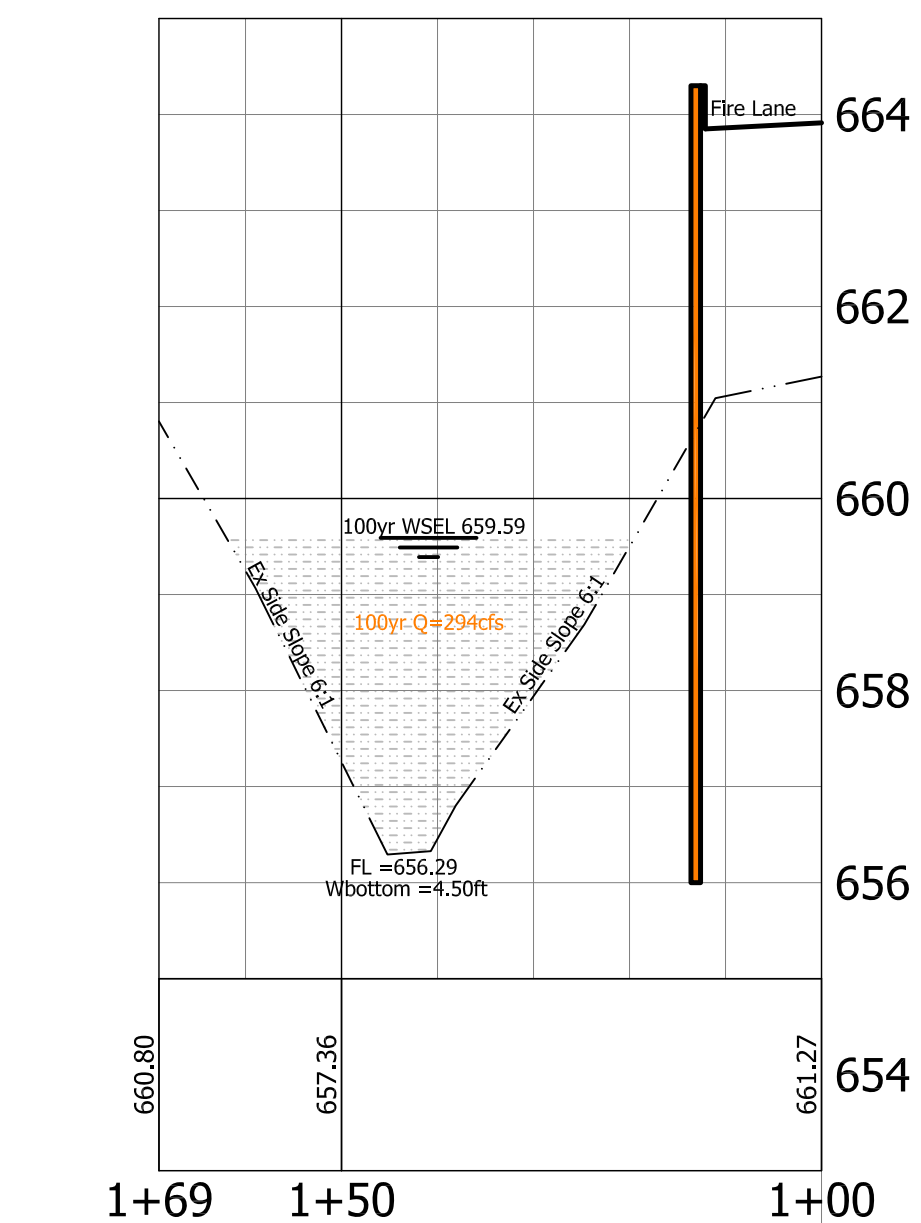
Normal Depth Calcs				
Scroll down for sketch and definition of terms				
	Inputs	Channel Results	Box Culvert Results	Units
Maining Formula Elements	Q	294	294	CFS (Cubic Feet/Sec)
	V	13.1956, 3655	13.1956, 3655	GPM (Gallons/Minute) [US]
	S	190.0171656	190.0171656	MGD (Million galdays) [US]
	n	0.03	0.03	No Units
Channel Dimensions	R	0.002488524	0.000209484	Feet/Foot or Meter/Meter
	T	2.2488524	0.620855	Feet
	B	38.175	38.175	Feet
	H	3.5	3.5	Feet
Section Properties	SL	3.5	3.5	Any Unit (Horizontal/Vert.)
	SR	6	6	Any Unit (Horizontal/Vert.)
	% Full (DH)	3.5	3.5	% Full
	D	3.5	3.5	Feet
a	76.056875	76.056875	Square Feet	
p	38.98828378	77.16328378	Feet	

DITCH STA 1+25
1"=20ft Horz. / 1"=2ft Vert.



Normal Depth Calcs				
Scroll down for sketch and definition of terms				
	Inputs	Channel Results	Box Culvert Results	Units
Maining Formula Elements	Q	294	294	CFS (Cubic Feet/Sec)
	V	13.1956, 3655	13.1956, 3655	GPM (Gallons/Minute) [US]
	S	190.0171656	190.0171656	MGD (Million galdays) [US]
	n	0.03	0.03	No Units
Channel Dimensions	R	0.002509258	0.000271413	Feet/Foot or Meter/Meter
	T	2.2509258	0.6271413	Feet
	B	44.1	44.1	Feet
	H	4.5	4.5	Feet
Section Properties	SL	6	6	Any Unit (Horizontal/Vert.)
	SR	6	6	Any Unit (Horizontal/Vert.)
	% Full (DH)	3.3	3.3	% Full
	D	3.3	3.3	Feet
a	80.19	80.19	Square Feet	
p	44.6462327	88.7462327	Feet	

DITCH STA 2+00
1"=20ft Horz. / 1"=2ft Vert.



SITE CONSTRUCTION NOTES:
Existing above ground structures in public right of way, including but not limited to: gas markers & manholes, communication markers & manholes, street signs, etc., shall be relocated at contractor expense where conflicts occur with required improvements.

LEGEND	
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	PROPOSED FIRELANE PAVING
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	EXISTING SPOT ELEVATION
	CURB POINT INTERSECTION (top of curb)
	TOP OF PAVEMENT SPOT ELEVATION
	FINISHED GRADE SPOT ELEVATION
	DRAINAGE AREA DIVIDE
	PROPOSED CONTOUR INTERVAL
	EXISTING CONTOUR INTERVAL
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER POLE W/ GUY WIRE

REVIEWED
CITY OF KELLER
Released for Construction
Date _____
City Engineer

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BENCHMARKS:		
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#	PLAN REVIEW REVISIONS	BY	DATE
0	Owner Coordination	DRR	11-04-19
1	Site Plan Application	DRR	12-23-19
2	Revised per City Comments	DRR	02-14-20

#	CONSTRUCTION REVISIONS	BY	DATE

DR RANKIN, PLLC
Civil Engineering 2321 Daybreak Trail Plano, Texas 75093
Land Development ~Consulting 972 378 0683
~Design TBPE Firm #8838

For Review:
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Don Rankin P.E.



SCHEMATIC DITCH PROFILE	PROJECT
LOT 6, BLOCK G	CHP001
KELLER TOWN CENTER ADDITION	SHEET
KELLER PLACE	5 of 6
KELLER, TARRANT CO, TX	

EXISTING CONDITIONS NOTE:

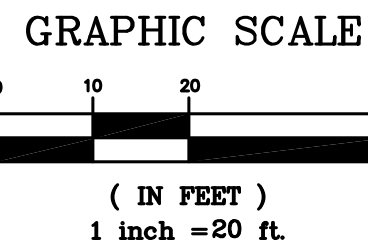
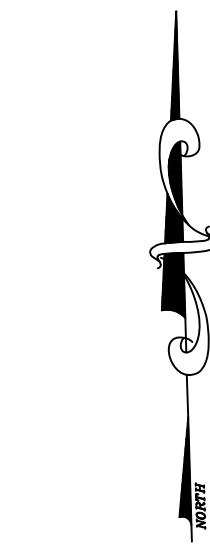
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SANITARY SERVICE SPEC & FLOW LINE ELEVATIONS

ID NUMBER	SERVICE SIZE	PIPE MATERIAL	SERVICE LENGTH	FLOW LINE BEGIN	FLOW LINE END
S	6"	PVC SDR 26	41.00 If	654.10	657.30

REVIEWED
CITY OF KELLER
Released for Construction
Date _____
City Engineer _____

GREENWAY-KELLER, LP
TRACT I (Remainder)
Instr. #D207093496
3.4624 Acres
(150,823 SF)



RECOMMENDATIONS FOR PLACEMENT OF SITE EXCAVATION
REFER TO SITE GEOTECHNICAL REPORT
TERRACON CONSULTANTS
PROJECT #94195251
AUGUST 15, 2019

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PROPOSED WATER METER SCHEDULE

METER NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM.	METER IRR.	SAN. SERVICE SIZE
▲	1.5"	1.5"	X		6"
▲	1"	1"	X		N/A

LEGEND

- PROPOSED FIRELANE PAVING
- EXISTING FIRELANE PAVING
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY MANHOLE
- PROPOSED DOMESTIC WATER METER
- PROPOSED SITE LIGHTING
- EXISTING CONTOUR INTERVAL
- EXISTING LIGHTPOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE W/ GUY WIRE

DRAINAGE and DETENTION EASEMENT NOTE:

The Drainage Easement is dedicated to the City for storm water runoff control. This easement will be the property owner's responsibility to keep unobstructed and maintained, including erosion control. The property owner shall keep this drainage facility on their property mowed, clean, and free of debris, silt, or other substances which would result in unsanitary conditions. The City of Keller shall have the right to enter all drainage easement areas for the purpose of inspecting the drainage ways for confirmation of condition of the drainage way with respect to maintenance and erosion control. The City of Keller will not be responsible for the maintenance of the detention facility, drainage outfalls or the storm drainage pipe. The City of Keller shall not be liable for any damages to the detention pond or inflow or outflow facilities. No construction, modifications, or fencing will be allowed in the drainage easement without the written approval of the City of Keller's Director of Public Works.

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1	Site Plan Application	DRR 01-08-20
2	Revised per City Comments	DRR 02-14-20
#	CONSTRUCTION REVISIONS	BY DATE

DR RANKIN, PLLC
Civil Engineering
Land Development
~Consulting
~Design
2321 Daybreak Trail
Plano, Texas 75093
972 378 0683
TBPE Firm #8838

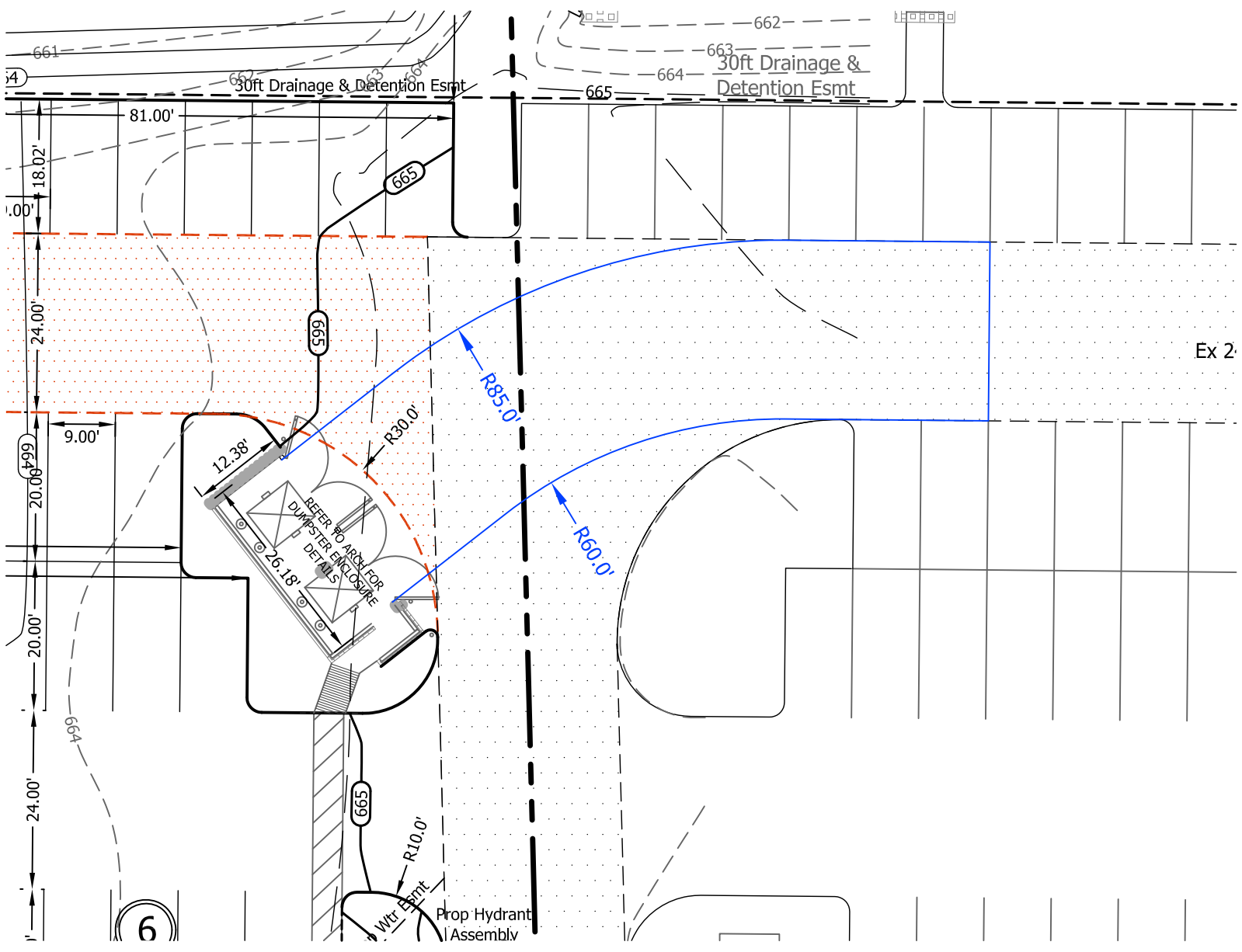
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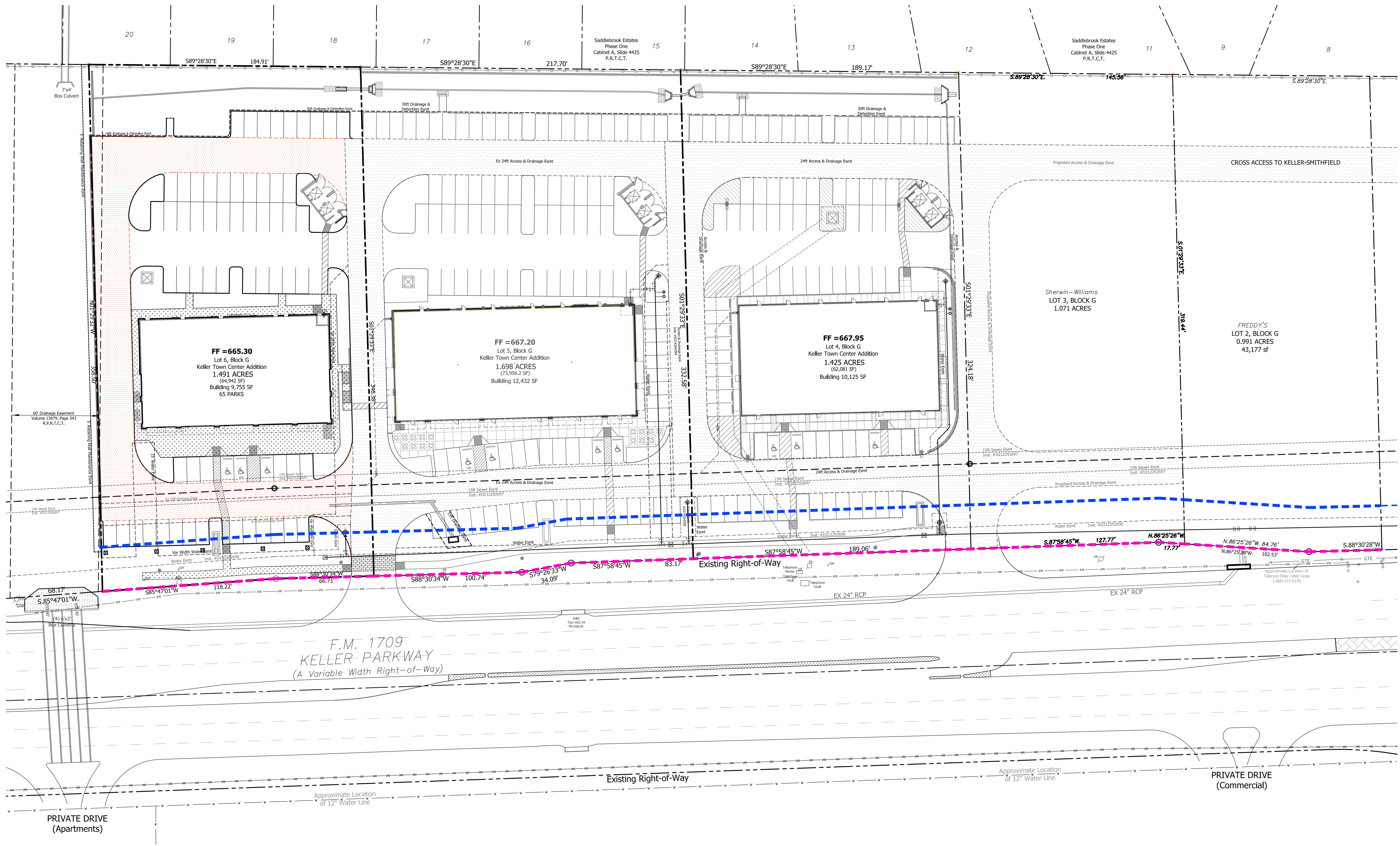
SCHEMATIC UTILITY PLAN	PROJECT
LOT 6, BLOCK G	CHP001
KELLER TOWN CENTER ADDITION	SHEET
KELLER PLACE	6 of 6
KELLER, TARRANT CO, TX	

Drawing: C:\Land Projects 2006\KELLER-CHP001.dwg, CHP001.dwg Saved By: Save Time: 2/14/2020 11:37 AM Plotted by: DR RANKIN Plot Date: 2/14/2020 11:38 AM

F.M. 1709
KELLER PARKWAY
(A Variable Width Right-of-Way)

CAUTION!!!!
Existing Underground Utilities.
Contractor to field verify the location prior to excavation & report any conflicts to the Engineer.





20

19

18

17

16

15

14

13

12

11

9

8

Saddlebrook Estates
Phase One
Cabinet A, Slide 4425
P.R.T.C.T.

Saddlebrook Estates
Phase One
Cabinet A, Slide 4425
P.R.T.C.T.

S89°28'30"E 184.91'

S89°28'30"E 217.70'

S89°28'30"E 189.17'

S.89°28'30"E 145.56'

S.89°28'30"E

FF = 665.30
Lot 6, Block G
Keller Town Center Addition
1.491 ACRES
(64,942 SF)
Building 9,755 SF
65 PARKS

FF = 667.20
Lot 5, Block G
Keller Town Center Addition
1.698 ACRES
(73,956.2 SF)
Building 12,432 SF

FF = 667.95
Lot 4, Block G
Keller Town Center Addition
1.425 ACRES
(62,081 SF)
Building 10,125 SF

Sherwin-Williams
LOT 3, BLOCK G
1.071 ACRES

FREDDY'S
LOT 2, BLOCK G
0.991 ACRES
43,177 sf

F.M. 1709
KELLER PARKWAY
(A Variable Width Right-of-Way)

Existing Right-of-Way

Approximate Location
of 12" Water Line

PRIVATE DRIVE
(Commercial)

PRIVATE DRIVE
(Apartments)

Approximate Location
of 12" Water Line

68.17'
S85°47'01"W

118.22'

S88°30'34"W 66.71'

S88°30'34"W 100.74'

S79°26'33"W 34.09'

S87°58'45"W 83.17'

S87°58'45"W 189.06'

S87°58'45"W 127.77'

N.86°25'26"W 17.77'

N.86°25'26"W 84.76'

N.86°25'26"W 102.53'

S.88°30'28"W

GTE

Approximate Location of
Telecom Fiber Optic Lines
1-800-373-9190

60' Drainage Easement
Volume 13075, Page 343
R.P.R.T.C.T.

100'± 29'± 24"± W

S01°29'33"E

S01°29'33"E

S01°29'33"E

S01°29'33"E

S18'44"

15" Sewer Esmt
Inst. #012292697

15" Sewer Esmt
Inst. #001229267

Water Esmt
Inst. #031229269

15" Sewer Esmt
Inst. #001229267

15" Sewer Esmt
Inst. #001229267

15" Sewer Esmt
Inst. #001229267

Water Esmt
Inst. #031229269

15"±
Twp-60.34
R-08.04

EX 24" RCP

EX 24" RCP

7x4'
Box Culvert

30" Drainage & Detention Esmt

30" Drainage & Detention Esmt

30" Drainage & Detention Esmt

30" Drainage & Detention Esmt

30" Drainage & Detention Esmt

30" Drainage & Detention Esmt

30" Drainage & Detention Esmt

Ex 24" Access & Drainage Esmt

24" Access & Drainage Esmt

Proposed Access & Drainage Esmt

CROSS ACCESS TO KELLER-SMITHFIELD

30" Drainage & Detention Esmt

30" Drainage & Detention Esmt

30" Drainage & Detention Esmt

30" Drainage & Detention Esmt

15" Sewer Esmt
Inst. #001229267

15" Sewer Esmt
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Water Esmt
Inst. #031229269

Water Esmt
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Water Esmt
Inst. #031229269

Water Esmt
Inst. #031229269

Var Width Water Esmt

Water Esmt
Inst. #031229269

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Telecom Fiber Optic Lines
1-800-373-9190

60' Drainage Easement
Volume 13075, Page 343
R.P.R.T.C.T.

100'± 29'± 24"± W

S01°29'33"E

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Telecom Fiber Optic Lines
1-800-373-9190

60' Drainage Easement
Volume 13075, Page 343
R.P.R.T.C.T.

100'± 29'± 24"± W

S01°29'33"E

S01°29'33"E

S01°29'33"E

S01°29'33"E

S18'44"

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S.88°30'28"W

GTE

Approximate Location of
Telecom Fiber Optic Lines
1-800-373-9190

60' Drainage Easement
Volume 13075, Page 343
R.P.R.T.C.T.

100'± 29'± 24"± W

S01°29'33"E

S01°29'33"E

Cabinet A, Slide 4425
P.R.T.C.T.

389.49'

15' Sanitary
Sewer Easement
Volume 13079, Page 342
R.P.R.T.C.T.

S.89°28'30"E.

S89°28'30"E 184.91'

S89°28'30"E 217.70'

GREENWAY-KELLER, LP
TRACT I (Remainder)
Instr. #D207093496
3.4624 Acres
(150,823 SF)

GREENWAY-KELLER, L.P.
TRACT I
Instr. #D207093496

15' Sanitary
Sewer Easement
Volume 13079, Page 342
R.P.R.T.C.T.

N.00°30'45"W

FF = 665.30
Lot 6, Block G
Keller Town Center Addition
1.491 ACRES
(64,942 SF)
Building 9,755 SF
65 PARKS

FF = 667.20
Lot 5, Block G
Keller Town Center Addition
1.698 ACRES
(73,956.2 SF)
Building 12,432 SF

Existing Right-of-Way

S.87°58'45"W.

336.13'

50.64'
S83°03'03"W

68.17'
S.85°47'01"W.

118.22'

66.71'

S88°30'34"W 100.74'

S79°26'33"W 34.09'

S87°58'45"W

D = 1°11'04"
R = 5664.58'
A = 117.10'
CB = S88°34'17"W

F.M. 1709
KELLER PARKWAY
(A Variable Width Right-of-Way)

F.M. ROAD 1709
KELLER PARKWAY
(A Variable Width Right-of-Way)

PRIVATE DRIVE
(Commercial)

COUNTRY BROOK LANE

PRIVATE DRIVE
(Apartments)

Approximate Location
of 12" Water Line

Existing R

Existing Right-of-Way

Approximate Location
of 6" Water Line

Inlet
Top=659.70
Fl=655.70

Inlet
Top=662.38
Fl=658.04

SSMH
Top=662.13
Fl=648.28

Telephone
Vault

Approximate Location
of 30" Water Line

Inlet
Top=660.52
Fl=656.62

336.13'

50.64'
S83°03'03"W

68.17'
S.85°47'01"W.

118.22'

66.71'

S88°30'34"W 100.74'

S79°26'33"W 34.09'

S87°58'45"W

D = 1°11'04"
R = 5664.58'
A = 117.10'
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(A Variable Width Right-of-Way)

F.M. ROAD 1709
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