



IMAGE  
not to scale

**GENERAL PROJECT NOTES**

1. 0 ALL CODES, ORDINANCES AND REQUIREMENTS (FEDERAL, STATE, LOCAL, I.E. 2018 I.R.C.) TAKE PRECEDENCE OVER ANY PART OF THESE DRAWINGS WHICH MAY CONFLICT WITH THESE AGENCIES, RULES, REGULATIONS AND/OR GUIDELINES AND MUST BE ADHERED TO BEFORE, DURING AND AFTER CONSTRUCTION.
2. 0 HOMEOWNER AND CONTRACTORS TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, CODES AND GRADE REQUIREMENTS PRIOR TO CONSTRUCTION. BUILDER SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY ARCHITECTURAL DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES AND NECESSARY CHANGES PRIOR TO BEGINNING OR FABRICATING WORK.
3. 0 TO THE BEST OF MY KNOWLEDGE, THESE PLANS ARE DRAWN TO COMPLY WITH THE OWNER AND BUILDER'S SPECIFICATIONS AND ANY CHANGES OR DEVIATIONS MADE ARE DONE AT THE OWNER AND/OR BUILDERS RESPONSIBILITY. BLUE AZALEA DESIGN IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN AND DOCUMENTS, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS, REQUIREMENTS AND DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER.
4. 0 BLUE AZALEA DESIGN IS A RESIDENTIAL DESIGN FIRM AND NOT AN ENGINEERING FIRM. AS SUCH, BLUE AZALEA DESIGN IS NOT QUALIFIED NOR LICENSED TO DESIGN STRUCTURAL FRAMING OR FOUNDATIONS. THE ENGINEER SHALL BEAR THE RESPONSIBILITY FOR THE STRUCTURAL DESIGN PLAN USED AND BLUE AZALEA DESIGN NOR ITS DESIGNERS WILL BE HELD ACCOUNTABLE FOR ANY STRUCTURAL DESIGN NOR ANY PROBLEMS THAT MAY ARISE.
5. 0 THESE DRAWINGS ARE THE PROPRIETY PROPERTY OF BLUE AZALEA DESIGN. USE OF THESE DRAWINGS, CONCEPTS AND INTELLECTUAL PROPERTY OUTSIDE THE SCOPE OF THIS SINGLE PROJECT WITHOUT THE EXPRESSED WRITTEN PERMISSION OF BLUE AZALEA DESIGN IS PROHIBITED AND MAY SUBJECT YOU TO A DAMAGE CLAIM TO THE FULL EXTENT OF THE LAW.

**AREA CALCULATIONS (SQFT)**

|                                |                  |
|--------------------------------|------------------|
| <u>AC AREAS UNDER ROOF</u>     |                  |
| TOTAL AREA UNDER AC            | 817 SqFt         |
| <u>NON-AC AREAS UNDER ROOF</u> |                  |
| GARAGE                         | 176 SqFt         |
| COVERED PATIO                  | 297 SqFt         |
| TOTAL                          | 473 SqFt         |
| <b>TOTAL SQFT</b>              | <b>1290 SqFt</b> |

**PROJECT INFORMATION**

**1244 TRAIL RIDGE DRIVE  
KELLER TEXAS 76248**

Legal Description: TRAIL RIDGE ESTATES - KELLER BLOCK 1 LOT 14

| Layout Page Table |   |             |          |
|-------------------|---|-------------|----------|
| Label             | Title   | Description | Comments |
| P-1               | 1244 TRAIL RIDGE DR, KELLER TX 76248                | Cover Page  |          |
| P-2               | PLOT PLAN & GRADING PLAN                            |             |          |
| P-3               | FRAMING PLAN & FOUNDATION PLAN                      |             |          |
| P-4               | FLOOR PLAN, CEILING/FLOORING, WINDOW/DOOR SCHEDULES |             |          |
| P-5               | ELECTRICAL PLAN & ROOF PLAN                         |             |          |
| P-6               | EXTERIOR ELEVATIONS                                 |             |          |
| P-7               | INTERIOR ELEVATIONS & IMAGES                        |             |          |
|                   |   |             |          |

| NUMBER | DATE       | REVISION TABLE | DESCRIPTION | NOTES |
|--------|------------|----------------|-------------|-------|
| 1      | 12/19/2022 | CMM            |             |       |
|        |            |                |             |       |
|        |            |                |             |       |

WADE FAMILY  
1244 Trail Ridge Drive  
Keller TX 76248

1244 TRAIL RIDGE DR, KELLER TX  
76248

DRAWINGS PROVIDED BY:  
Blue Azalea Design LLC  
Keller, Texas  
817-760-6655  
cheryl@blueazaleadesign.com

DATE:

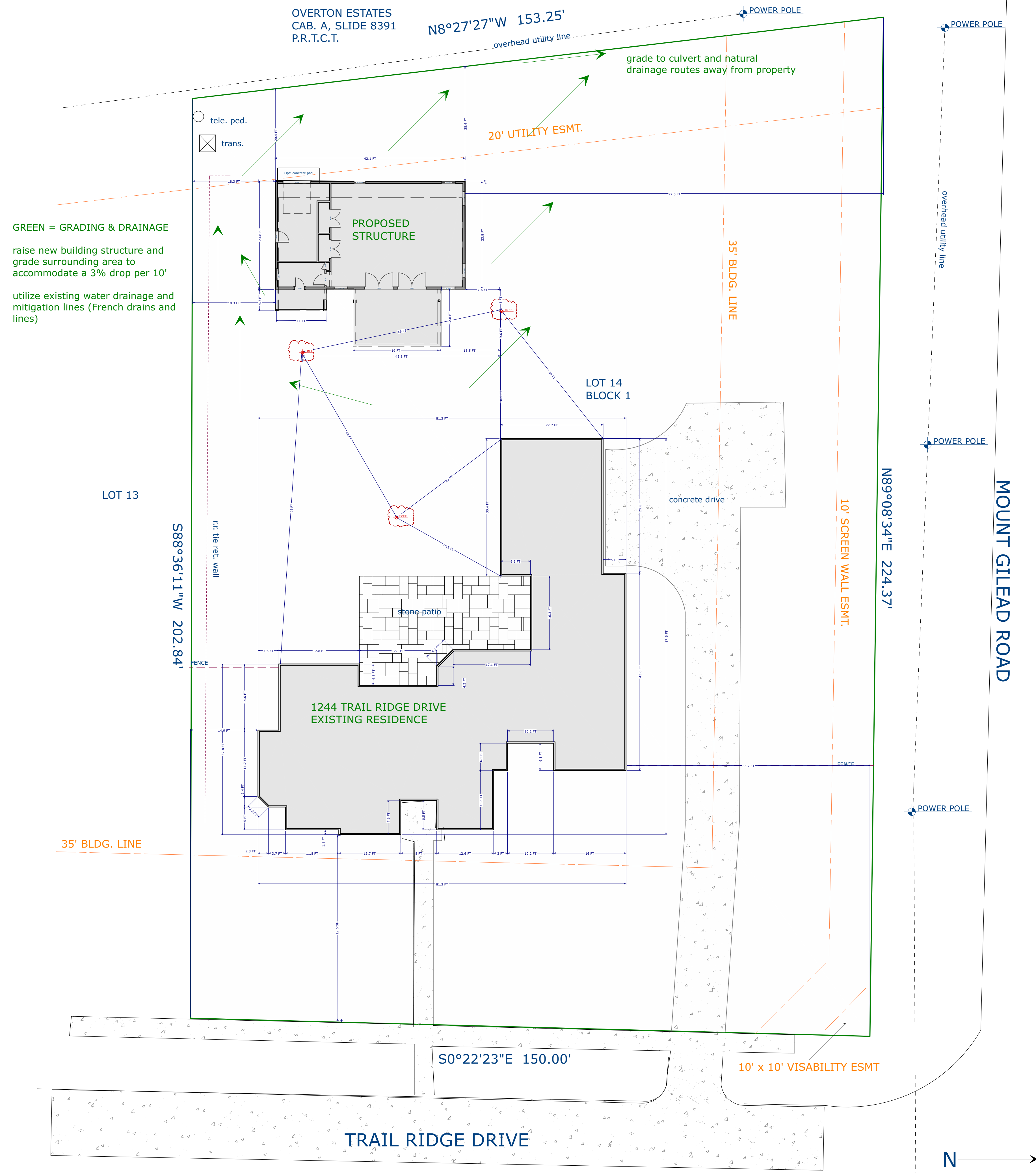
12/19/2022

SCALE:

1/4" = 1'

SHEET:

P-1



GREEN = GRADING & DRAINAGE  
raise new building structure and grade surrounding area to accommodate a 3% drop per 10'  
utilize existing water drainage and mitigation lines (French drains and lines)

| NUMBER | DATE | REVISION BY | DESCRIPTION |
|--------|------|-------------|-------------|
|        |      |             |             |
|        |      |             |             |
|        |      |             |             |
|        |      |             |             |

WADE FAMILY  
1244 Trail Ridge Drive  
Keller TX 76248

PLOT PLAN & GRADING PLAN

DRAWINGS PROVIDED BY:  
Blue Azalea Design LLC  
Keller, Texas  
817-760-6655  
cheryl@blueazaleadesign.com

DATE:

12/19/2022

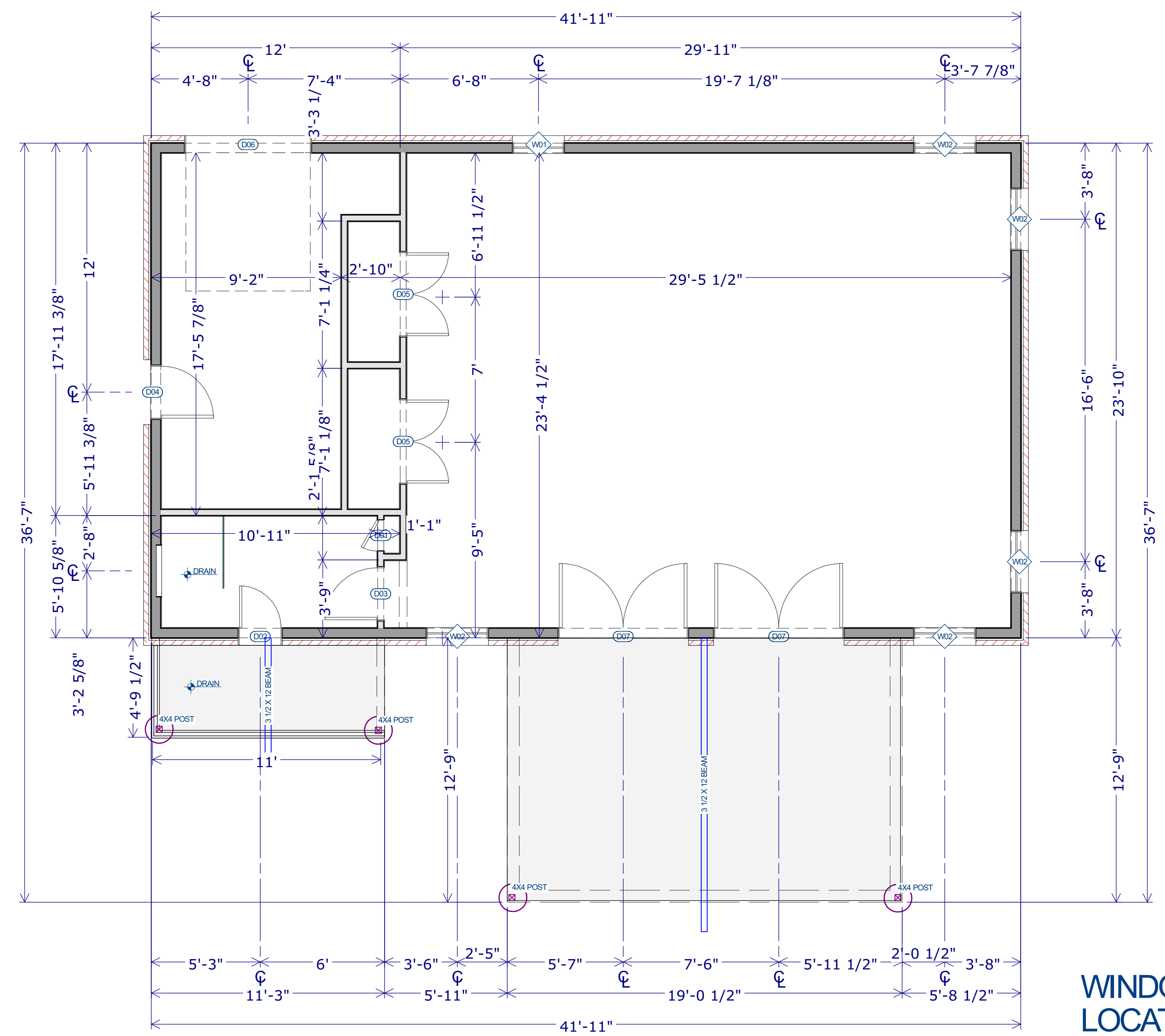
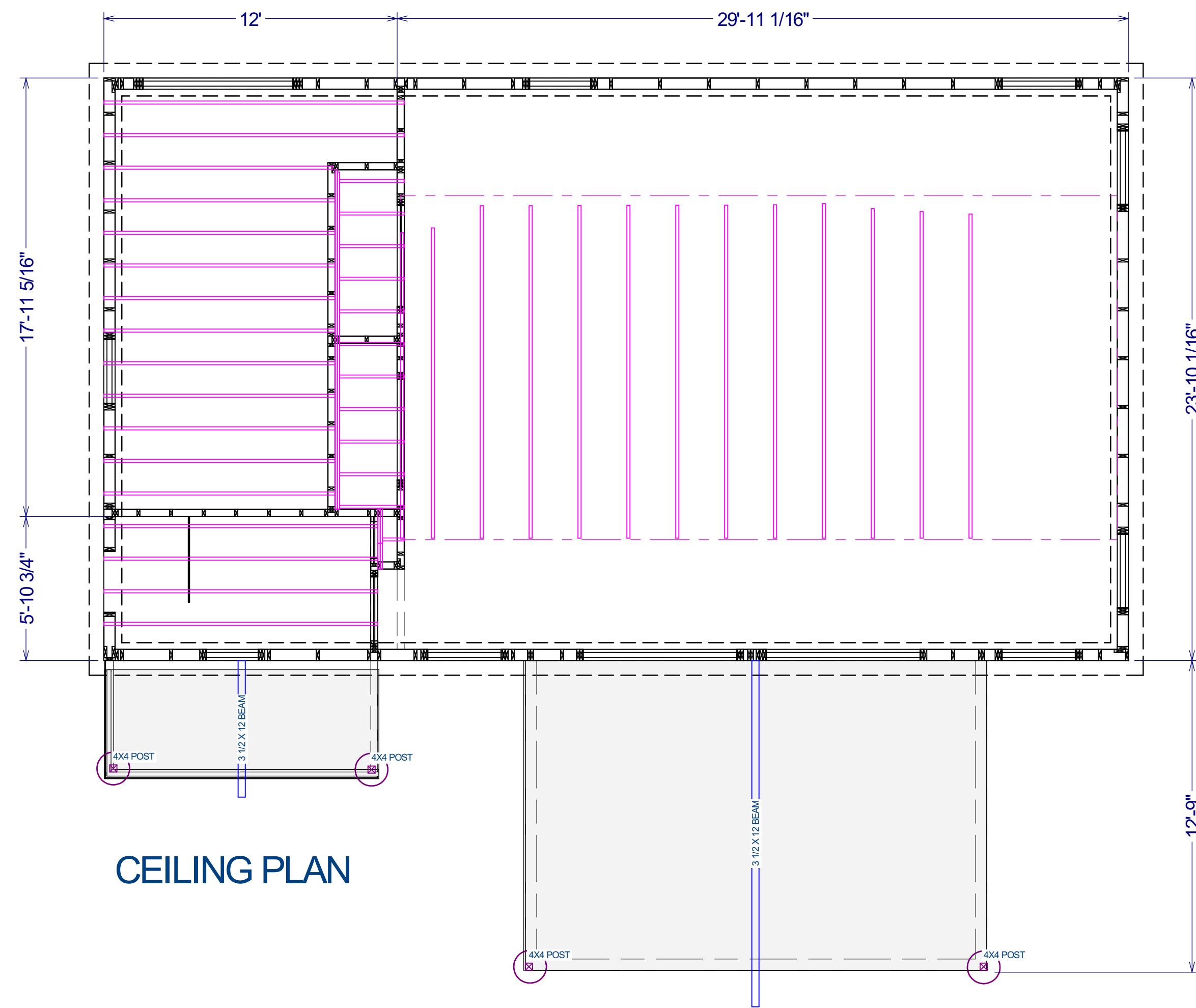
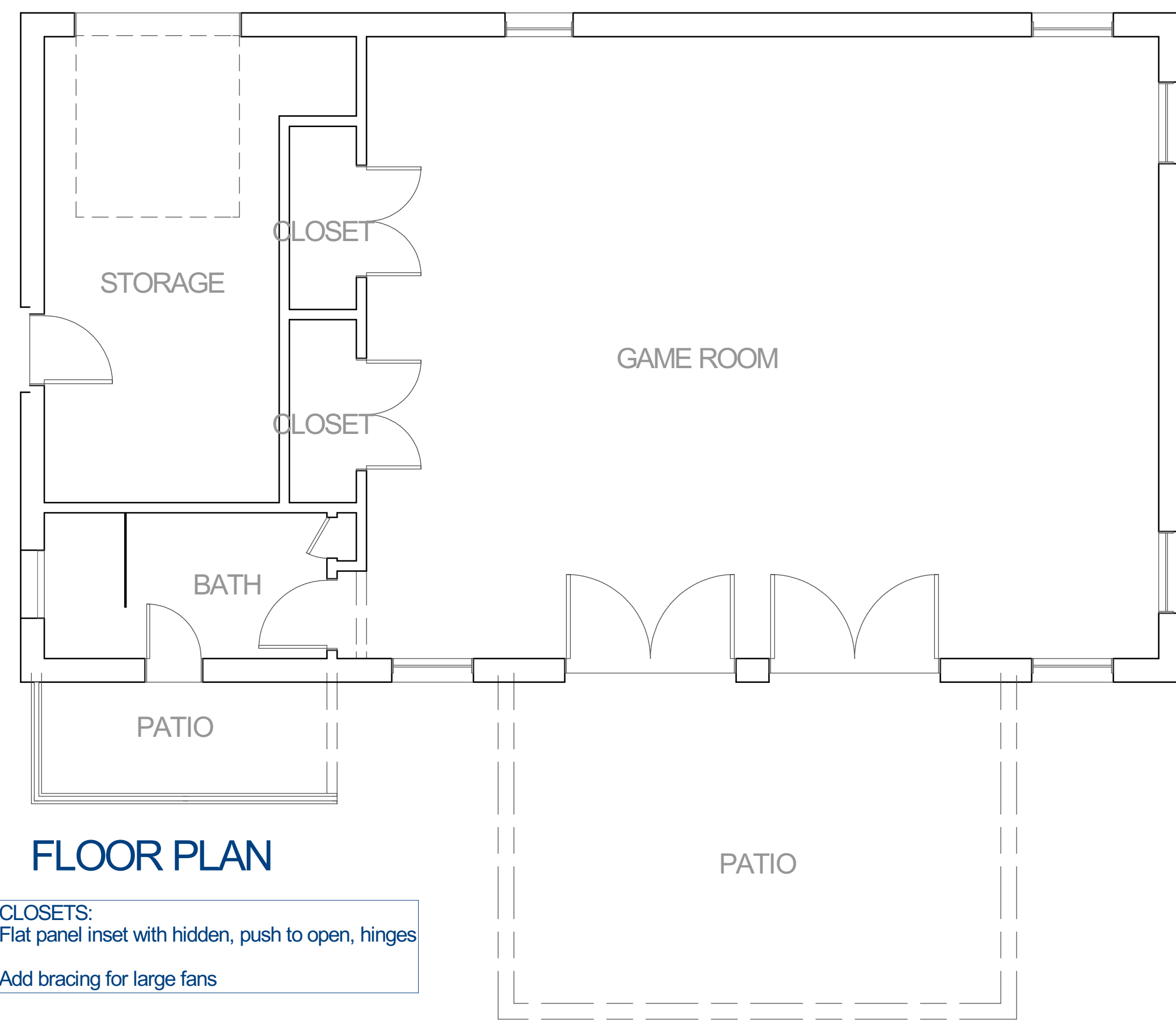
SCALE:

1/12" = 1'

SHEET:

P-2





**WINDOW SCHEDULE**

| NUMBER | LABEL  | QTY | FLOOR | SIZE   | R/O     | EGRESS | DESCRIPTION | HEADER      |
|--------|--------|-----|-------|--------|---------|--------|-------------|-------------|
| W01    | 2640DH | 1   | 1     | 2640DH | 31"X49" |        | DOUBLE HUNG | 2X6X34" (2) |
| W02    | 3070FX | 5   | 1     | 3070FX | 37"X85" |        | FIXED GLASS | 2X6X40" (2) |

**DOOR SCHEDULE**

| NUMBER | LABEL | QTY | FLOOR | SIZE        | R/O         | DESCRIPTION                    | HEADER       |
|--------|-------|-----|-------|-------------|-------------|--------------------------------|--------------|
| D01    | 1630  | 1   | 1     | 1630 R IN   | 20"X38 1/2" | HINGED-SLAB                    | 2X6X23" (2)  |
| D02    | 2068  | 1   | 1     | 2068 L IN   | 26"X82 1/2" | HINGED-GLASS PANEL             | 2X6X29" (2)  |
| D03    | 2668  | 1   | 1     | 2668 L IN   | 32"X82 1/2" | HINGED-SLAB                    | 2X6X35" (2)  |
| D04    | 2668  | 1   | 1     | 2668 R EX   | 32"X83"     | EXT. HINGED-SLAB               | 2X6X35" (2)  |
| D05    | 4068  | 2   | 1     | 4068 L/R IN | 50"X82 1/2" | DOUBLE HINGED-SLAB             | 2X6X53" (2)  |
| D06    | 6068  | 1   | 1     | 6068        | 74"X83"     | GARAGE-GARAGE DOOR CHD05       | 2X10X80" (2) |
| D07    | 6280  | 2   | 1     | 6280 L/R EX | 76"X99"     | EXT. DOUBLE HINGED-GLASS PANEL | 2X10X79" (2) |

**CEILING NOTES:**

GAME ROOM: Walls at 9'0", follow roof line to 12'0" and then flat 12'0" ceiling across the center of the room (see ceiling break lines on floor plan)

PATIO: Follow roof line and finish with stained tongue and groove

ALL OTHER ROOMS: 9'0" flat ceilings

**FLOORING NOTES:**

GAME ROOM, CLOSET STORAGE: Stained concrete (if another selection is made, it MUST be made before foundation is poured to accommodate the change)

STORAGE "GARAGE": Concrete

BATHROOM: Drop foundation so that tile and lvt will be at the same height (material MUST be selected, purchased and onsite before foundation is poured to get concrete and tile uniform in elevation height). Shower will have slope to drain.

PATIOS: Concrete, match existing home exterior concrete if possible. Otherwise, use salt finish.

**REVISION TABLE**

| NUMBER | DATE | REVISION BY | DESCRIPTION |
|--------|------|-------------|-------------|
|        |      |             |             |
|        |      |             |             |
|        |      |             |             |

WADE FAMILY  
1244 Trail Ridge Drive  
Keller TX 76248

FLOOR PLAN, CEILING/FLOORING,  
WINDOW/DOOR SCHEDULES

DRAWINGS PROVIDED BY:  
Blue Azalea Design LLC  
Keller, Texas  
817-760-6655  
cheryl@blueazaleadesign.com

DATE:

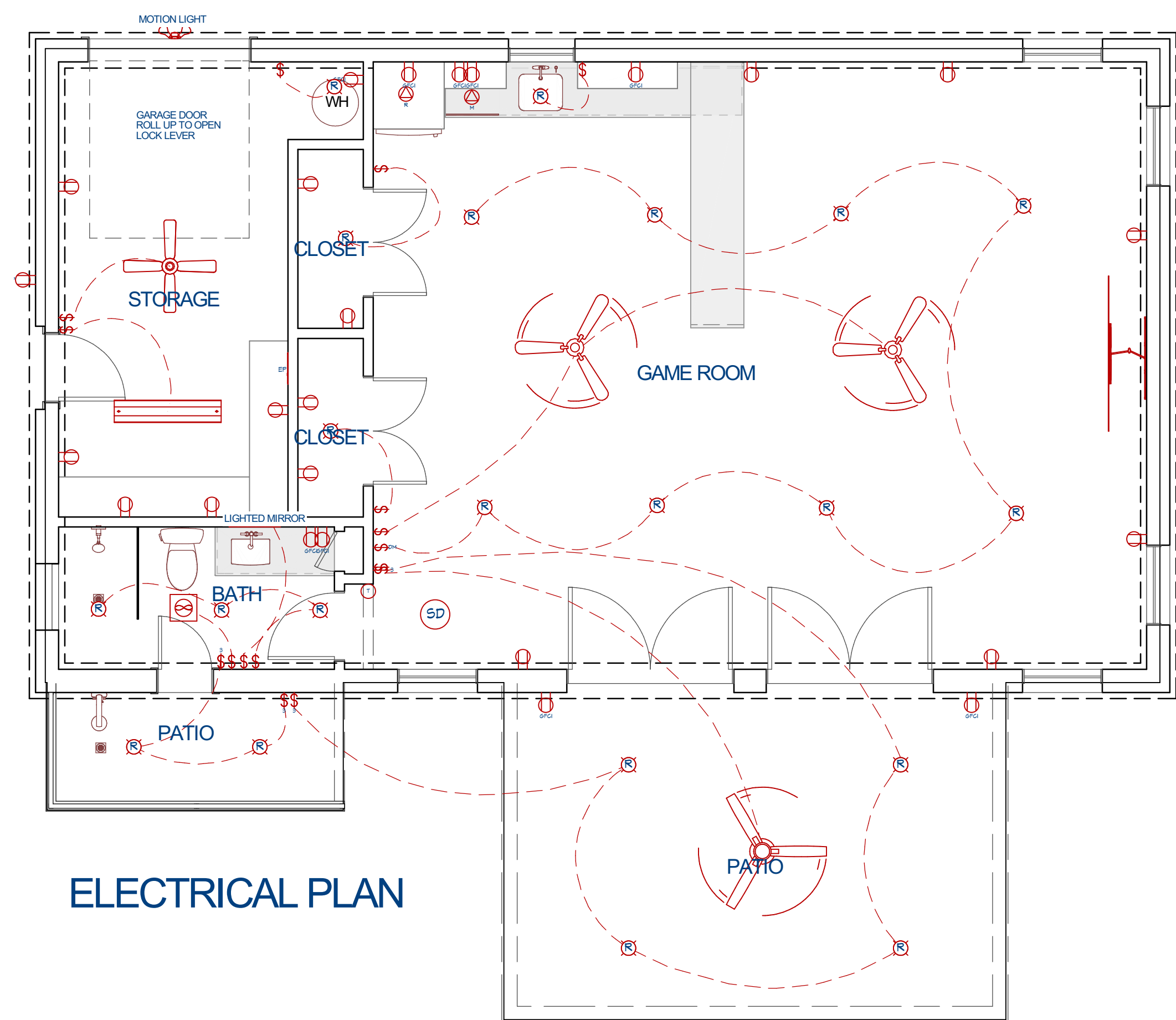
12/19/2022

SCALE:

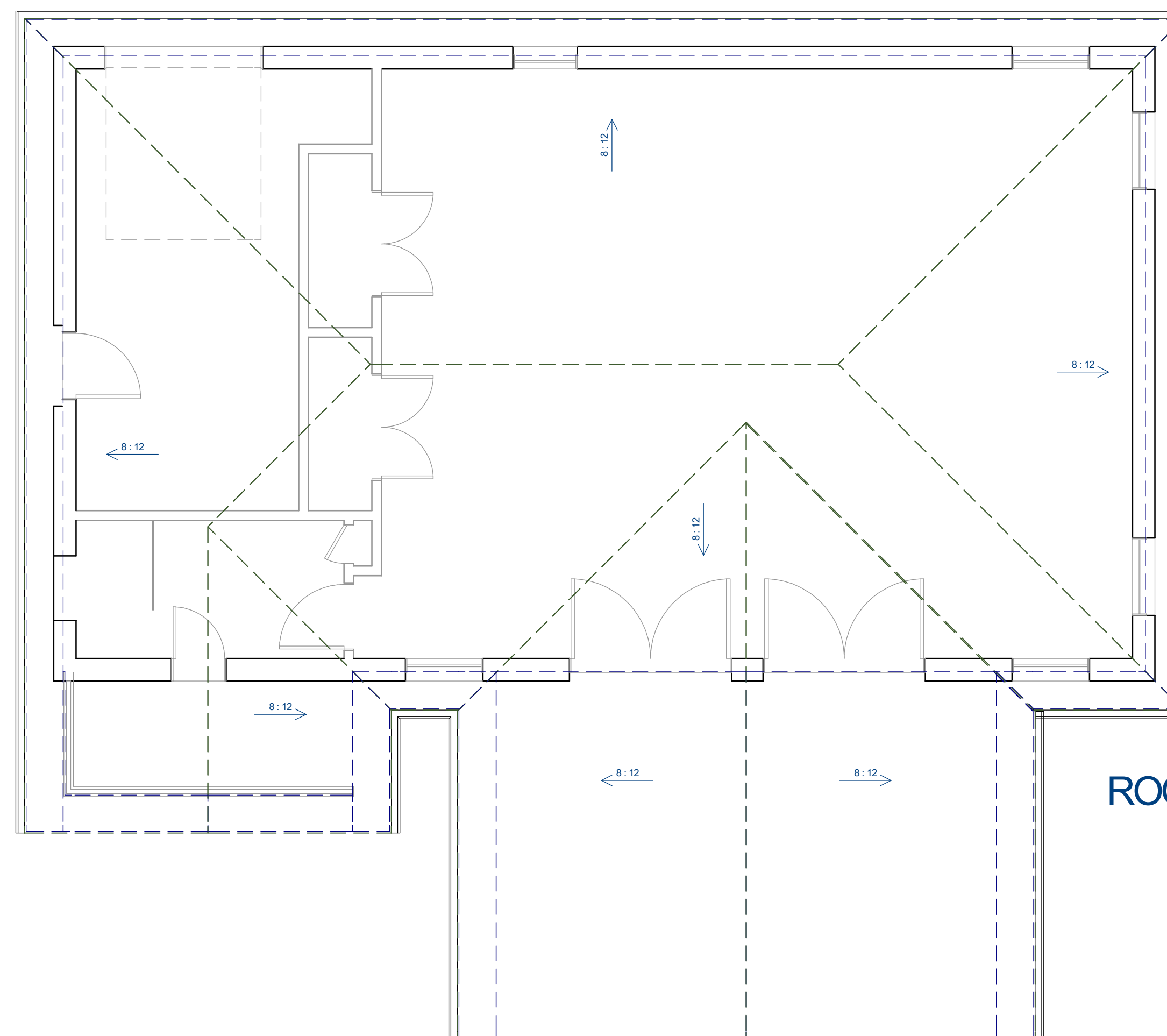
1/4" = 1'

SHEET:

P-4



**ELECTRICAL PLAN**



**ROOF PLAN**

**ELECTRICAL NOTES:**

PLACE OUTLETS ON SOFFITS UNDER ROOF AROUND HOME FOR CHRISTMAS LIGHTING - OPTION OF MOTION OR SPOTLIGHTS ON EXTERIOR CORNERS AS APPROVED BY HOMEOWNER - PROVIDE POWER / UTILITIES/ LIGHTING AS REQUIRED FOR FUTURE POOL/ SPA FEATURES. VERIFY WITH OWNER PRIOR TO CONSTRUCTION. - PROVIDE DEDICATED CIRCUIT FOR LANDSCAPE LIGHTING AND POSSIBLE SPRINKLER SYSTEMS. VERIFY REQUIREMENTS WITH OWNER PRIOR TO CONSTRUCTION - VERIFY ANY OUTDOOR / FLOOR LIGHTING REQUIREMENTS AND LOCATION WITH OWNER, PRIOR TO CONSTRUCTION ELECTRICAL PLACEMENT NOTES - ALL SWITCHES ARE 4" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS OTHERWISE NOTED - CENTERLINE OF CONVENIENCE OUTLETS AT 1'0" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE - ALL INTERIOR WALL MOUNTED FIXTURES TO BE AT 6'8" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE UNLESS NOTED OTHERWISE - ALL EXTERIOR WALL MOUNTED FIXTURES TO BE AT 7' ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE - REFER TO SITE PLAN AND HOME OWNER FOR SUPPLEMENTAL EXTERIOR LIGHTING - VERIFY ALL UTILITIES, LIGHTING, ELECTRICAL FIXTURES AND LOCATIONS WITH OWNER PRIOR TO CONSTRUCTION AND ALSO INSTALLATION - FINAL SWITCHES FOR TIMERS AND DIMMERS TO BE VERIFIED WITH HOME OWNER PRIOR TO CONSTRUCTION - FIXTURES TO BE SELECTED BY HOME OWNER - SECURITY DEVICES AND SMART HOME FEATURES TO BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION ELECTRICAL SAFETY NOTES - ELECTRICAL RECEPTACLES IN WATER/WET AREAS (SUCH AS BATHROOMS, KITCHENS AND GARAGES) TO BE GFI PER NATIONAL ELECTRICAL CODE REQUIREMENTS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SMOKE DETECTORS SO THAT IF ANY ARE TRIPPED, THEY WILL ALL SOUND. PROVIDE DETECTORS TO CODE. PROVIDE BATTERY BACKUP FOR ALL UNITS. - CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION AUDIO - DROP LINES FOR FUTURE AUDIO LINES IN LOCATIONS SPECIFIED BY HOMEOWNER - RUN CAT 5/6 LINES FOR INTERNET CONNECTIONS IF/AS SPECIFIED BY THE CLIENT AND ANY ELECTRONIC BASES IN CLOSET AREA(S).

**ROOF FRAMING / TRUSS NOTES:**

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.  
 ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.  
 ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.  
 ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.  
 ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.  
 ALL ROOF FRAMING 24" O.C.  
 ALL OVERHANGS 16".  
 INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.  
 ATTIC VENTILATION: REQUIRED ABOVE HOUSE.  
 MIN. SNOW LOAD 50 LBS PER SQUARE FOOT.  
 WALL HEADERS: (2) 2 X 10 DF 2 TYP. UNO  
 ROOF & FLOOR TRUSS MANUFACTURER: \_\_\_\_\_

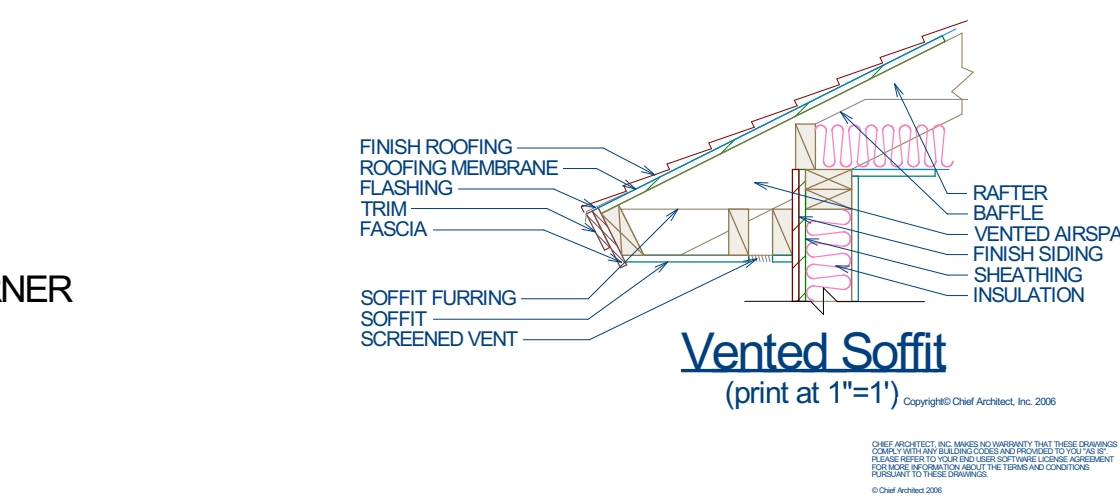
**FRAMING NOTES:**

PROVIDE DOUBLE JSTS. UNDER ALL WALLS RUNNING PARALLEL TO JOISTS.

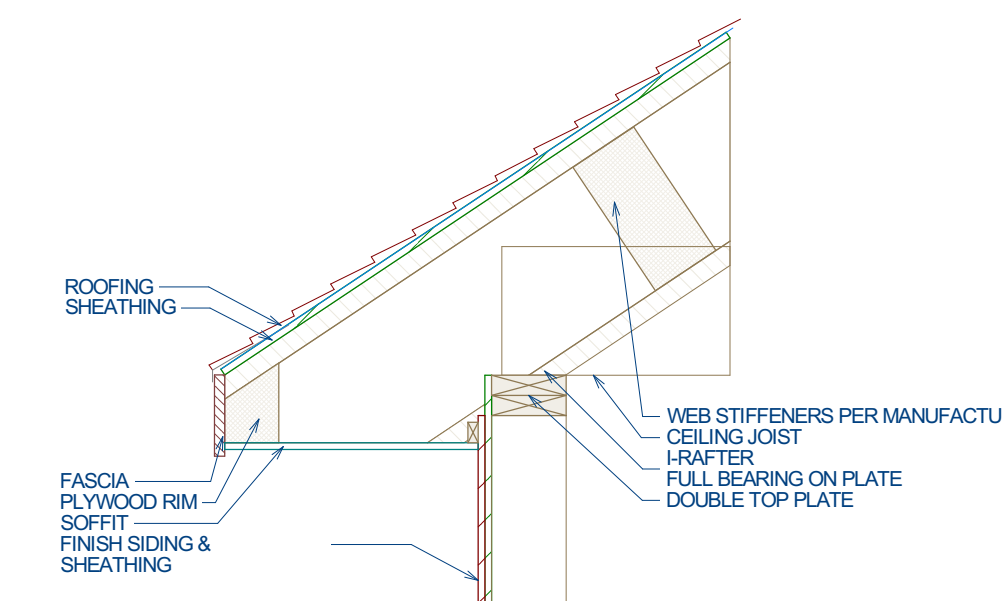
PROVIDE POSITIVE VENTILATION AT EA. END OF EA. RAFTER SPACE AT VAULTED CEILING AREAS.

PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12.

PROVIDE POSITIVE CONECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.



**Vented Soffit**  
(print at 1"=1")



**I-Rafter Soffited Eave**  
(print at 1"=1")

| REVISION TABLE | NUMBER | DATE | DESCRIPTION |
|----------------|--------|------|-------------|
|                |        |      |             |
|                |        |      |             |
|                |        |      |             |

WADE FAMILY  
 1244 Trail Ridge Drive  
 Keller TX 76248

ELECTRICAL PLAN & ROOF PLAN

DRAWINGS PROVIDED BY:  
 Blue Azalea Design LLC  
 Keller, Texas  
 817-760-6655  
 cheryl@blueazaleadesign.com

DATE:

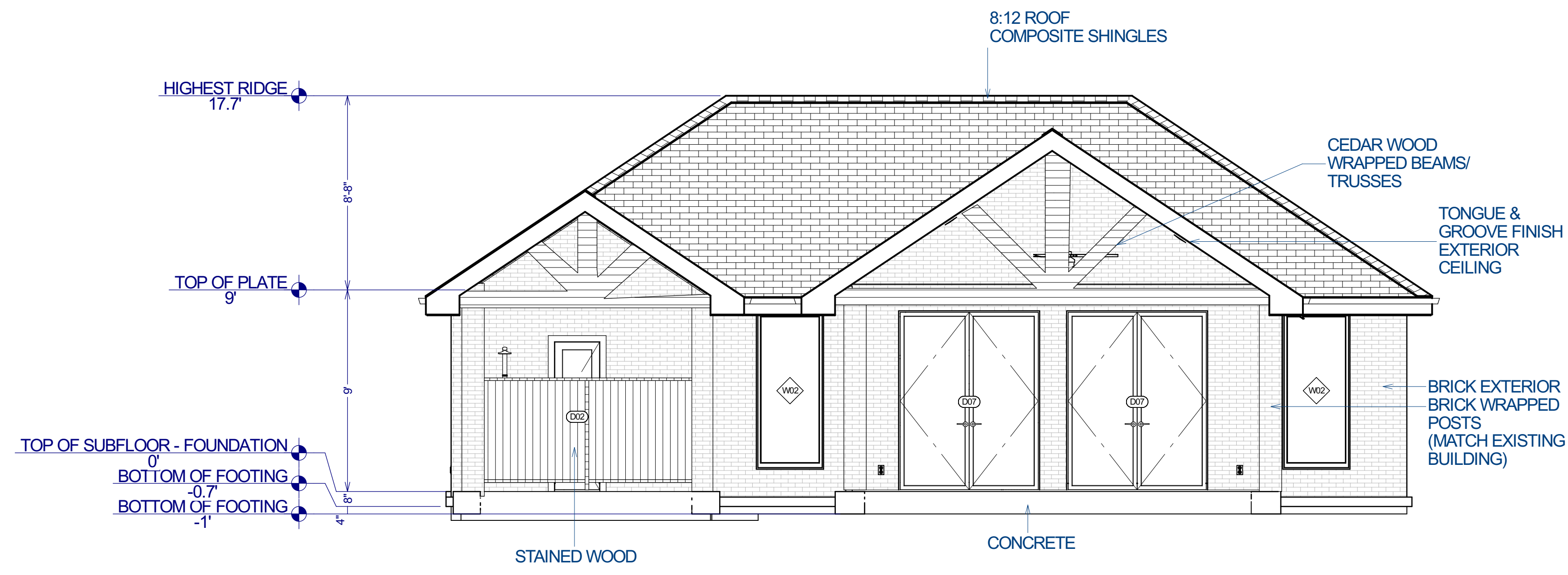
12/19/2022

SCALE:

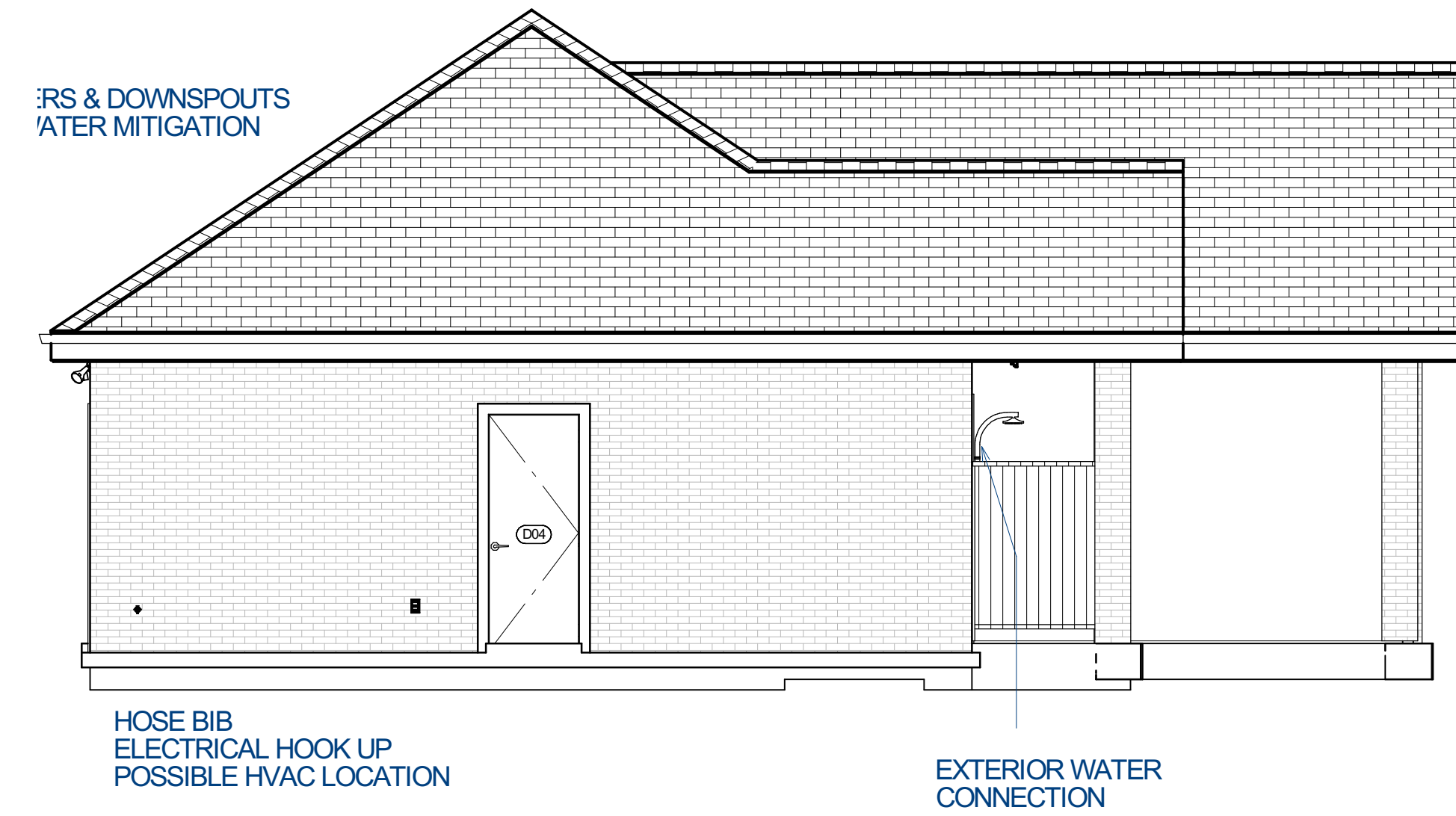
1/4" = 1'

SHEET:

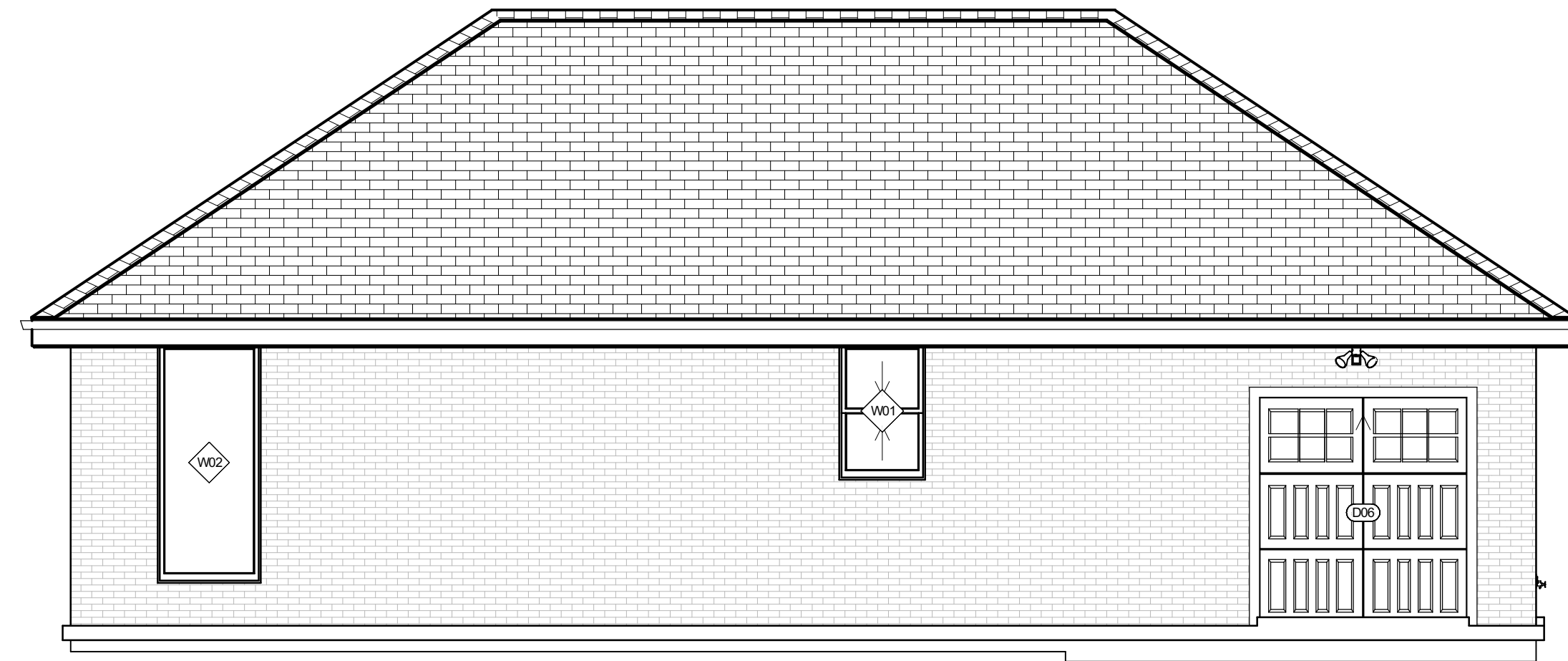
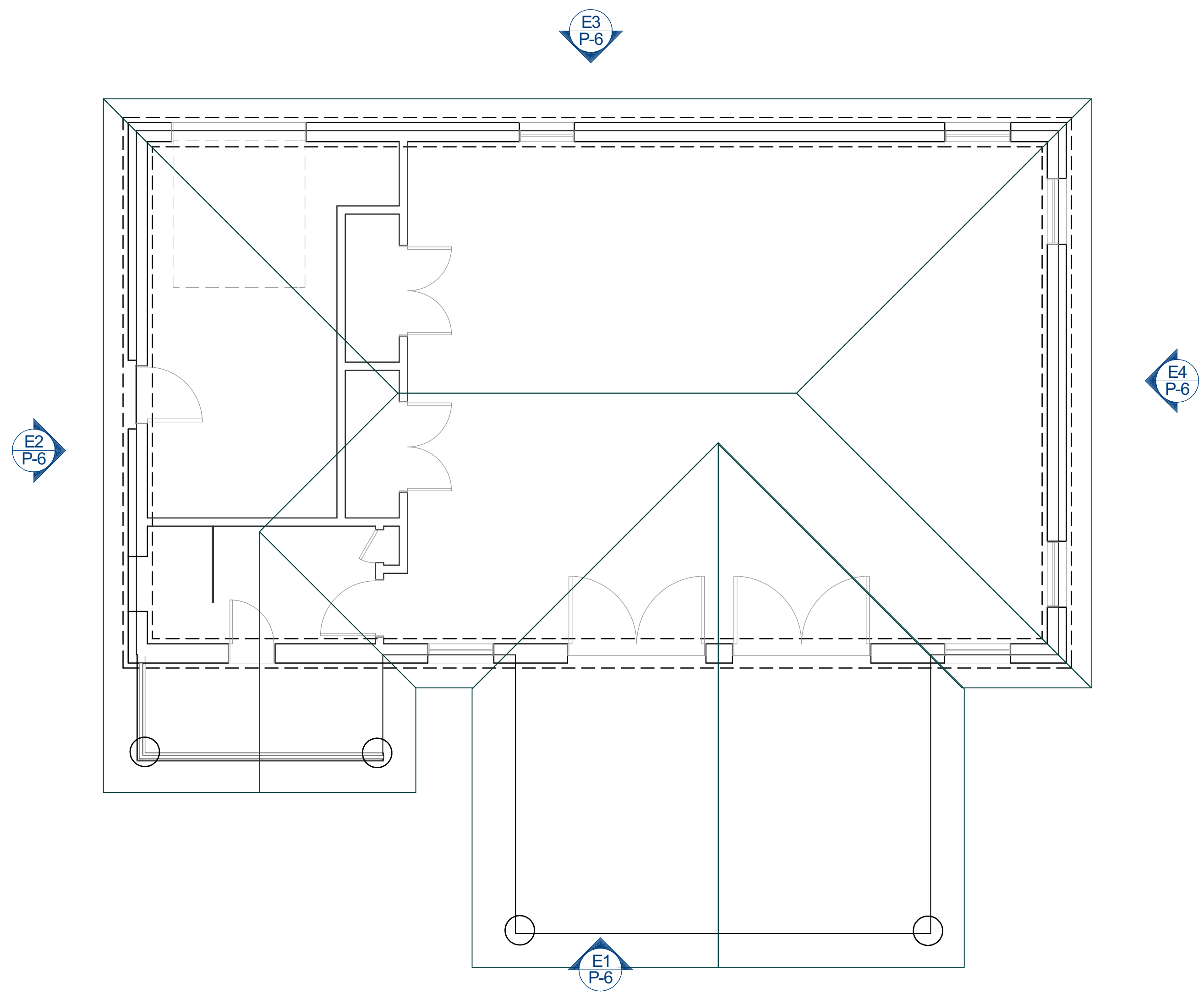
P-5



Elevation 1



Elevation 2



Elevation 3



Elevation 4

| REVISION TABLE | NUMBER | DATE | REVISOR | DESCRIPTION |
|----------------|--------|------|---------|-------------|
|                |        |      |         |             |
|                |        |      |         |             |
|                |        |      |         |             |

WADE FAMILY  
1244 Trail Ridge Drive  
Keller, TX 76248

EXTERIOR ELEVATIONS

DRAWINGS PROVIDED BY:  
Blue Azalea Design LLC  
Keller, Texas  
817-760-6655  
cheryl@blueazaleadesign.com

DATE:

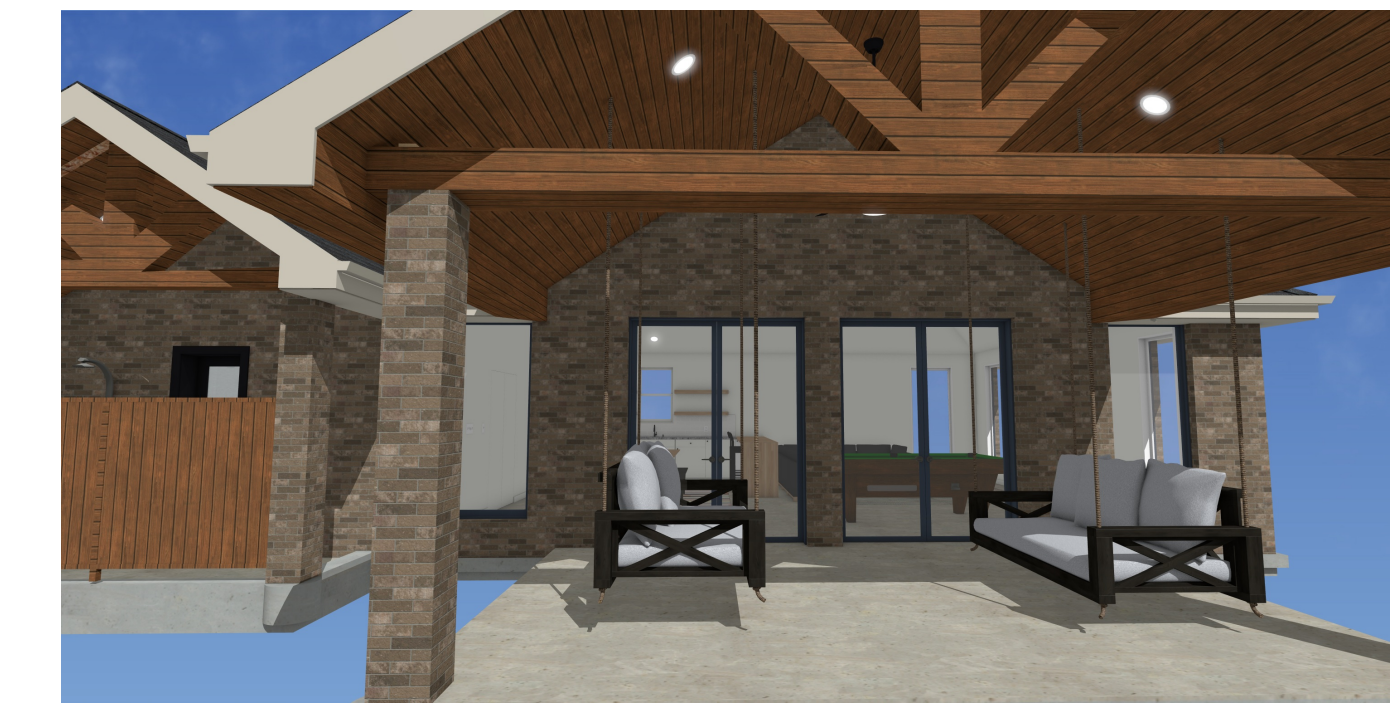
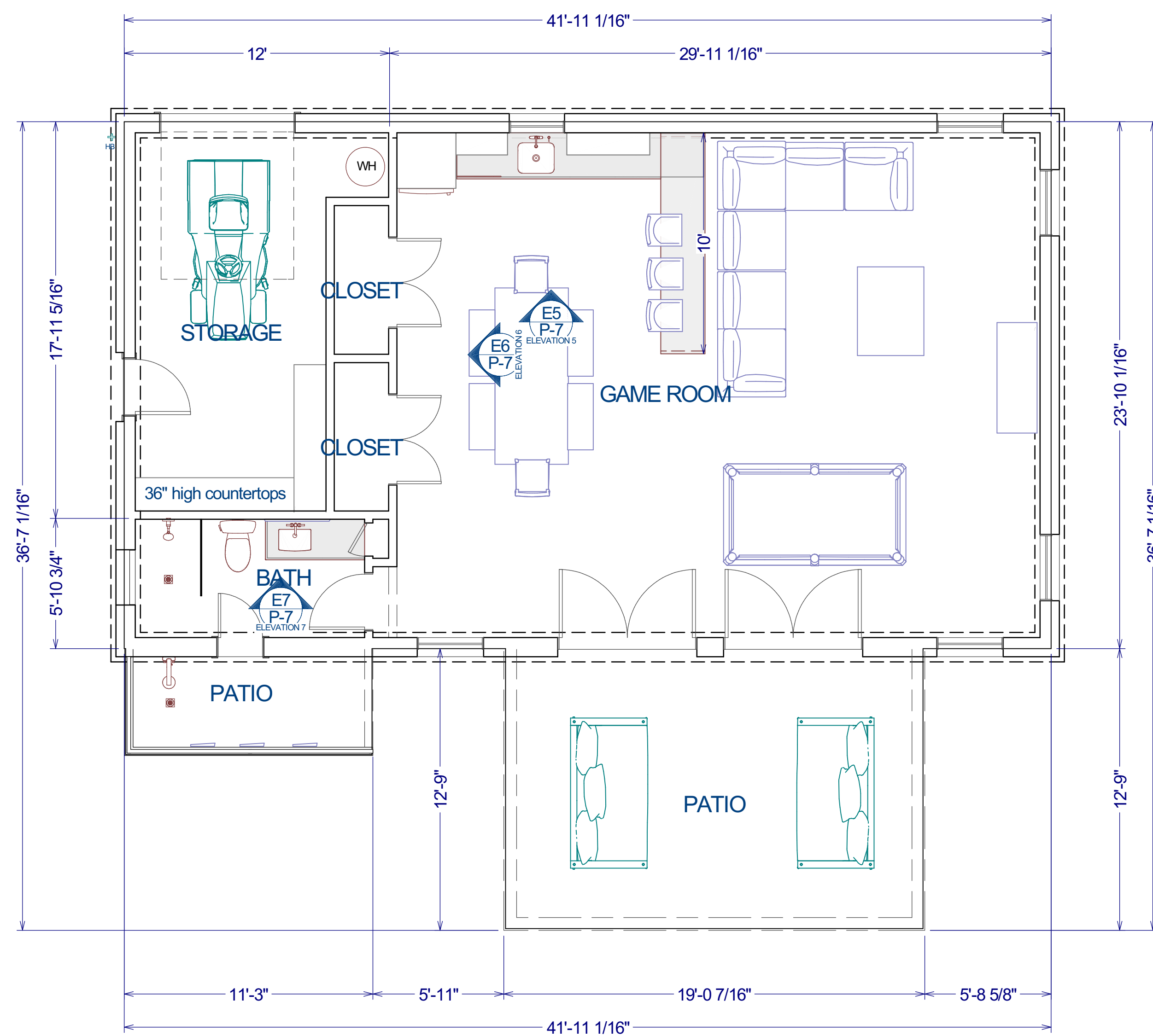
12/19/2022

SCALE:

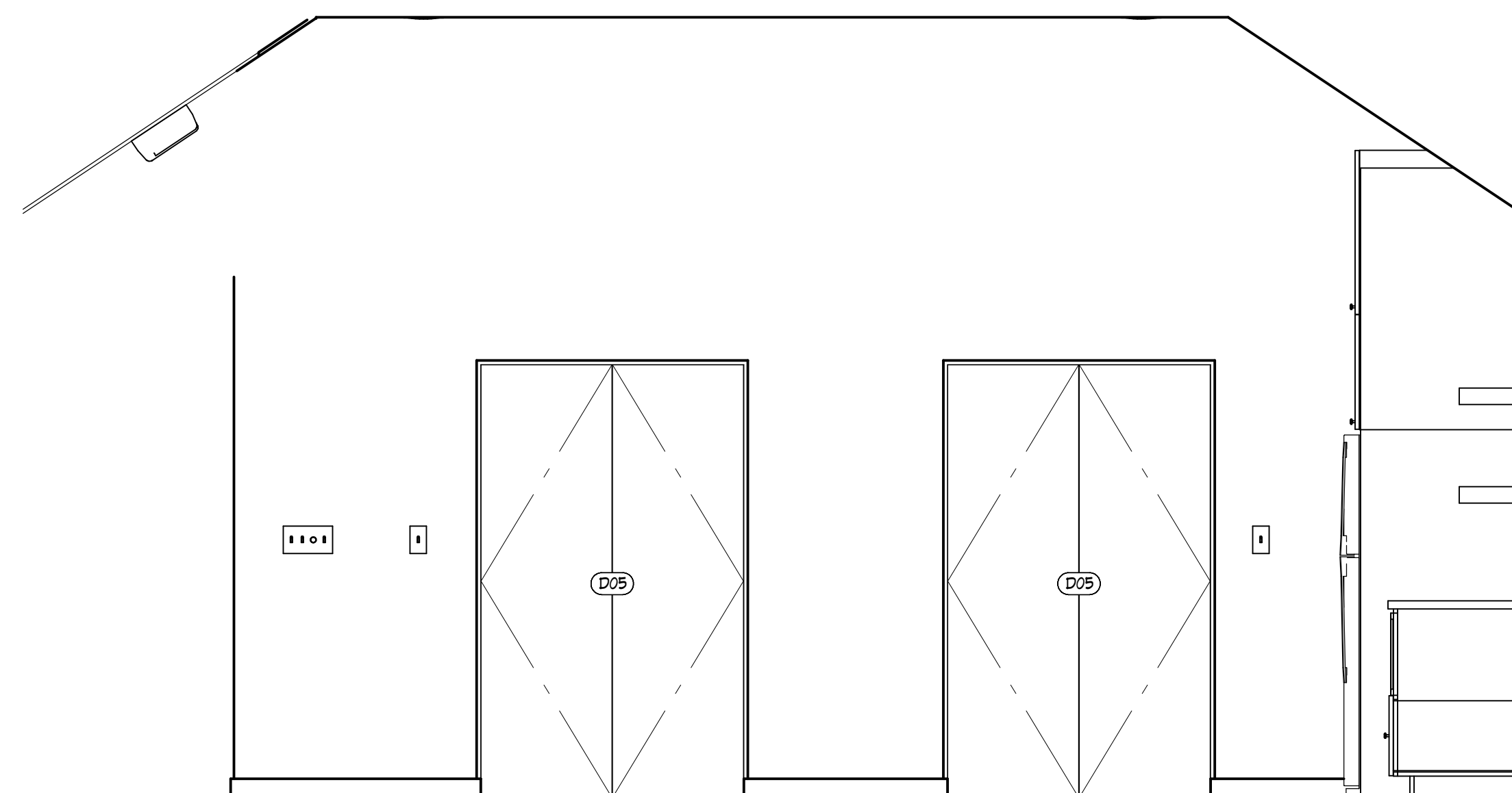
1/4" = 1'

SHEET:

P-6

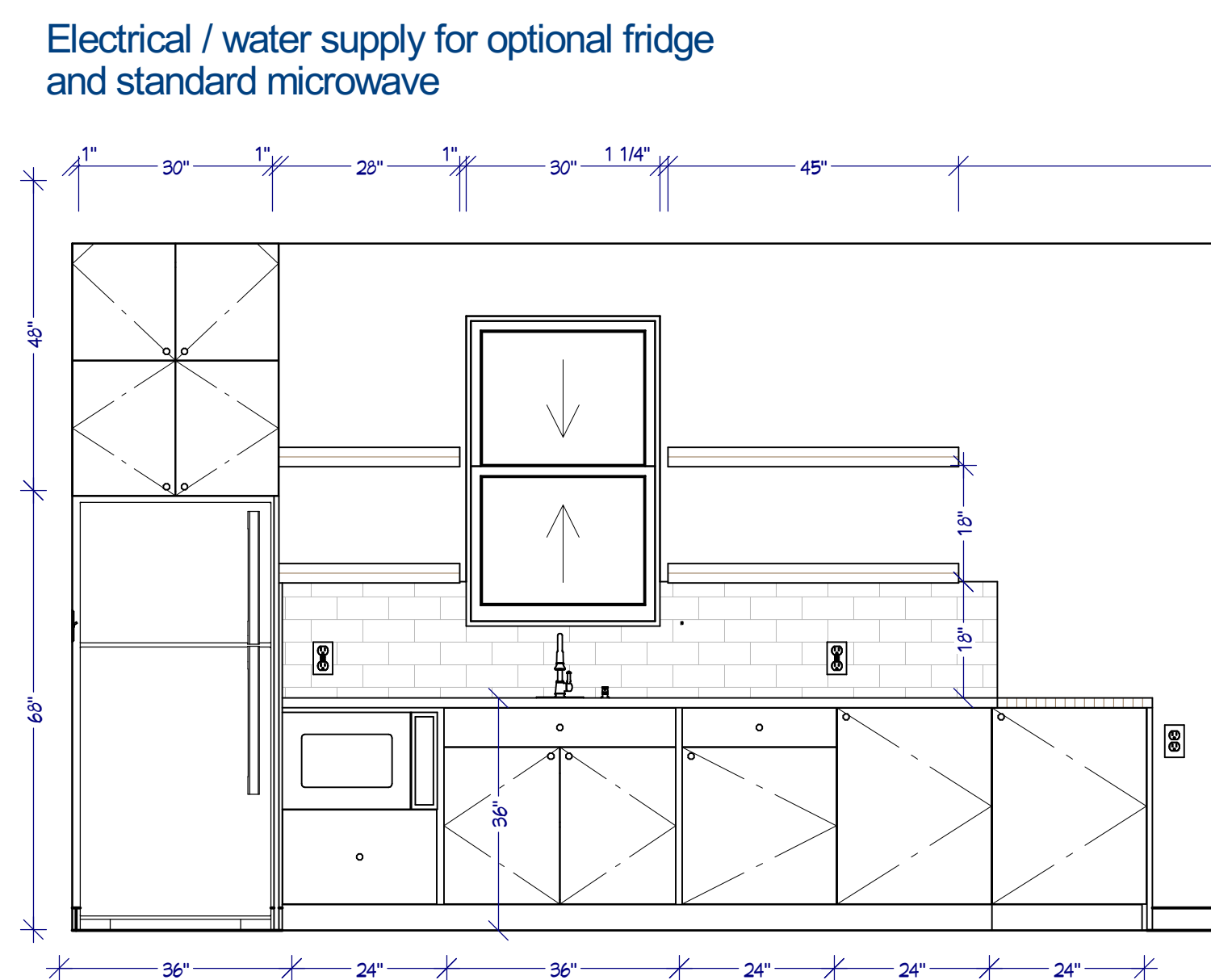


IMAGES  
not to scale



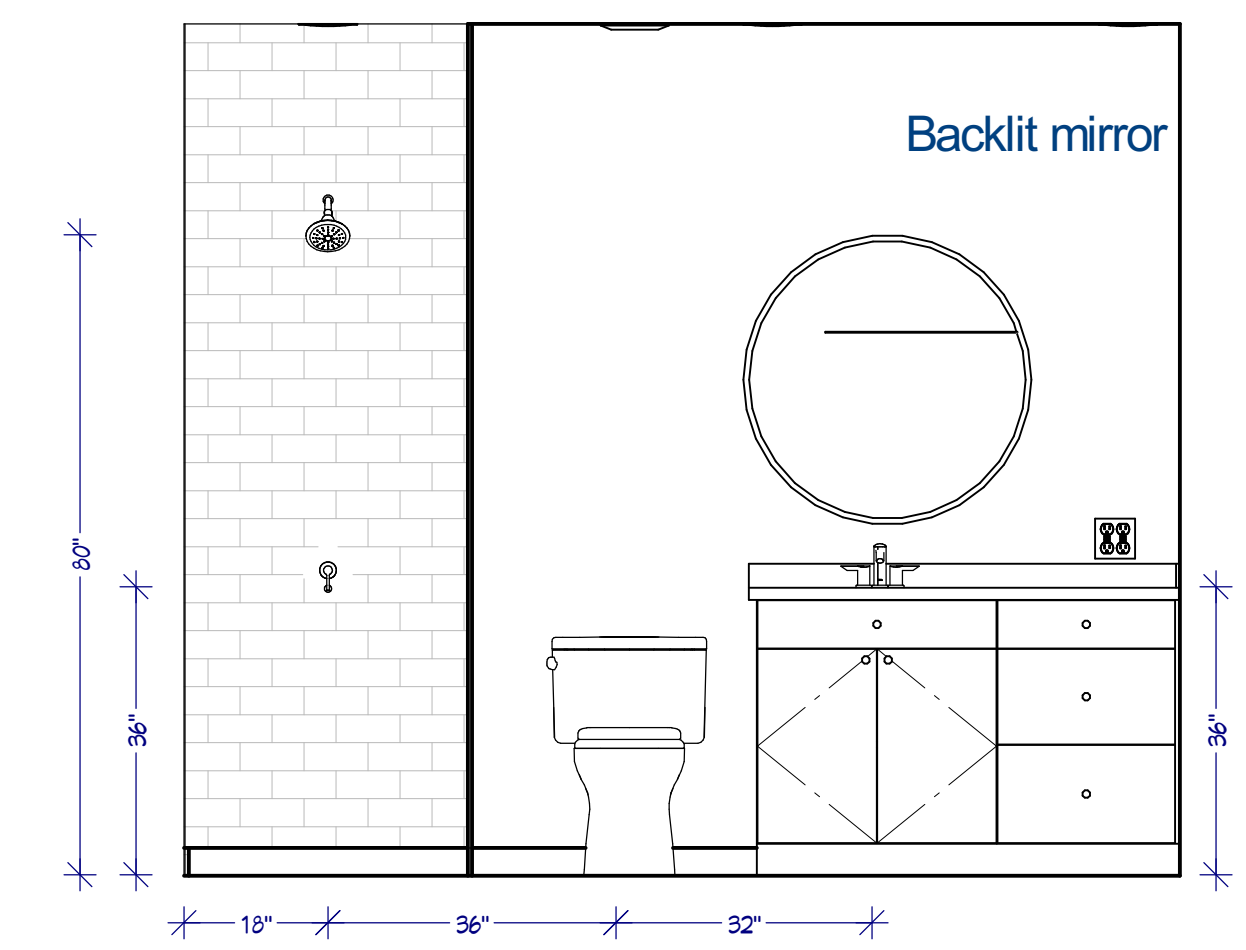
Elevation 6

doors are to be flat panel, no casing, flat to wall with hidden hinges and push to open as to not have any visible hardware



Elevation 5

NOTE: Measure for optional fridge and microwave selections before cabinets are built to ensure sizing. Center sink under window and move microwave to the right of the sink if more room is needed for fridge



Elevation 7

ELEVATIONS  
1/2" = 1'

| REVISION TABLE | DESCRIPTION |
|----------------|-------------|
| NUMBER         | DATE        |
|                |             |
|                |             |
|                |             |
|                |             |

WADE FAMILY  
1244 Trail Ridge Drive  
Keller TX 76248

INTERIOR ELEVATIONS & IMAGES

DRAWINGS PROVIDED BY:  
Blue Azalea Design LLC  
Keller, Texas  
817-760-6655  
cheryl@blueazaleadesign.com

DATE:

12/19/2022

SCALE:

1/4" = 1'

SHEET:

P-7