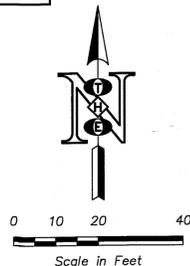


VICINITY MAP
SCALE: 1"=1000'



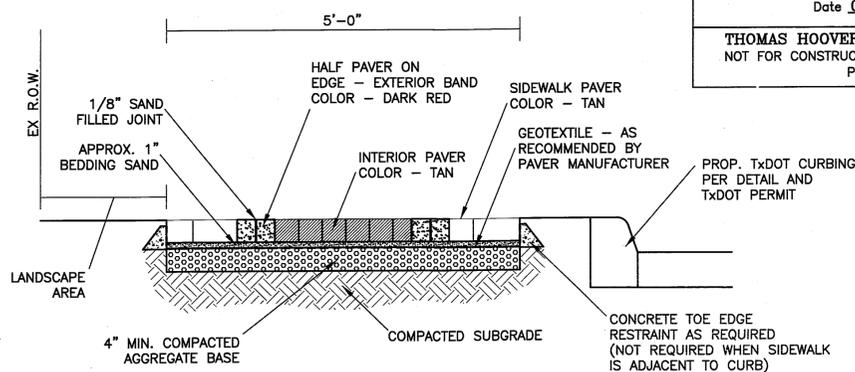
- PROP 3" TYPE "D" HMA OVER 6" TYPE 1 FLEX BASE
- PROPOSED 4" THICK REINF. CONCRETE SIDEWALK
- PROPOSED 7" THICK REINF. CONCRETE PAVEMENT W/#4@18" OCEW
- PROPOSED 5" THICK REINF. CONCRETE PAVEMENT W/#4@18" OCEW
- PROPOSED PAVER SIDEWALK PATTERN & COLOR TO MATCH EX.

- NOTE:
1. ALL SIGNAGE SHALL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE FOR THE OLD TOWN KELLER OVERLAY DISTRICT AT THE TIME OF SIGN PERMIT REVIEW.
 2. ALL PROPOSED SITE LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF KELLER (UDC SEC. 8.14 SEC. 9.10-LIGHTING AND GLARE) AS WELL AS THE OTK OVERLAY DISTRICT REQUIREMENTS WHICH INCLUDE THE ANTIQUE-STYLE LIGHT POLES AND FIXTURES. NO LIGHTING PLANS ARE AVAILABLE AT THE TIME OF SITE PLAN SUBMITTAL. PHOTOMETRIC PLANS SHALL BE INCLUDED WITH THE BUILDING PERMIT/ARCHITECTURAL PLANS. ALL REQUIRED LIGHTING SHALL NOT PRODUCE MORE THAN 0.2 FOOT CANDLES AT THE PROPERTY LINE.
 3. PROPOSED DUMPSTER SHALL BE LOCATED ON THIS SITE WITH GATES AND ENCLOSURE TO MATCH PROPOSED BUILDING.
 4. ALL EXISTING STRUCTURES ARE TO BE REMOVED FROM THE SITE EXCEPT FOR THE EXISTING SIDEWALK/PAVERS ALONG MAIN STREET.

**PRELIMINARY
FOR INTERIM REVIEW ONLY**

By THOMAS L. HOOVER P.E.# 62493
Date 05-30-17

THOMAS HOOVER ENGINEERING, LLC
NOT FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES



PAVER SIDEWALK CROSS SECTION
SECTION B-B

SITE DATA SUMMARY TABLE	
ZONING	R-OTK-RETAIL OLD TOWN KELLER OVERLAY
PROPOSED USE	RESTAURANT & OFFICE - PROFESSIONAL
TRACT AREA	22,500 SF / 0.517 ACRES
BUILDING SQUARE FOOTAGE	6,124 SF
PARKING REQUIRED	19
PARKING PROVIDED ON-SITE/OFF-SITE	22/15
HANDICAP PARKING REQUIRED	1
HANDICAP PARKING PROVIDED	2

OFFICE PARKING REQUIREMENTS
6,124 SQUARE FEET
1 SPACE PER 330 SF = 19 SPACES

OWNER

JAMES MASON
215 S. MAIN STREET
KELLER, TEXAS 76248
TEL(817)431-1222

CONTACT: JAMES MASON
jlmmpb@verizon.net

PREPARER/ENGINEER

THOMAS HOOVER ENGINEERING, LLC
P.O. BOX 1808
KELLER, TX 76244
817/913-1350 PHONE

CONTACT: THOMAS HOOVER
tom.theng@yahoo.com

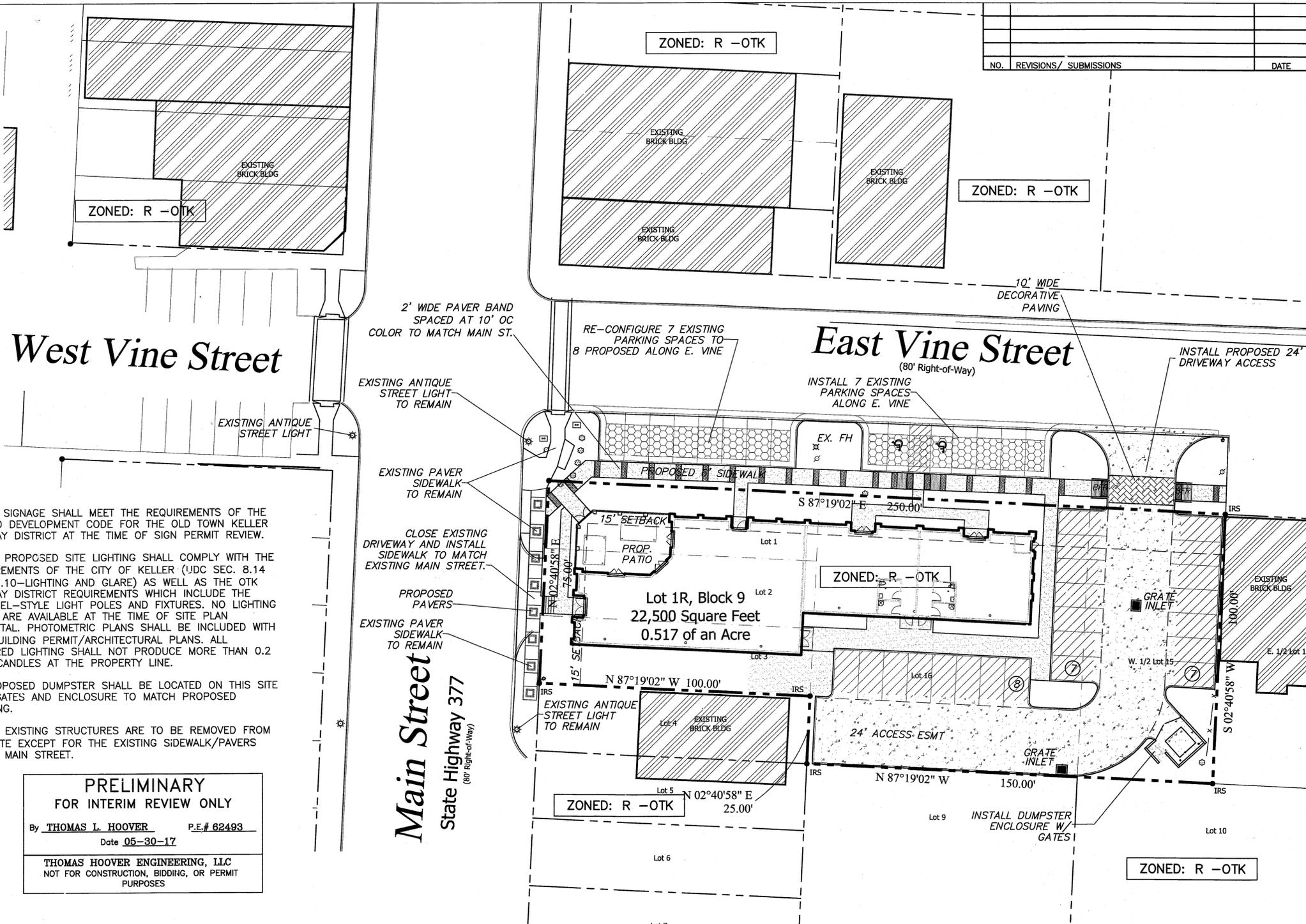
THOMAS HOOVER ENGINEERING, LLC
P.O. BOX 1808
KELLER, TEXAS 76244
(817) 431-0790 PHONE
T.B.P.E. FIRM REGISTRATION NO. 006009

**0.517 ACRES OF LAND
LOT 1R, BLOCK 9, ORIGINAL TOWN OF KELLER
IN THE CITY OF KELLER,
TARRANT COUNTY, TEXAS.
ZONED: R-OTK RETAIL OLD TOWN KELLER OVERLAY**

MASON BUILDING

SITE PLAN

DESIGNED	TLH	SCALE	1" = 30'	PROJECT NO.	02-00001.71	SHEET	SP-1
DRAWN	SDS	DATE	05-30-17				
CHECKED	TLH						



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JUN 05 2017
BY: