



After fourteen successful years of dedicated service to the Keller community, we are thrilled to announce that our business will soon be relocating to a state-of-the-art facility. As an esteemed member of a nationwide franchise network encompassing over 100 locations and more than 20 in the Dallas-Fort Worth metroplex, this relocation marks a significant and exciting new chapter for our journey.

Our Keller location has held a special place as the very first Glo Tanning establishment in Texas. With the lease on our current space set to expire in 2025, we are embracing this opportunity to transition to a more modern and accessible facility. This move is strategically aligned with our evolving operational needs and our unwavering commitment to providing an exceptional experience for our cherished clientele.

As the last remaining luxury tanning salon in Keller, we continue to deliver a premier sun spa experience. Our comprehensive service offerings include traditional tanning, custom spray tanning, and innovative automated spa treatments. Our new location will not only enable us to elevate the customer experience with enhanced equipment and an upgraded ambiance, but it will also reaffirm our commitment to the high standards of quality and service that our clients have come to expect and appreciate.

PROJECT DESCRIPTION:

THIS PROJECT IS A TENANT FINISH OUT OF A SHELL SPACE OF AN EXISTING GROUP B CLASSIFIED OFFICE/RETAIL BUILDING (7.575GSF).

THE FINISH OUT OF 3.203 GSF IS A TANNING SALON WITH A GROUP B OCCUPANCY WILL BE LOCATED AT 1637 KELLER PARKWAY, SUITE B, KELLER, TEXAS.

THERE ARE NO MATERIAL RESTRICTIONS IN THE BUILDING CONSTRUCTION TYPE (TYPE V-B). THE EXISTING BUILDING IS SPRINKLERED.

CODE JURISDICTION:

2021 INTERNATIONAL BUILDING CODE	WITH CITY AMENDMENTS
2021 INTERNATIONAL EXISTING BUILDING CODE	WITH CITY AMENDMENTS
2021 INTERNATIONAL MECHANICAL CODE	WITH CITY AMENDMENTS
2021 INTERNATIONAL PLUMBING CODE	WITH CITY AMENDMENTS
2021 INTERNATIONAL FIRE CODE	WITH CITY AMENDMENTS
2021 INTERNATIONAL ENERGY CONSERVATION CODE	WITH CITY AMENDMENTS
2020 NATIONAL ELECTRICAL CODE	WITH CITY AMENDMENTS

ACCESSIBILITY:

LATEST EDITION OF OF THE 2012 TEXAS ACCESSIBILITY STANDARDS (TAS) IN CONJUNCTION WITH THE ADA ACCESSIBILITY GUIDELINES (ADAAG) AND THE ELIMINATION OF ARCHITECTURAL BARRIERS (EAB)

BASIC ASSUMPTIONS:

THE INFORMATION BELOW WAS COMPILED BY AND FOR THE EXCLUSIVE USE OF THE ARCHITECT IN THE DESIGN PORTION OF HIS WORK. IT IS ALSO INTENDED TO IDENTIFY TO THE CODE OFFICIAL THE ARCHITECT'S INTERPRETATION OF THE CODE.

THE INFORMATION BELOW IS EXCERPTED FROM THE CODE UNLESS INDICATED OTHERWISE. IT IS INTENDED TO IDENTIFY THE BASIC REQUIREMENTS FOR THIS PROJECT, PRIMARILY IN TERMS OF OCCUPANCY, CONSTRUCTION TYPE, AND EGRESS. MISCELLANEOUS ISSUES MAY ALSO BE IDENTIFIED.

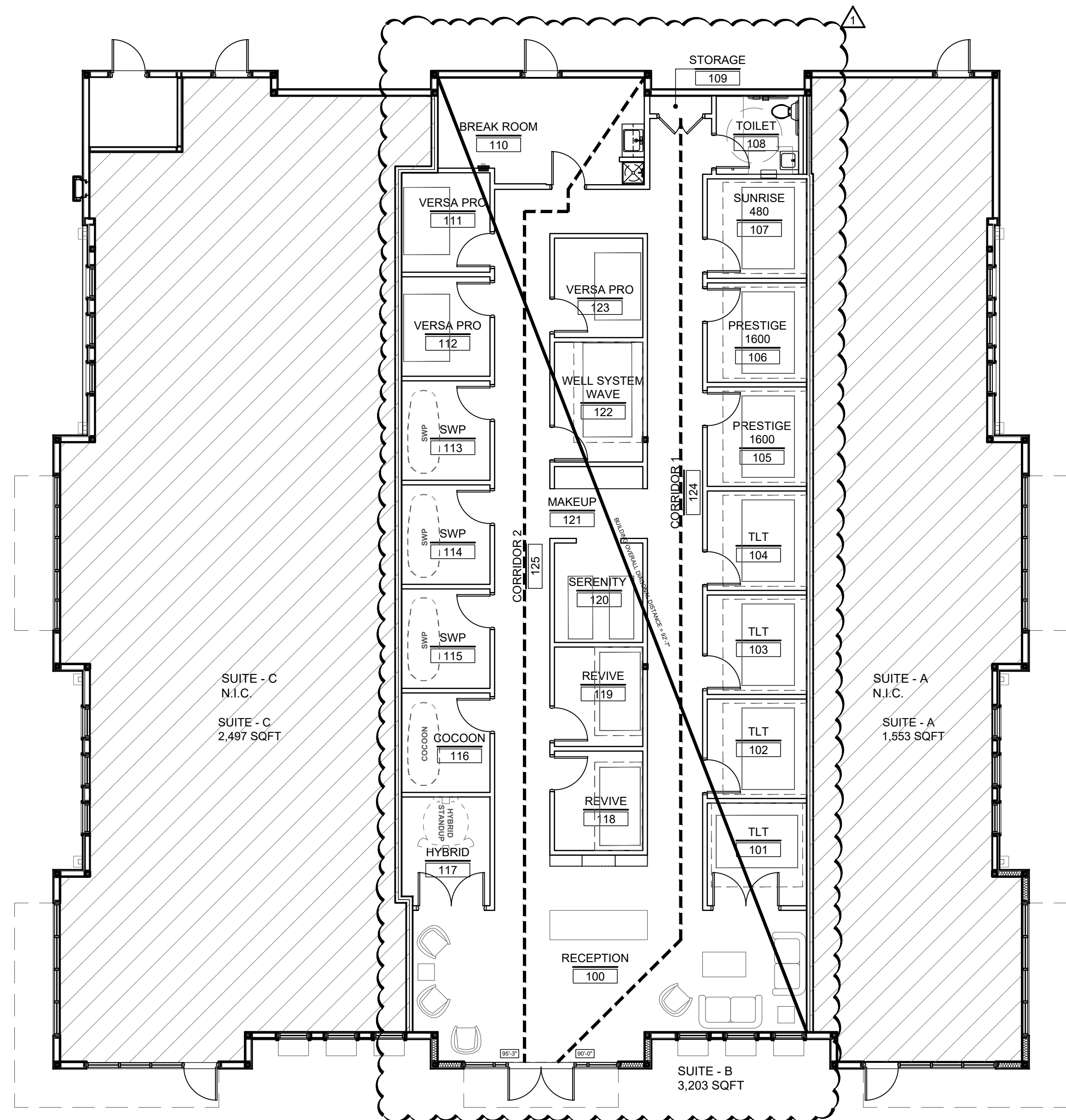
THE INFORMATION IS NOT INTENDED TO INCLUDE ALL APPLICABLE PORTIONS OF THE CODE OR OTHER APPLICABLE GOVERNING REGULATIONS. IT IS ALSO NOT INTENDED TO DIMINISH THE IMPORTANCE OR RELEVANCE OF OTHER PORTIONS OF ANY CODES AND REGULATIONS THAT MAY BE APPLICABLE TO THE WORK CONTAINED IN THESE DRAWINGS AND SPECIFICATIONS.

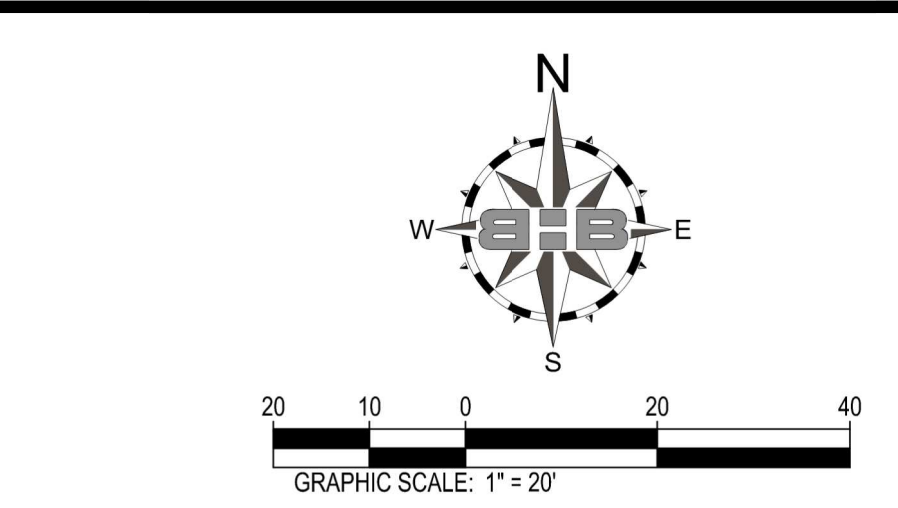
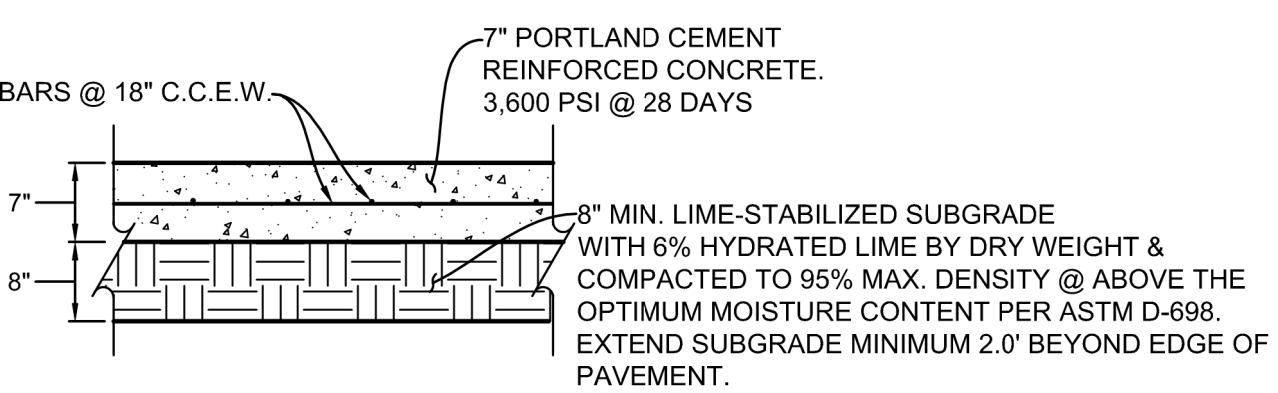
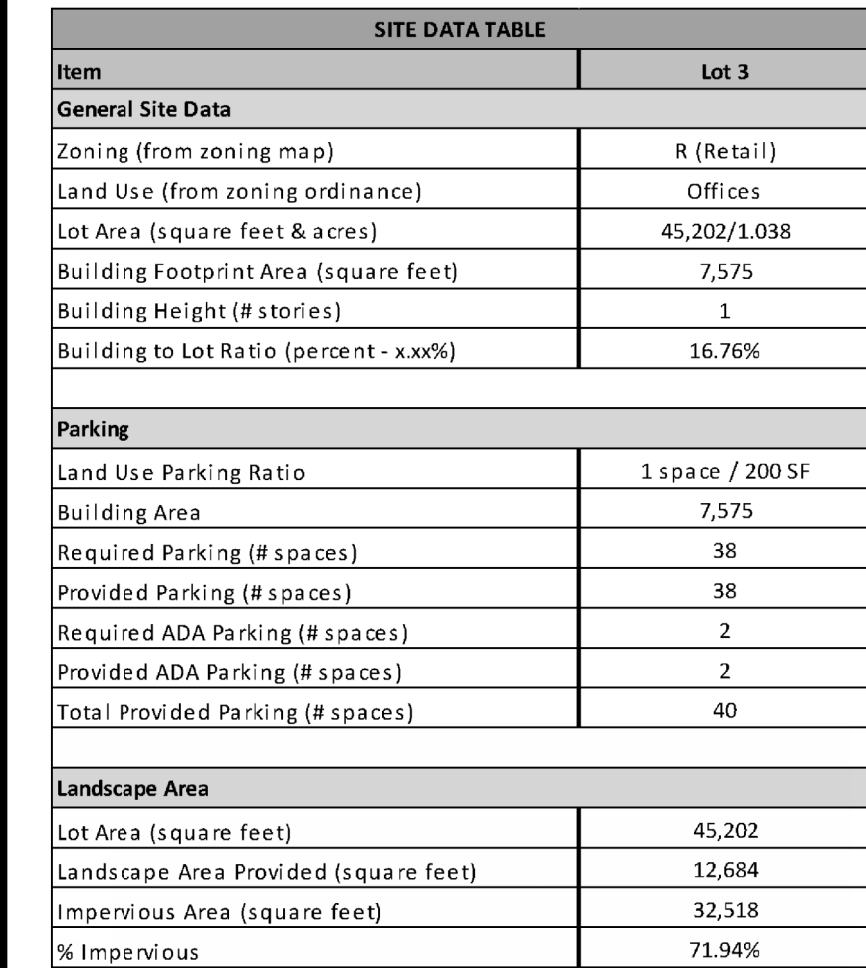
CONSULTANTS, CONTRACTORS, MANUFACTURERS, AND OTHER PARTIES THAT HAVE OR WILL PERFORM DESIGN AND/OR CONSTRUCTION SERVICES ON THIS PROJECT SHALL NOT RELY ON THIS INFORMATION IN THE PERFORMANCE OF THEIR WORK. EACH PARTY SHALL BE RESPONSIBLE FOR THEIR OWN REVIEW, UNDERSTANDING, AND COMPLIANCE OF ALL APPLICABLE CODES AND REGULATIONS.

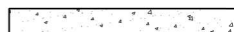
LIFE SAFETY DATA					
2021 IBC Type V-B Sprinklered					
SPACE	GROUP	AREA	OCCUPANT LOAD TABLE 1004.5		OCC LOAD
Waiting / Reception	B	511	150	GSF	4
TLT	B	81	150	GSF	1
TLT	B	81	150	GSF	1
TLT	B	81	150	GSF	1
TLT	B	81	150	GSF	1
PRESTIGE 1600	B	81	150	GSF	1
PRESTIGE 1600	B	81	150	GSF	1
SUNRISE 480	B	81	150	GSF	1
Breakroom	B	180	150	GSF	2
VERSA PRO	B	72	150	GSF	1
VERSA PRO	B	72	150	GSF	1
SWP	B	72	150	GSF	1
SWP	B	72	150	GSF	1
SWP	B	72	150	GSF	1
COCOON	B	72	150	GSF	1
HYBRID	B	72	150	GSF	1
REVIVE	B	72	150	GSF	1
REVIVE	B	72	150	GSF	1
SERENITY	B	72	150	GSF	1
WELL WAVE SYSTEM	B	72	150	GSF	1
VERSA RPO	B	72	150	GSF	1
Unoccupable Area	NA	1,081	0		0
Totals		3,203			25

EGRESS	MIN. EXITS REQUIRED TABLE 1006.3.3(2)	MIN. EGRESS WIDTH (INCHES) 1005.3.2"	MIN. STAIR EGRESS WIDTH 1005.3.1	MAX. EXIT ACCESS TRAVEL DIST. TABLE 1017.2	COMMON PATH OF TRAVEL TABLE 1006.2.1
	1	5	NA	300'	100'
	Totals	1	5		
	Provided	1	72		

APPLICABLE CODES	
2021 International Building Code	With Amendments
2021 International Plumbing Code	With Amendments
2021 International Mechanical Code	With Amendments
2020 National Electric Code	With Amendments
2021 International Energy Conservation Code	With Amendments
2021 International Fire Code	With Amendments
2012 Texas Accessibility Standards	
BUILDING DESIGN	
Building Area	7,575 Gross Square Feet
Tenant Finish Out Area	3,203 Gross Square Feet
Construction Type	Type V-B
Number of Stories	One
ZONING CRITERIA	
Occupancy Classification	Group B - Office & Retail
Fire Sprinkler System Required	YES
Fire Sprinkler System Provided	YES

[illegible]



EXISTING		PROPOSED
	PROPERTY LINE	---
	BUILDING FOOTPRINT	
== == == ==	CURB & GUTTER	=====
  	CONCRETE PAVEMENT	
	FIRE LANE	
 	CONCRETE SIDEWALK	
----- W -----	WATER LINE	----- W -----
SS -----	SANITARY SEWER LINE	----- SS -----
----- SD -----	STORM SEWER LINE	=====
	SIGN	
	GATE VALVE	
	FIRE HYDRANT	
	WATER METER	
	SANITARY SEWER MANHOLE	
	SANITARY SEWER CLEANOUT	
	TWO-WAY SANITARY SEWER CLEANOUT	
	ELECTRIC TRANSFORMER	
	UTILITY POLE	
	GUY WIRE	
	ELECTRIC RISER	
	TELEPHONE RISER	
	PHONE VAULT	
	TELEPHONE MANHOLE	
	GAS MARKER	
----- OHE -----	OVERHEAD ELECTRIC LINE	
	AREA INLET	
	STD. NDS PLANTER DRAIN	

- GENERAL NOTES**
1. ALL LINES, GRADES, CONSTRUCTION STAKING AND LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 2. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S AGENT.
 3. CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
 4. SEDIMENT THAT IS ERODED FROM THE CONSTRUCTION SITE AND DEPOSITED ONTO ADJACENT PROPERTIES SHALL BE REMOVED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
 5. ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS SHOWN OR INDICATED OTHERWISE.
 6. EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH MUNICIPAL AND FRANCHISE UTILITY COMPANIES AND LOCATING ALL UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION.
 7. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, OVERHEAD UTILITY POLES AND GUY LINES THROUGHOUT CONSTRUCTION.
 8. CONTRACTOR SHALL CALL "811" AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 9. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS AND CITY OF KELLER CRITERIA.

PROJECT BENCHMARKS

TBM #1 -
N: 7025341.80
E: 2362904.87
ELEVATION: 681.10'

TBM #2 -
N: 7025661.79
E: 2362341.70
ELEVATION: 680.05'

KELLER PKWY.
ASPHALT PAVEMENT

B=B

BAIRD, HAMPTON & BROWN
engineering and surveying

6300 Ridgela Place, Suite 700 Fort Worth, TX 76116
mail@bhbaird.com • 817-338-1277 • bhbaird.com
TBP&S Firm #44, #10011300, #10011302, #10194146

**KLINE HARDIN ARCHITECTS
1637 KELLER PKWY
BLOCK A, LOT 3
1637 KELLER PKWAY, KELLER, TEXAS 76248**

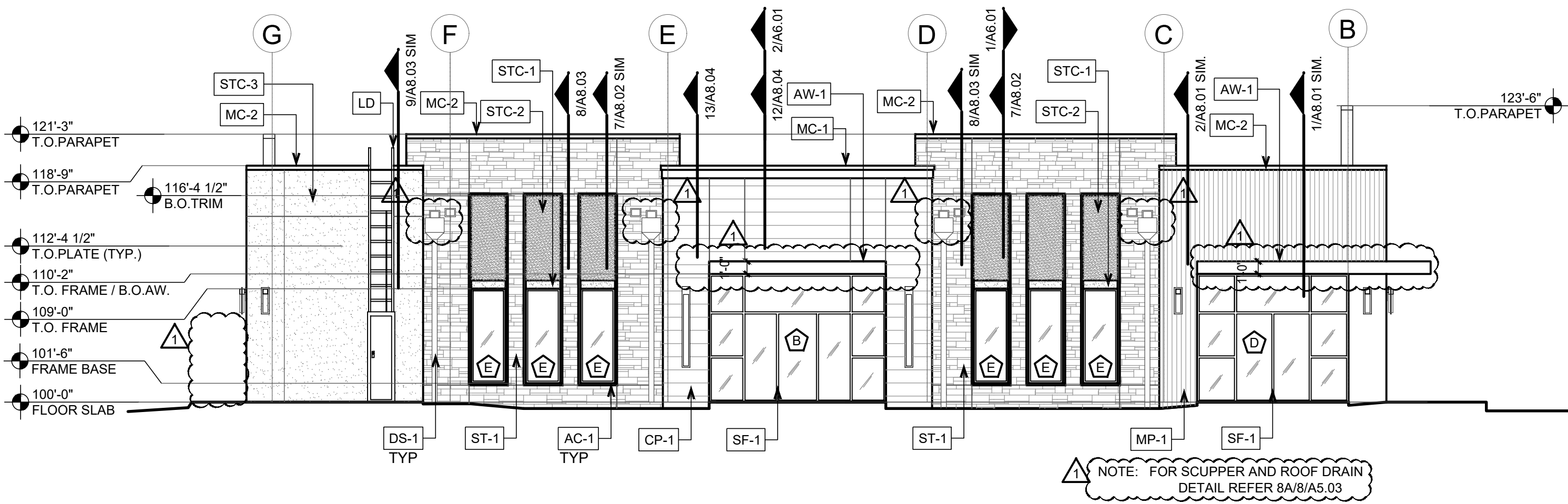
APPROVED SITE PLAN		
NO.	DESCRIPTION	DATE

STATE OF TEXAS
LUIS OMAR RUBIO
141529
LICENSED
PROFESSIONAL ENGINEER
8/21/2024

PROJECT NUMBER:	2024.712.000
DATE: 08/21/2024	DRAWN BY: BG
DESIGN BY: BG	CHECKED BY: OR

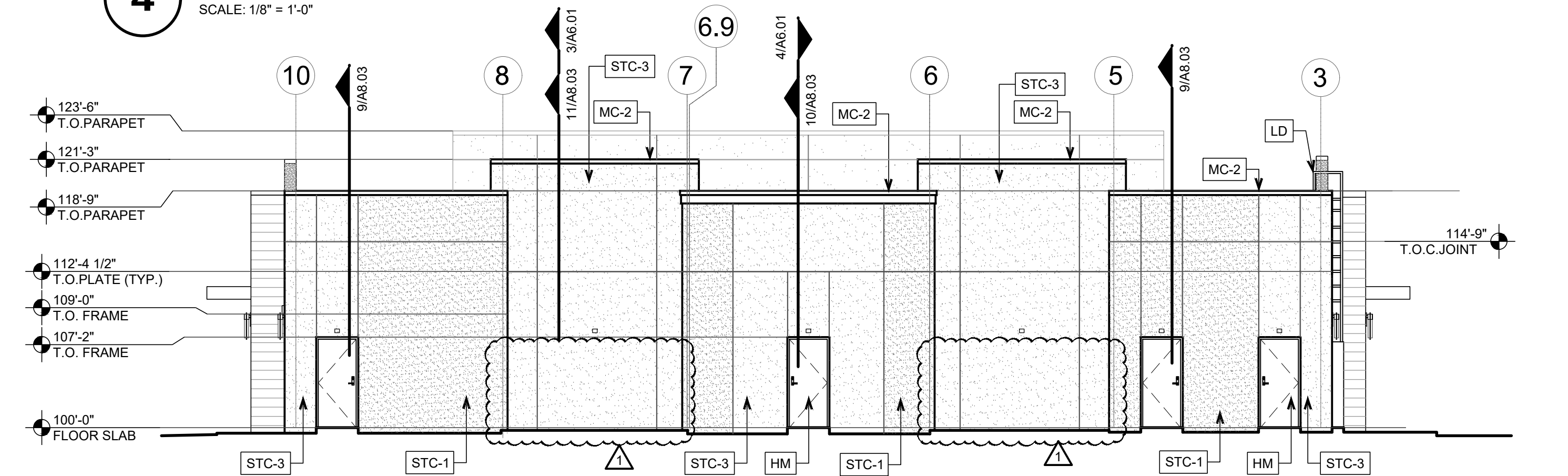
SHEET

4



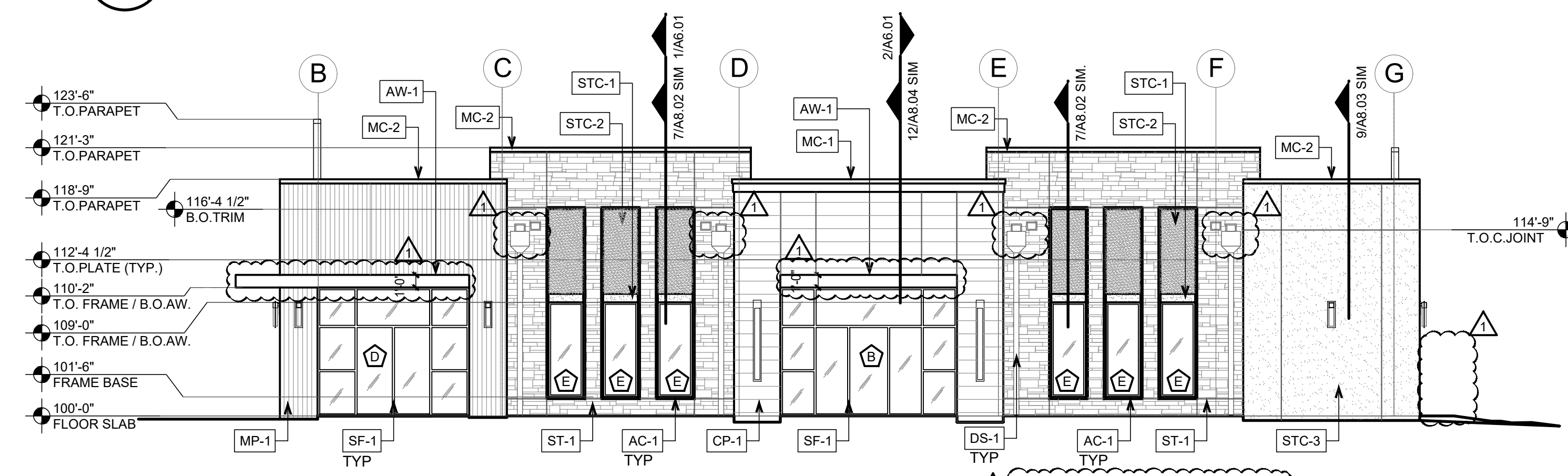
4 WEST ELEVATION

SCALE: 1/8" = 1'-0"



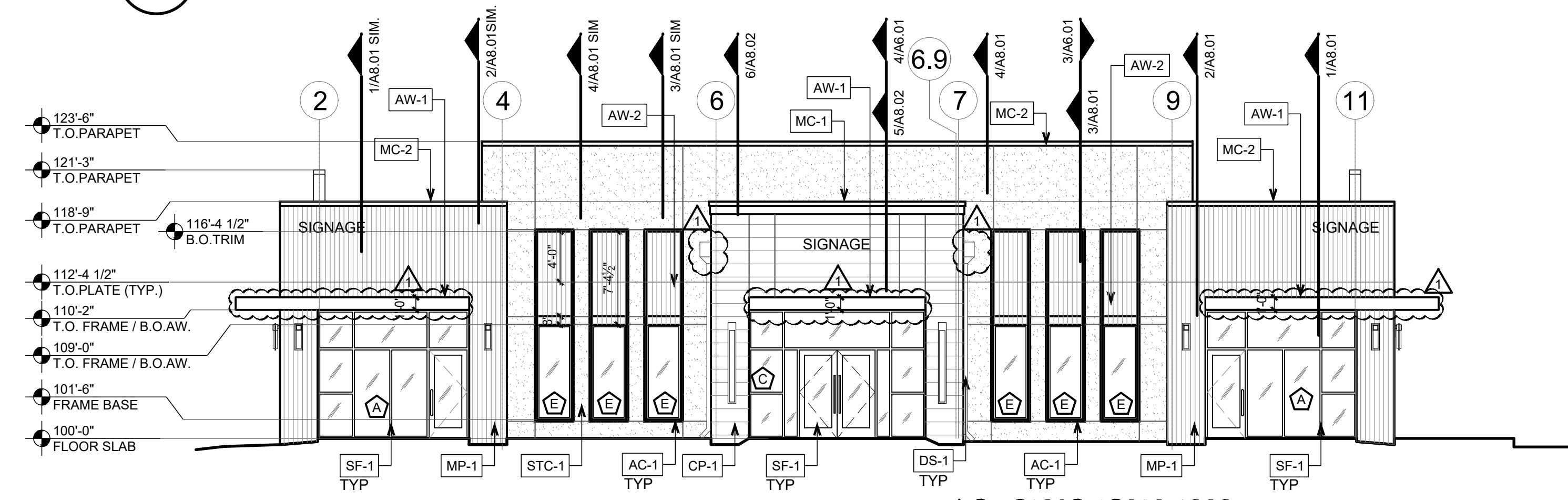
3 NORTH (REAR) ELEVATION

SCALE: 1/8" = 1'-0"



2 EAST ELEVATION

SCALE: 1/8" = 1'-0"



1 SOUTH (FRONT) ELEVATION

SCALE: 1/8" = 1'-0"

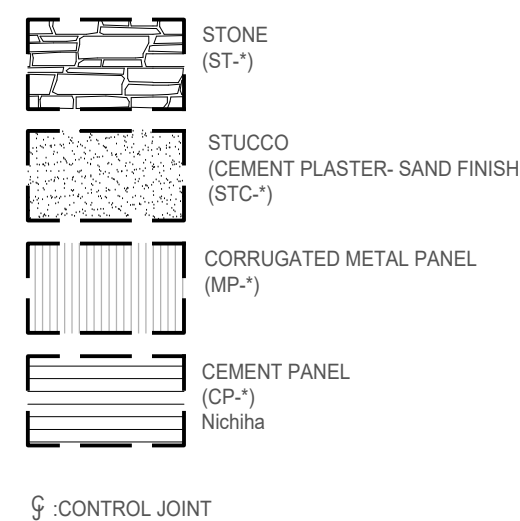
EXTERIOR FINISH SCHEDULE

GT-1637 KP

TAG	DESCRIPTION	MANUFACTURER	PRODUCT	SIZE	FINISH	COLOR	DETAILS REFERENCES	NOTES
ST-1	STONE	CORONADO STONE	QUICKSTACKED	REF A4.01/A1.01	--	ANTIQUE CREAM		PROVIDE CORNER PIECES AS NEEDED
CP-1	CEMENT PANEL	NICHIHA	VINTAGEWOOD	AWP3030	--	CEDAR	REF. A 4.01	--
MP-1	CORRUGATED METAL PANEL	PAC-CLAD	HWP SERIES	12"/16" WIDTH	ALUMINUM	BURNISHED SLATE	REF. A4.01	-
STC-1	STUCCO	GC	--	--	SAND (LIGHT-MAIN WALL)	TO MATCH- SHERWIN WILLIAM SW9165	REF. A 4.01	--
STC-2	STUCCO	GC	--	--	SAND (GRAY TO MATCH AW-2 FABRIC)	TO MATCH- SHERWIN WILLIAM SW7018	REF. A4.01	--
STC-3	STUCCO	GC	--	--	SAND (DARK)	TO MATCH- SHERWIN WILLIAM SW7039	REF. A4.01	--
SF-1	STORE FRONT	KAVNEER	BLACK	--	ANODIZED ALUMINUM	789G035 PERMAIDIZE BLACK	REF. A4.01/A3.01	REF A3.0 SERIES
AC-1	ACCENT COLOR	SHERWIN WILLIAM	BLACK	--	PAINT	TO MATCH SF-1	REF. A4.01	--
DS-1	GUTTER & DOWNSPOUT	PAC-CLAD	MFR. PRE-FINISHED MTL	X	X	MAT BLACK	REF. A5.01	--
MC-1	METAL COPING	PAC-CLAD	PAC-TITE COPING	4" THK.	ALUMINUM	MAT BLACK	REF. A4.01	TAPPERED
MC-2	METAL COPING	PAC-CLAD	PAC-TITE COPING	4" THK.	ALUMINUM	TO MATCH CP-1	REF. A4.01	TAPPERED
AW-1	AWNING	SPECIFICATION	--	--	METAL	TO MATCH STC-1	A1.01/A4.01	
AW-2	AWNING-FABRIC	SUNBRELLA	--	--	METAL	SILICA GRAVEL	A1.01/A4.01	
LD	VERTICAL LADDER WITH 3FT WALKWAY	FIXFASTUSA	RL32	AS PER SITE	MILL FINISH	ALUMINUM	-	-
HM	HOLLOW METAL DOOR PAINT	SHERWIN WILLIAM	--	--	EXTERIOR PAINT	TO MATCH- ADJACENT FINISH MATERIAL	A4.01/A3.01	--

NOTE: 1. COLOR INTENDED TO MATCH OTHER BUILDINGS IN THE AREA. CONFIRM WITH OWNER'S REP. AND ARCHITECT

EXTERIOR FINISH LEGEND



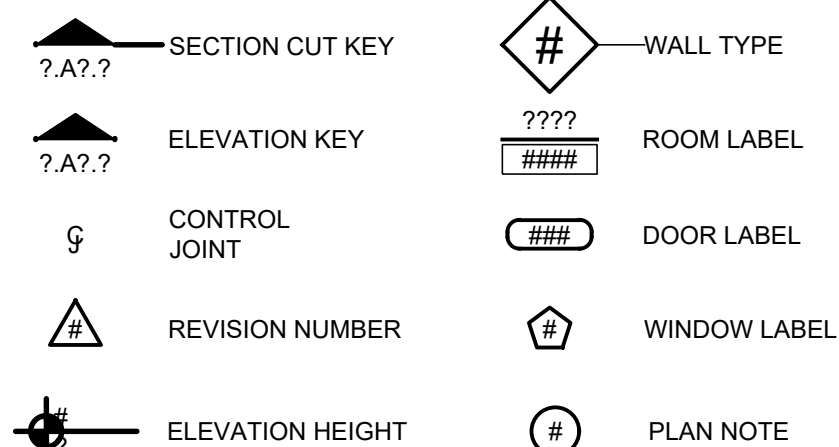
GENERAL NOTES:

- ALL CAST STONE THIS BUILDING TO BE ADVANCED CAST STONE COLOR - PER EXTERIOR FINISH SCHEDULE.
- NICHIHA NOTES:
 - NICHIHA VERTICAL BUTT JOINTS ARE NEEDED WHEN NICHIHA BUTTS INTO NON - NICHIHA PANELS (USE "J" MOULD)
 - USE NICHIHA "CORNER PANEL" WHERE HORIZONTAL RUN IS LESS THAN 4".
 - USE SPACERS FOR PANEL ATTACHMENT WHERE PANELS ARE BELOW NICHIHA STARTER TRACK.
 - MINIMUM 1/4" IS REQUIRED BETWEEN NICHIHA PANELS AND FLASHINGS FOR DRAINAGE.
 - NON FACTORY EDGES OF NICHIHA PANELS TO BE SEALED.
 - SEALANT USED FOR NICHIHA EXPANSION / CONTROL JOINTS TO MATCH PANEL COLOR.
 - BOTTOM EDGE OF NICHIHA PANEL MUST BE 2" ABOVE HARD SURFACE OR 6" ABOVE FINISHED GRADE.

ELEVATION SHEET NOTES:

- SCREEN (FENCING): REFER TO SCREEN ELEVATIONS A3.01

LEGEND :



ARCHITECTURE • PLANNING • INTERIORS
1921 STATE HWY 121 • SUITE 250
LEWISVILLE • TX 75056
972 • 331 • 5699



GLO TANNING

SHELL BUILDING
LOT-3

PROJECT
GLO TANNING AT KELLER

ADDRESS

1637 KELLER PARKWAY

CITY

KELLER

STATE

TX

ZIP

76248

EXTERIOR
ELEVATIONS

JOB NO. 24015

DATE

09.11.2024

ISSUE FOR

PERMIT

DRAWN BY

TR/MCS

10/25/2024

REVISIONS

TR/MCS

A4.01