



BUILDING SERVICES

1141 Blackwood Dr., Permit B23-0016

Draper Place Addition, Block A, Lot 1

New SFR

Reviewed by: Justin Wilkins

Date: September 20, 2023

Zoning: SF-36

Lot Coverage

- **UDC:** 30% Main Structure/ 50% Total Lot Coverage
- **Main Allowed:** 15,067.2 sf
- **Main:** 6,667 sf

Lot Size: 50,224 sf

Lot Coverage Allowed: 25,112 sf

Total Lot Coverage= 14,455 sf (Main: 6,667 sf + Driveway: 7,788 sf)

Setbacks per UDC for SF-36

- **Front:** 35' **Rear:** 15' **Side:** 15'/20'

Comments:

1. Please note: Separate Permits are required for all accessory structures, pools, fences, or systems, etc.
2. Please note: Plan review subject to field inspection.
3. Please note: Before the final inspection a passing Energy certificate (3rd party) must be provided to Building Services.
4. Please note: Before the final inspection a passing CSI inspection (3rd party) must be submitted through SC Tracking.

Notice:

- Plans are void without notes attached.
- At least two (2) 3" minimum caliper trees are required in front yard. Corner lots require two (2) additional 3" minimum caliper trees in side yard.
- Permits shall conform to City of Keller Building Code and Zoning Requirements
- Separate Permits are required for all accessory structures, pools, fences, or systems, etc.
- 5' wide sidewalk required across frontage. (Revised site plan shows 4')

2021 International Code Council Codes (ICC) & 2018 IECC

All construction is subject to the requirements to City of Keller ICC Adopted Codes.

1. Specifications for all engineered products must be rendered to inspector.
2. Per adopted NTCOG Amendments, water heaters shall not be installed in unfinished attic areas of 1 & 2 family and multi-family construction with the exception of tank less water heaters.

Order of Inspection and Inspection Code:

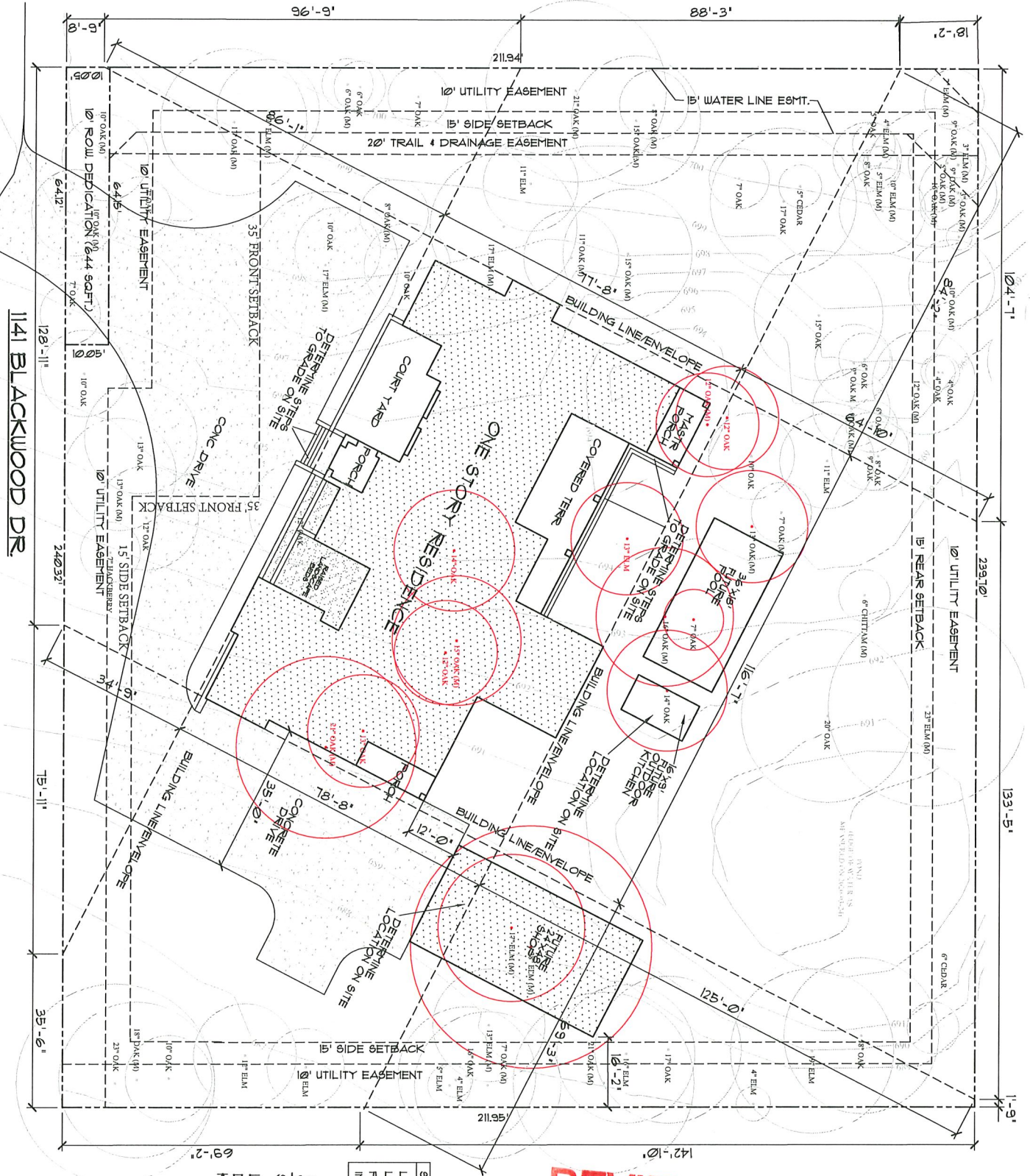
- 1) T-Pole
- 2) Plumbing Rough, Rough Grade Inspection, Sewer Tie-In
- 3) Foundation
- 4) All Seconds (Framing, Electrical, Mechanical, & Plumbing)
- 5) Brick Tie
- 6) Perm Power (Electrical & Gas)
- 7) Drainage Final
- 8) CSI Inspection (Provide Result of 3rd Party Inspection)
- 9) Energy Results- Insulation Inspection, Duct Blasting, Blower Door Testing (Provide Result of 3rd Party Inspection)
- 10) Final

REVIEWED

SEP 20 2023

**CITY OF KELLER
BUILDING SERVICES
SUBJECT TO FIELD INSPECTION**

1141 BLACKWOOD DR



REVIEWED

SEP 20 2023

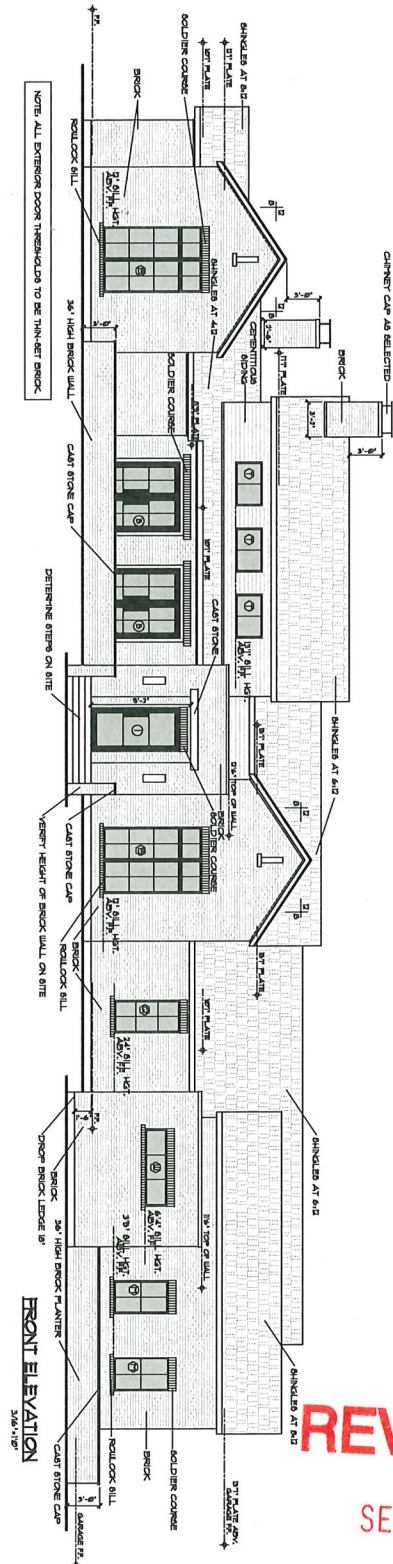
CITY OF KELLER
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SITE DATA CHART	
LOT SIZE	50,068 SQ.FT.
LOT CVG.	8,265 SQ.FT. (16.25%)
PAVING/FLATWORK	1,188 SQ.FT.
IRREVERSIBLE CVG.	16,033 SQ.FT. (31.66%)

SITE PLAN
SCALE: 1"=10'
NORTH
LOT 1 BLOCK A
DRAPER PLACE ADDITION
KELLER, TEXAS

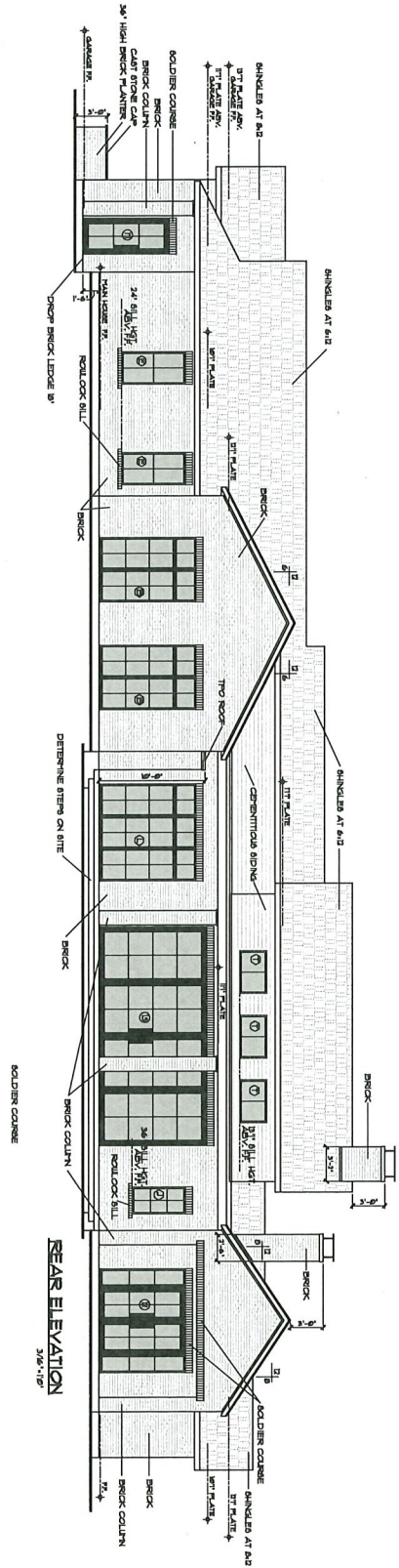
NOTE: THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW THE FULL CONTENT OF THE PLANS FOR THE CORRECTNESS OF THE INFORMATION PRIOR TO COMMENCEMENT OF WORK.

DATE: 8/2/23	DESIGN BY: EXB	CHECK BY: EXB	PROJECT NO: DRAPER	SHEET NUMBER: A1
EXURB STUDIO WWW.EXURBSTUDIO.COM				
DRAPER RESIDENCE LOT 1 BLOCK A 1141 BLACKWOOD DRIVE KELLER, TX				



NOTE: ALL EXTERIOR DOOR THRESHOLDS TO BE THIN-SET BRICK

FRONT ELEVATION
3/16" = 1'-0"



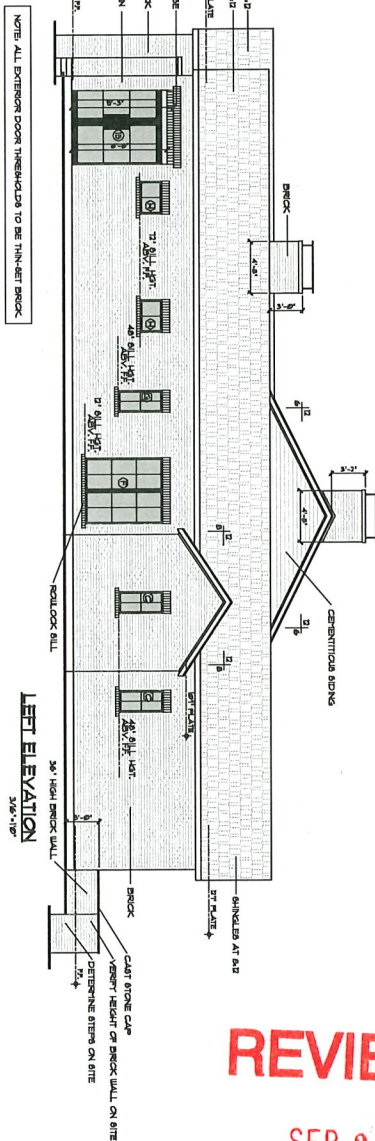
REAR ELEVATION
3/16" = 1'-0"

REVIEWED

SEP 20 2023

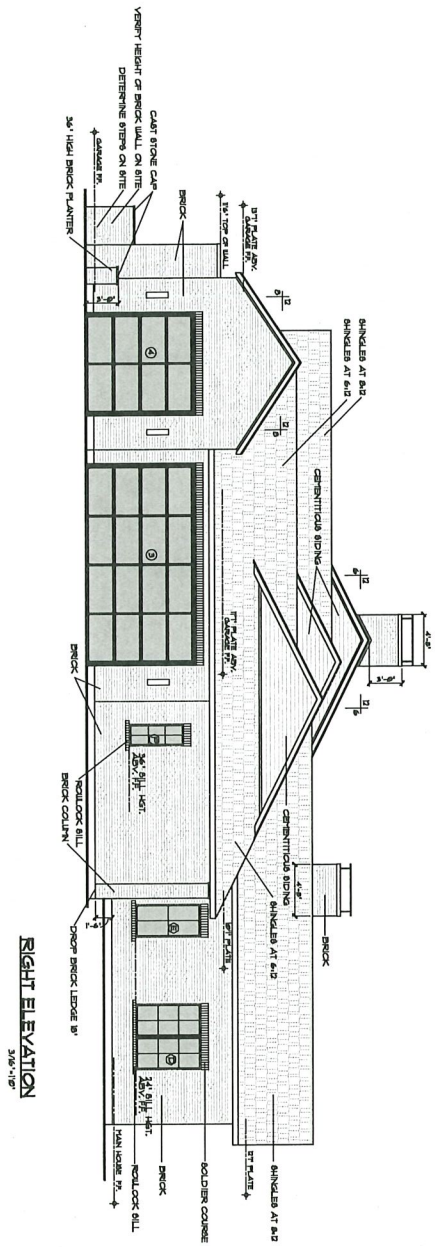
CITY OF KELLER
BUILDING SERVICES
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NOTE: THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW THE FULL SET OF DRAWINGS FOR ANY DISCREPANCIES AND OMISSIONS PRIOR TO COMMENCEMENT OF WORK.



NOTE: ALL EXTERIOR DOOR THRESHOLDS TO BE THIN-SET BRICK

LEFT ELEVATION
3/16"=1'-0"



RIGHT ELEVATION
3/16"=1'-0"

REVIEWED

SEP 20 2023

CITY OF KELLER
BUILDING SERVICES
SUBJECT TO FIELD INSPECTION

NOTE: THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW THE ALL INFORMATION AND DISCREPANCIES AND CORRECTIONS PRIOR TO COMMENCEMENT OF WORK

DATE: 8/21/23 DESIGN BY: EXS CHECK BY: EXS PROJECT NO: DRAWN BY:	SHEET NUMBER A5.2
	REVISIONS 1. 2. 3. 4.
	'DRAFTER RESIDENCE' LOT 1 BLOCK A 1141 BLACKWOOD DRIVE KELLER, TX
	EXURB STUDIO WWW.EXURBSTUDIO.COM

