



City of Keller
1100 Bear Creek Parkway,
Keller, TX 76248

Permit

Permit NO.: RDA-2502-0021

Permit Type: **Residential Detached Accessory**

Work Classification: **Other**

Permit Status: **Issued**

Issue Date: **03/31/2025**

Expiration: **09/27/2025**

Location Address

1016 OAKWOOD DR, KELLER, TX 76248

Parcel Number

02078414

Contacts

Chris Munro
1016 Oakwood Dr, Keller, TX 76248

Owner

Brad Roberts
12953 Hurricane Ln, Fort Worth, TX 76244
(682)300-5411

Applicant

Description: Metal Storage Building

Valuation: **\$22,500.00**

Total Sq Feet: **1,125.00**

Inspection Requests:

www.cityofkeller.com/css

Fees	Amount
Residential Building (SQFT) Fee	\$1,125.00
Total:	\$1,125.00

Payments	Amt Paid
Total Fees	\$1,125.00
Credit Card	\$1,125.00
Amount Due:	\$0.00

Inspections:	
Inspection Type	
Rough Grade	1
Plumbing Rough	410
Foundation	
Second Framing	
Second Electrical	
Second Mechanical	
Second Plumbing	
Drainage Final	
CSI/Backflow Results	
Final	

Go online to view your permit status or request inspections, www.cityofkeller.com/css. Same day inspections are not available.
Inspections requested before noon may be accommodated the next business day. Inspections requested after noon may be accommodated within two business days.

Issued By: Carlos Gutierrez

March 31, 2025

Date

Justin Wilkins

Date



BUILDING SERVICES

1016 Oakwood Dr # RDA-2502-0021

ONE THOUSAND OAKS ADDITION Block 3 Lot 5

Accessory Structure Review

Reviewed by: Carlos Gutierrez

Date: March 17, 2025

Zoning: SF-36

Lot Coverage

- **UDC:** 30% Main Structure/ 50% Total Lot Coverage
- **Lot Size:** 37,675sf
- **Main Allowed:** 11,302sf.
- **Main:** 3,362sf.
- **Lot Coverage Allowed:** 18,837sf.
- **Total Lot Coverage=** 10,567sf (Main: 3,362sf + Driveway: 6,080sf + Accessory Building: 1,125sf)

Setbacks per UDC for SF-36

- **Front:** 35'
- **Rear:** 15'
- **Side:** 13'

Comments:

1. Please note: Plan review is subject to field inspection.

Notice:

- Plans are void without notes attached.
- Permits shall conform to City of Keller Building Code and Zoning Requirements
- Separate Permits are required for Accessory Structures, Fencing, Irrigation, Etc.

2021 International Code Council Codes (ICC)

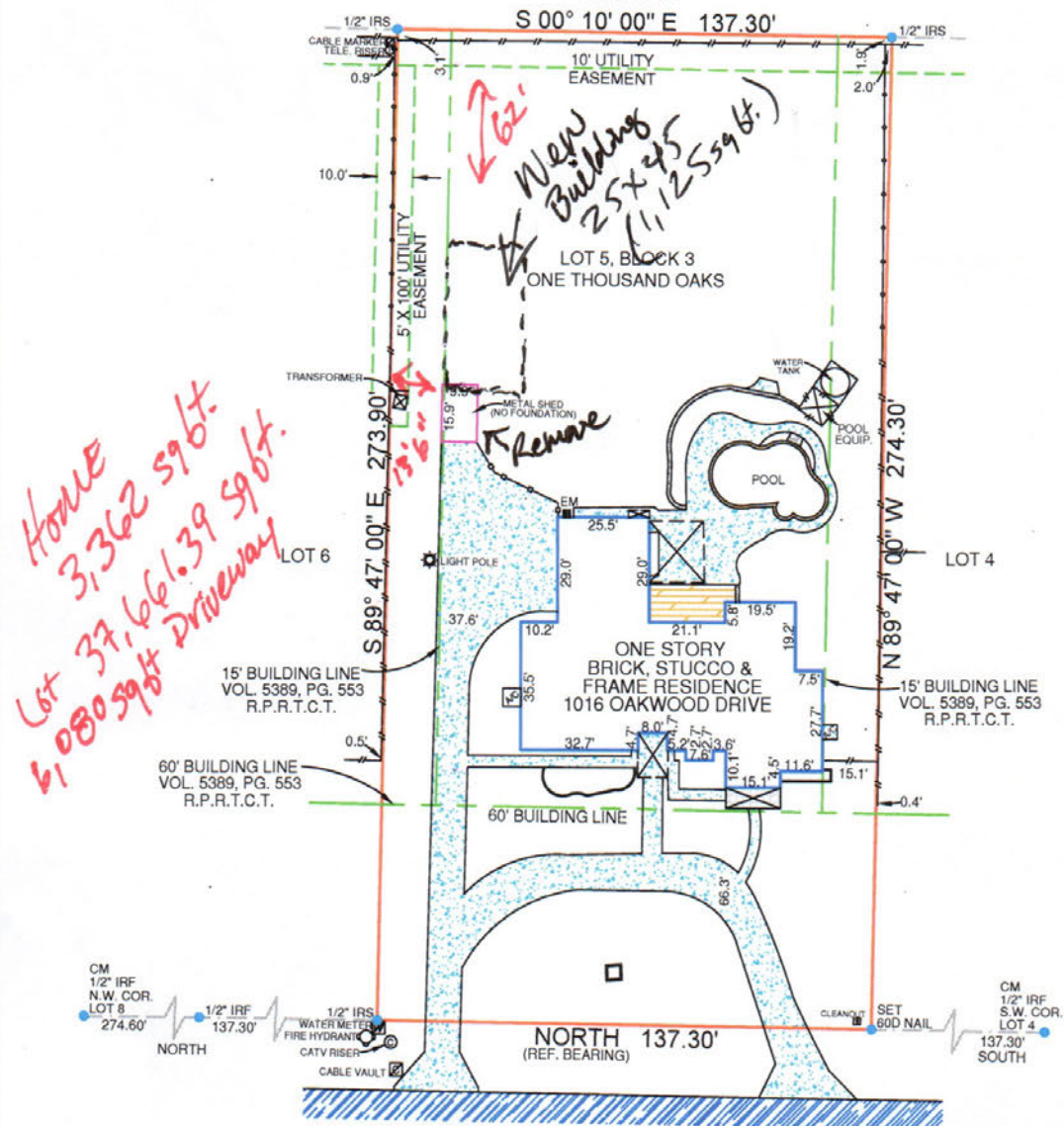
All construction is subject to the requirements to City of Keller ICC Adopted Codes.

1. Specifications for all engineered products must be rendered to inspector.
2. Attachment shall be positively anchored to the main structure. Attachment to eaves, soffits, fascia, or rafter tails is prohibited.

Order of Inspection and Inspection Code:

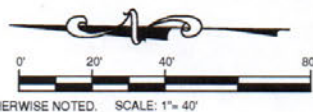
- 1) Rough grade
- 2) Foundation
- 3) All Seconds (Framing, Electrical, Mechanical, & Plumbing)
- 4) Final

RICHARD HUNTER AND JUDITH HUNTER
DOC. NO. D211086862
O.P.R.T.C.T.



LEGEND:	
BARB WIRE FENCE	ASPHALT
CHAIN LINK FENCE	CONCRETE
WROUGHT IRON FENCE	GRAVEL
WOOD FENCE	TILE
VINYL FENCE	WOOD
ELECTRIC LINE	BRICK
GM - GAS METER	STONE
EM - ELECTRIC METER	CM - CONTROLLING MONUMENT (WOOD) RAILROAD TIE
IPF - IRON PIPE FOUND	
IRS - IRON ROD SET WITH "PREMIER" CAP	
IRF - IRON ROD FOUND	
CM - CONTROLLING MONUMENT (WOOD) RAILROAD TIE	

NOTES:
BEARINGS ARE BASED ON THE RECORDED PLAT.
THE PROPERTY IS AFFECTED BY THE FOLLOWING:
(10K)-AGREEMENT, VOL. 5422, PG. 100, R.P.R.T.C.T.
BUILDING LINES AND EASEMENTS ARE BASED ON THE RECORDED PLAT UNLESS OTHERWISE NOTED.



LEGAL DESCRIPTION:
BEING LOT 5, BLOCK 3, ONE THOUSAND OAKS, AN ADDITION TO THE CITY OF KELLER, TARRANT COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 388-81, PAGE 30, PLAT RECORDS, TARRANT COUNTY, TEXAS.

SURVEYOR'S CERTIFICATION:

THIS IS TO CERTIFY THAT ON THIS DATE A SURVEY WAS MADE ON THE GROUND, UNDER MY SUPERVISION AND REFLECTS A TRUE AND CORRECT REPRESENTATION OF THE DIMENSIONS AND CALLS OF PROPERTY LINES AND LOCATION AND TYPE OF IMPROVEMENTS. THERE ARE NO VISIBLE AND APPARENT EASEMENTS, CONFLICTS, INTRUSIONS OR PROTRUSIONS, EXCEPT AS SHOWN. THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND IS FOR THE EXCLUSIVE USE OF THE HEREON NAMED PURCHASER, MORTGAGE COMPANY, AND TITLE COMPANY ONLY AND THIS SURVEY IS MADE PURSUANT TO THAT CERTAIN TITLE COMMITMENT UNDER THE GF NUMBER SHOWN HEREON, PROVIDED BY THE TITLE COMPANY NAMED HEREON AND THAT THIS DATE, THE EASEMENTS, RIGHTS-OF-WAY, OR OTHER LOCATABLE MATTERS OF RECORD THAT THE UNDERSIGNED HAS KNOWLEDGE OR HAS BEEN ADVISED ARE AS SHOWN OR NOTED HEREON. THIS SURVEY IS SUBJECT TO ANY AND ALL COVENANTS AND RESTRICTIONS PERTAINING TO THE RECORDED PLAT REFERENCED HEREON.

GF. NO.	2414419-SKDF
BORROWER	CHRIS MUNRO AND LAUREN BURTON-MUNRO
TITLE CO.	INDEPENDENCE TITLE
TECH	TAG/AV
FIELD	ZD

FLOOD INFORMATION:
THE SUBJECT PROPERTY DOES NOT APPEAR TO LIE WITHIN THE LIMITS OF A 100-YEAR FLOOD HAZARD ZONE ACCORDING TO THE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND HAS A ZONE "X" RATING AS SHOWN BY MAP NO. 48439C0080 K, DATED SEPTEMBER 25, 2009.

DATE: 04/25/2024 JOB NO.: 24-03177
FIELD: 04/25/2024

1016 OAKWOOD DRIVE, KELLER, TX 76248
LOT 5, BLOCK 3, ONE THOUSAND OAKS



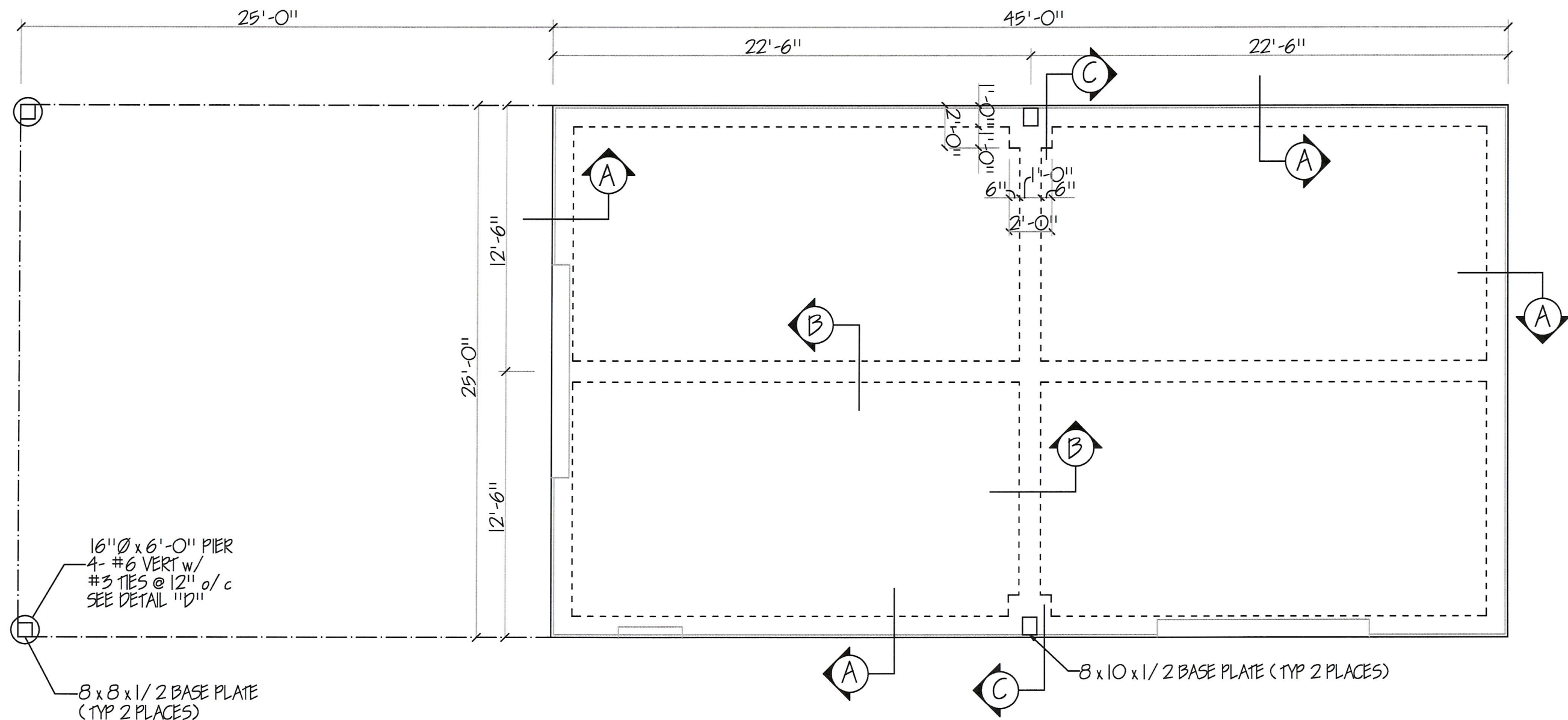
DATE: _____

ACCEPTED BY: _____



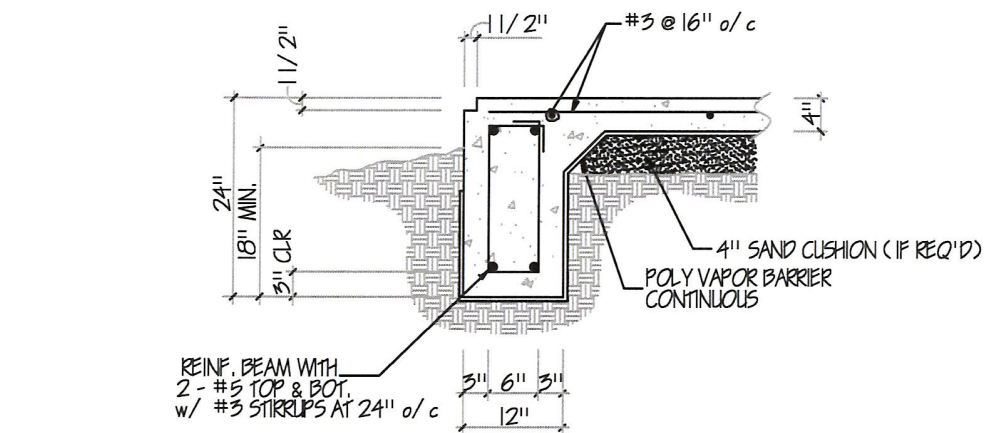
Premier

Surveying, LLC
5700 W. Plano Pkwy., Suite 1200
Plano, Texas 75093
Office: 972-612-3601
Fax: 972-964-7021
Firm Registration No. 10146200

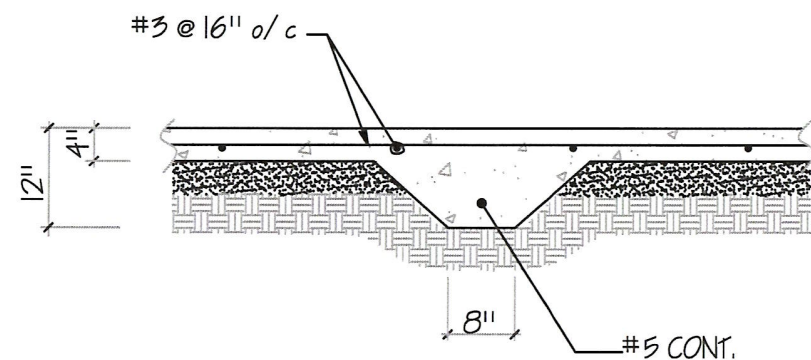


FOUNDATION PLAN APPROX. 3/16" = 1'-0"

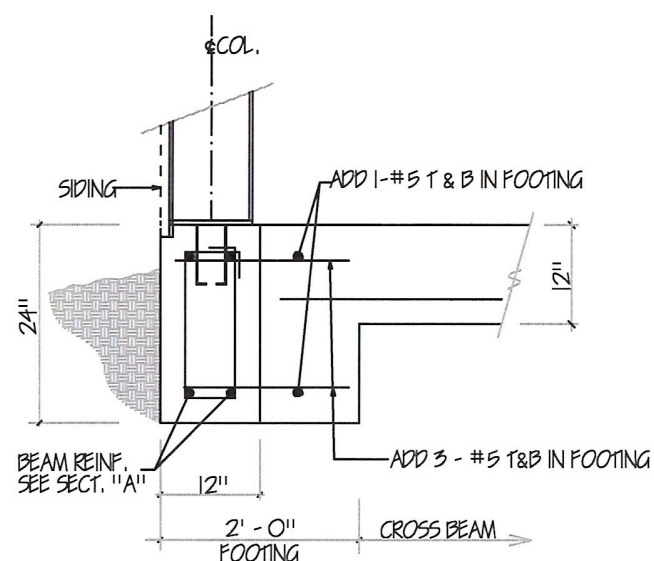
2-14-25		BBS Consultants Structural Engineers TBPE firm #4345	
		SOUTHERN CUSTOMS	
SCALE: AS NOTED DATE: 2/14/25	APPROVED BY: W.N.B.		
1016 OAKWOOD DR. KELLER, TX			
FOUNDATION PLAN	DRAWING NUMBER 51 OF 56		



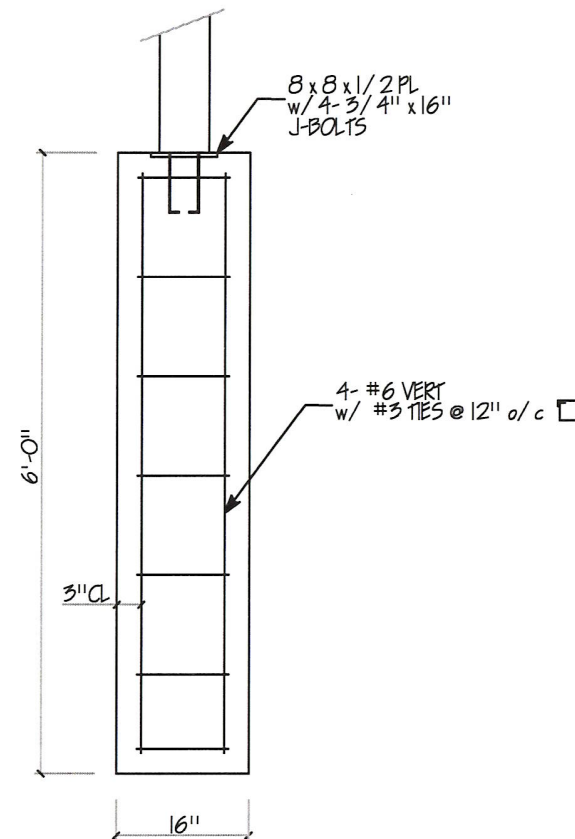
(A) TYP. PERIMETER BEAM



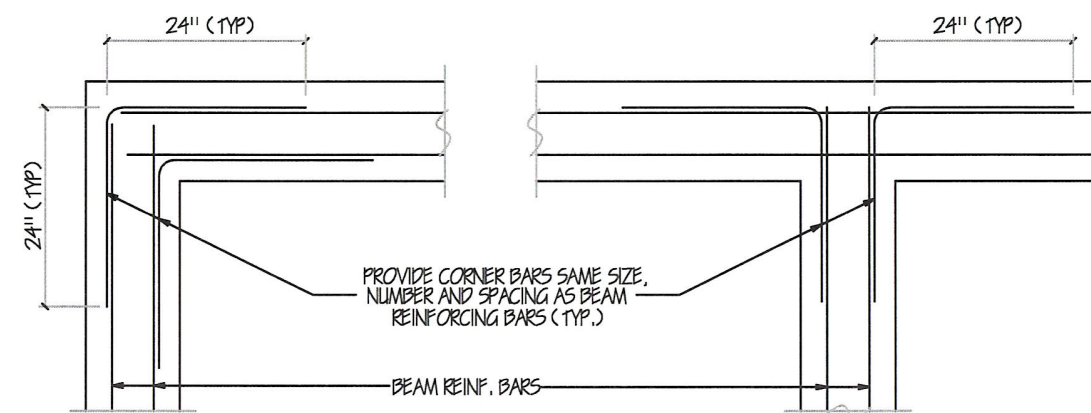
(B) TYP. INTERIOR BEAM



(C) TYP. PERIMETER BEAM AT END COLUMN



(D) TYP. PIER DETAIL

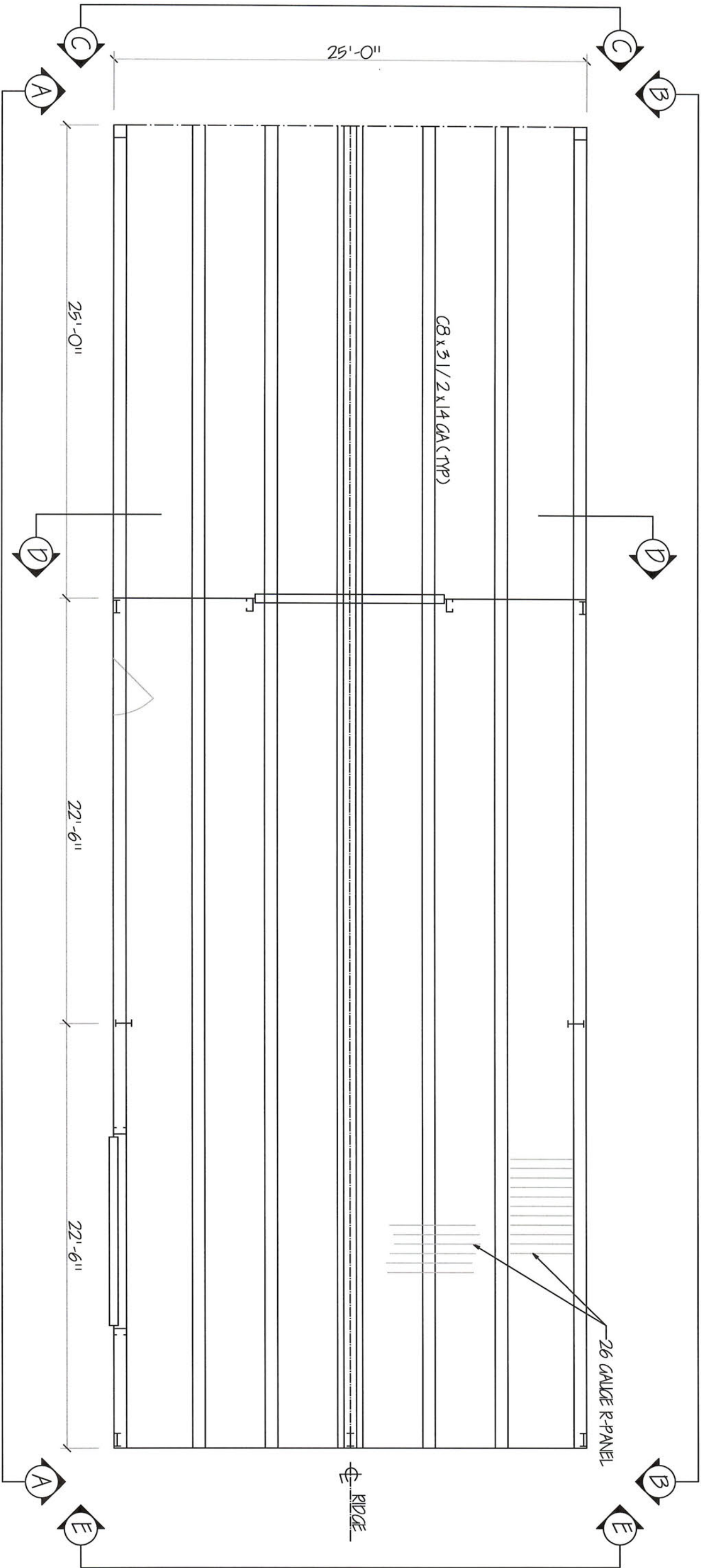


(E) TYP. CORNER BAR DETAIL

GENERAL NOTES:

- Construction details and framing shall conform to the 2021 International Building Code and City of Keller, TX.
- All concrete and metal reinforcement shall be fabricated and placed in conformity with the latest edition, "ACI Standard Building Code Requirements for Reinforced Concrete" (ACI 318).
- Poured in place concrete is to be normal weight and is to develop a compressive strength F'_c of 3500 psi at 28 days.
- Provide corner bars in all beams of same size and spacing as adjacent bars.
- Soil Parameters:
Per section 1806 (IBC 2021) and assuming Material Classification Number 5:
a) Allowable foundation bearing pressure: 1500 psf.
b) Allowable lateral bearing pressure: 100 psf.
- All structural steel shall be fabricated and erected in conformity with the requirements of the latest edition, AISC "Manual of Steel Construction".
- Except as shown or noted, all structural shapes and plates shall be ASTM A-36 W8x10 and W10x15 beams and columns shall be $F_y = 36$ ksi or 50 ksi, ST or HSS columns and braces shall be $F_y = 46$ ksi. Ceess shall be $F_y = 50$ ksi (min).
- All welding shall comply with the latest edition AWS D1.1 "Structural Welding Code" and shall be performed by pre-qualified welders in accordance with AWS standards.
- All welds shall be made using E70XX electrodes and shall be continuous fillet or square groove welds, unless otherwise noted.
- All sheared and flame cut edges shall be ground to 1/16" radius prior to initiation of surface preparation.
- All welded areas shall be given special attention for removal of welding flux, slag, and spatter.
- Main frame rafter - 10" x 15# WF
Main frame column - 10" x 15# WF
Endwall frame 8" x 10# WF columns and rafters.
Base plate 1/2 x 8" x 10" with (4) 3/4" x 16 J bolts imbedded in concrete.
- All purlin/girt clips 1/4" x 7".
- All 4" x 2" base/rake angle - 14 ga.
- All wall girts and roof purlin 8" x 3.5" x 14 ga. or 8" x 2.5" x 16 ga. Ceess as shown.
- Flange bracing as shown - 2" x 2" x 1/8 angle.
- All cable bracing is 5/16" strand with cable locks and eyebolts.
- Overhead door jamb 8" x 4" 12 ga Ceess or W8x10.
- Roof deck/siding 26 ga R-Panel or per contractor.

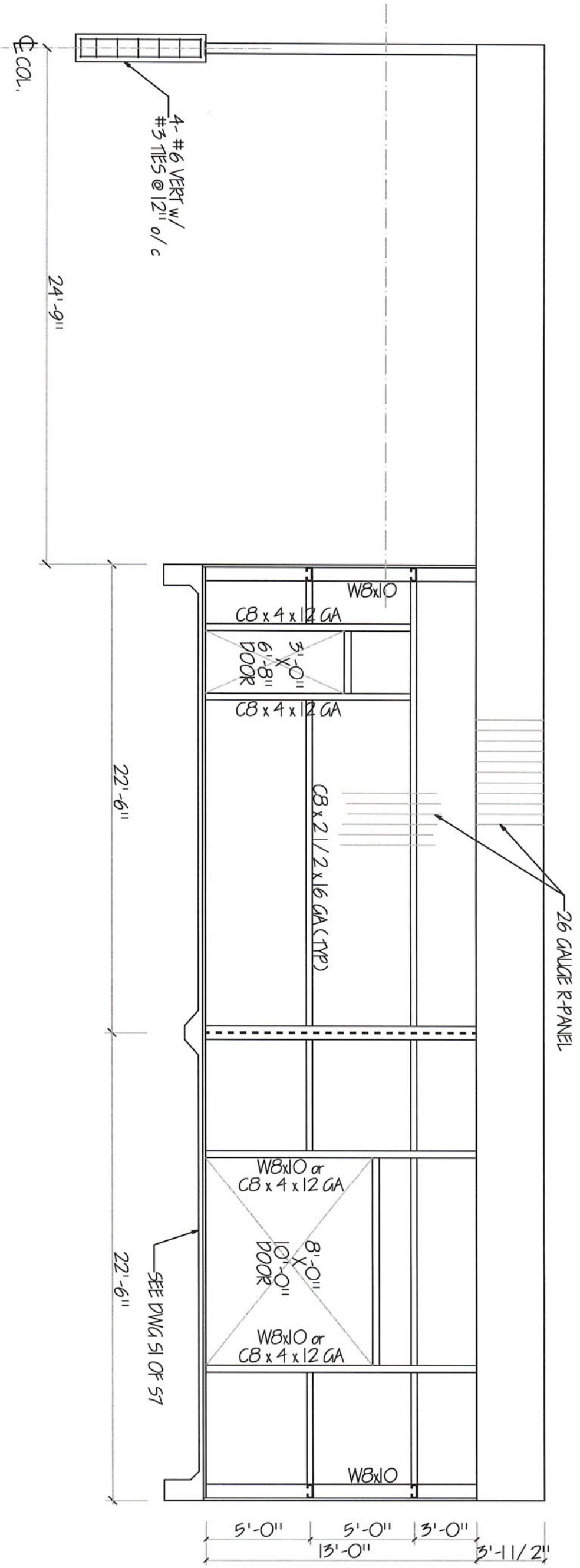
	BBS Consultants Structural Engineers TBPE firm #4345	
	SOUTHERN CUSTOMS	
	SCALE: AS NOTED	APPROVED BY: W.N.B.
	DATE: 2/14/25	
1016 OAKWOOD DR. KELLER, TX		
DETAILS AND NOTES		DRAWING NUMBER 52 OF 56



ROOF PLAN
APPROX. 3/16" = 1'-0"

		BBS Consultants Structural Engineers TYPE firm #4345	
SOUTHERN CUSTOMS		APPROVED BY: W.N.B.	
SCALE: AS NOTED		DATE: 2/14/25	
1016 OAKWOOD DR. KELLER, TX		DRAWING NUMBER	
ROOF PLAN		55 OF 56	

2-14-25



SECTION A-A
APPROX. 3/16"=1'-0"

STATE OF TEXAS

REGISTERED ENGINEER

WILLIAM N. BOWEN, II

36201

2-14-25

BBS Consultants

Structural Engineers

TYPE firm #4345

SOUTHERN CUSTOMS

SCALE: AS NOTED

DATE: 2/14/25

APPROVED BY: W.N.B.

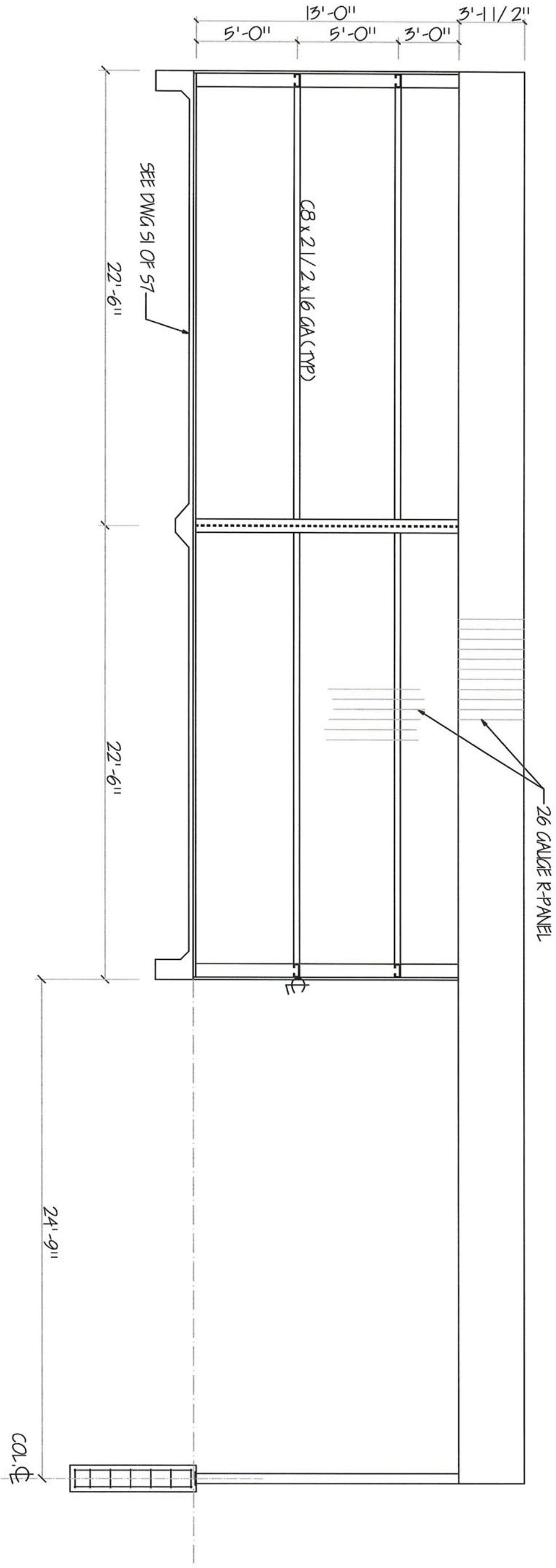
1016 OAKWOOD DR.

KELLER, TX

SIDE ELEVATION

DRAWING NUMBER

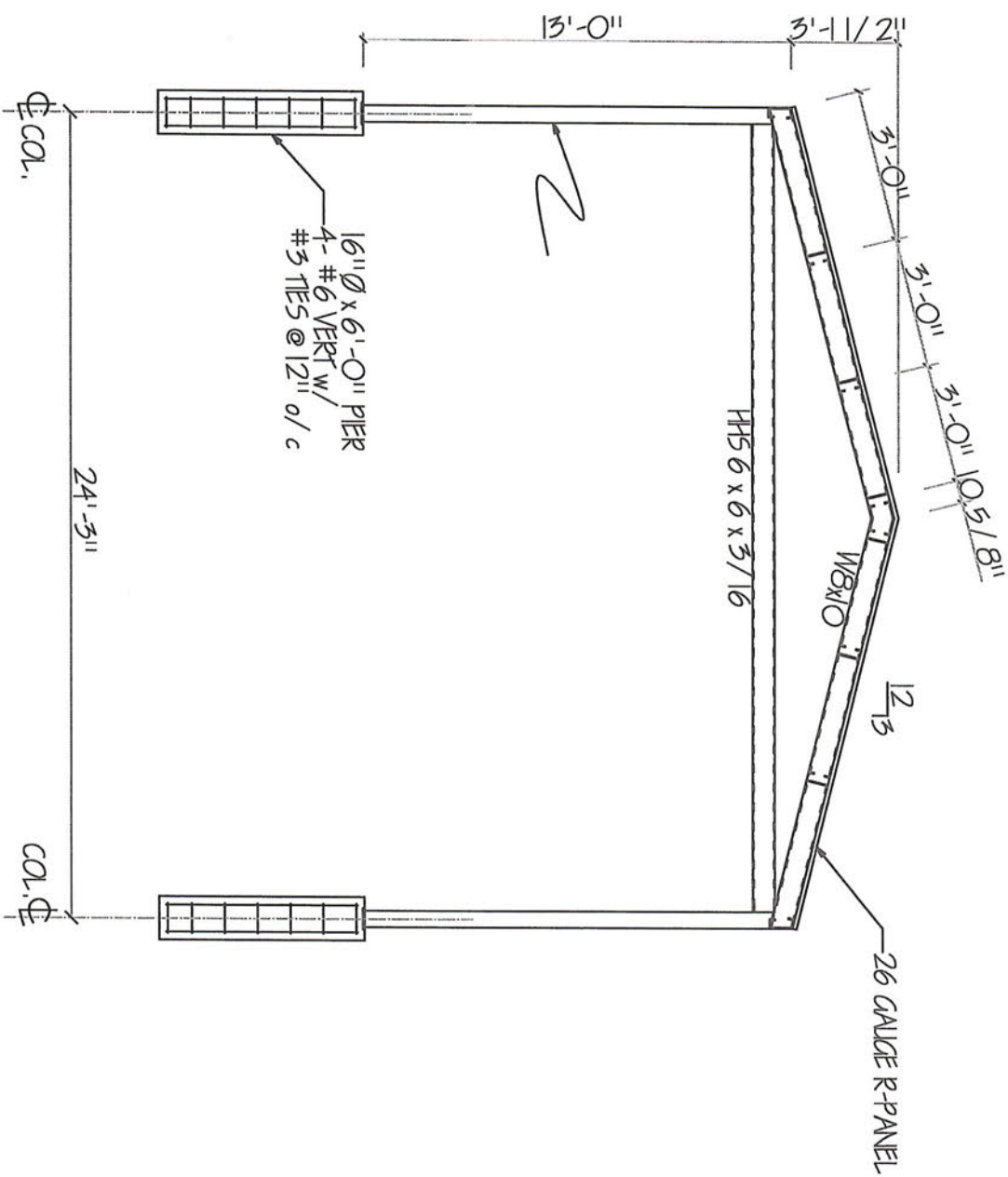
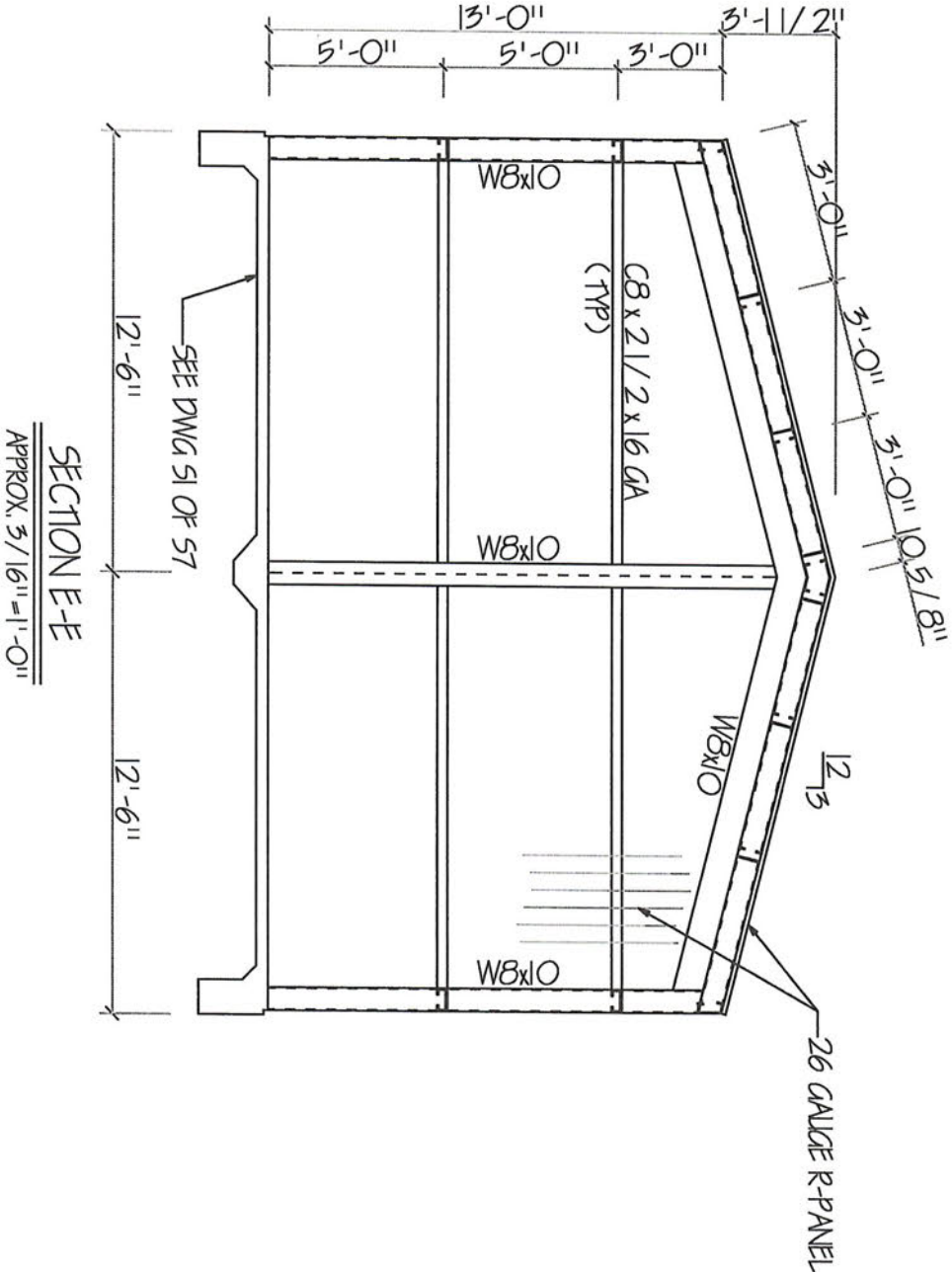
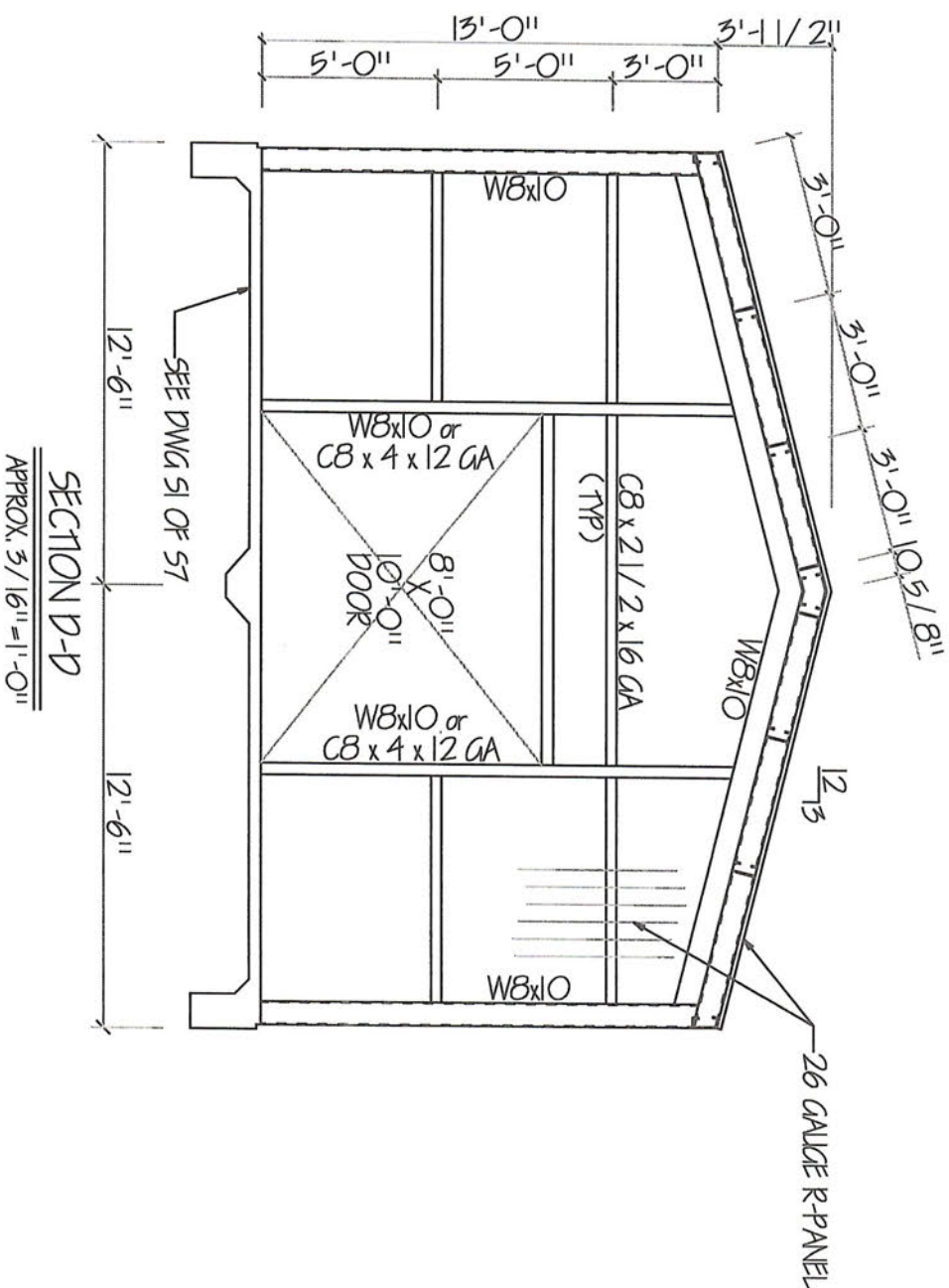
54 OF 56



SECTION B-B
APPROX. 3 / 16" = 1'-0"

		BBS Consultants <i>Structural Engineers</i> TBPE firm #4345	
SOUTHERN CUSTOMS			
SCALE: AS NOTED	DATE: 2 / 14 / 25	APPROVED BY: W.N.B.	
1016 OAKWOOD DR. KELLER, TX			
SIDE ELEVATION	DRAWING NUMBER 55 OF 56		

2-14-25



BBS Consultants
Structural Engineers

TYPE firm #4345

SOUTHERN CUSTOMS

SCALE: AS NOTED

DATE: 2/14/25

1016 OAKWOOD DR.
KELLER, TX

END ELEVATIONS

DRAWING NUMBER
56 OF 56

2-14-25

BBS Consultants
Structural Engineers

TBPE firm #4345



2-27-25

SEALED FOR SITE
DRAINAGE ONLY

RICHARD HUNTER AND JUDITH HUNTER
DOC. NO. D211086862
O.P.R.T.C.T.

S 00° 10' 00" E 137.30'

15' UTILITY
EASEMENT

DRAINAGE
(TYP)

LOT 5, BLOCK 3
ONE THOUSAND OAKS

NEW METAL
BUILDING

ONE STORY
BRICK, STUCCO &
FRAME RESIDENCE
1016 OAKWOOD DRIVE

LOT 4

15' BUILDING LINE
VOL. 5589, P.G. 553
R.P.R.T.C.T.

50' BUILDING LINE
VOL. 5589, P.G. 553
R.P.R.T.C.T.

15' BUILDING LINE
VOL. 5589, P.G. 553
R.P.R.T.C.T.

NORTH 137.30'
(REF BEARING)

OAKWOOD DRIVE
(60' R.O.W.)

LEGEND:

RAILROAD FENCE	ASPHALT
CHAINLINK FENCE	CONCRETE
WROUGHT IRON FENCE	GRAVEL
WOOD FENCE	TYP
WYLL FENCE	WOOD
ELECTRIC LINE	BRICK
CM = GAS METER	STONE
EM = ELECTRIC METER	WOOD RAILROAD TIE
RF = FENCE RUN FENCE	
RF = FENCE RUN FENCE WITH TRUSSING CAP	
RF = FENCE RUN FENCE	
CM = CONTROLLED MOVEMENT	

NOTES:
REARER AND BASED ON THE RECORDED PLAT.
THE PROPERTY IS AFFECTED BY THE FOLLOWING:
(10) AGREEMENT VOL. 5400, P.G. 100 R.P.R.T.C.T.
BUILDING LINE AND EASEMENTS ARE BASED ON THE RECORDED PLAT UNLESS OTHERWISE NOTED.



LEGAL DESCRIPTION:

BEING LOT 5, BLOCK 3, ONE THOUSAND OAKS, AN ADDITION TO THE CITY OF KELLER, TARRANT COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 5589, PAGE 553, PLAT RECORDS, TARRANT COUNTY, TEXAS.

SURVEYOR'S CERTIFICATION:

THIS IS TO CERTIFY THAT ON THIS DATE A SURVEY WAS MADE ON THE GROUND, UNDER MY SUPERVISION AND REFLECTS A TRUE AND CORRECT REPRESENTATION OF THE DIMENSIONS AND CALLS OF PROPERTY LINES AND LOCATION AND TYPE OF IMPROVEMENTS. THERE ARE NO VISIBLE AND APPARENT EASEMENTS, CONFLICTS, INTRUSIONS OR PROTRUSIONS, EXCEPT AS SHOWN. THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND IS FOR THE EXCLUSIVE USE OF THE PERSON NAMED PURCHASER, BORROWER COMPANY, AND TITLE COMPANY ONLY AND THIS SURVEY IS MADE PURSUANT TO THAT CERTAIN TITLE COMMITMENT UNDER THE OF NUMBER SHOWN HEREON, PROVIDED BY THE TITLE COMPANY NAMED HEREON AND THAT THIS DATE, THE EASEMENTS, RIGHTS-OF-WAY, OR OTHER LOCATABLE MATTERS OF RECORD THAT THE UNDERGROUND HAS KNOWLEDGE OF HAS BEEN ADVISED ARE AS SHOWN OR NOTED HEREON. THIS SURVEY IS SUBJECT TO ANY AND ALL COVENANTS AND RESTRICTIONS PERTAINING TO THE RECORDED PLAT REFERENCED HEREON.

OF NO.	241415-0000
BORROWER	CHAS SURF AND LINDEN HUNTER MURDO
TITLE CO.	INDEPENDENCE TITLE
TECH	TAKAY
FILED	JD

FLOOD INFORMATION:
THE SUBJECT PROPERTY DOES NOT APPEAR TO BE WITHIN THE LIMITS OF A 100-YEAR FLOOD HAZARD ZONE ACCORDING TO THE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND HAS A 200-YEAR FLOOD AS SHOWN BY MAP NO. 4443002000, DATED SEPTEMBER 20, 2008.

DATE: 04/25/2024 JOB NO.: 24-00177
FILED: 04/25/2024

1016 OAKWOOD DRIVE, KELLER, TX 76248
LOT 5, BLOCK 3, ONE THOUSAND OAKS



DATE: _____
ACCEPTED BY: _____



Approved Independence Land Survey



Premier
Title Company
1700 W. Plano Pkwy., Suite 1300
Plano, Texas 75093
Office: 972-612-3881
Fax: 972-654-1001
Firm Registration No. 10148308