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Consider approving a resolution of a site plan amendment with one variance for The Hills Church, situated on 5.4 acres, located on the northwest of Florence Road and Randol Mill Avenue (Davis Blvd), being Lot 1R, Block A, Anchor Church Addition, at 2525 Florence Road, and zoned Single-Family 36,000 square-foot minimum lots (SF-36). The Hills Church, Owner/Applicant. (SP-21-0007)

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Zoning Map



Aerial Map

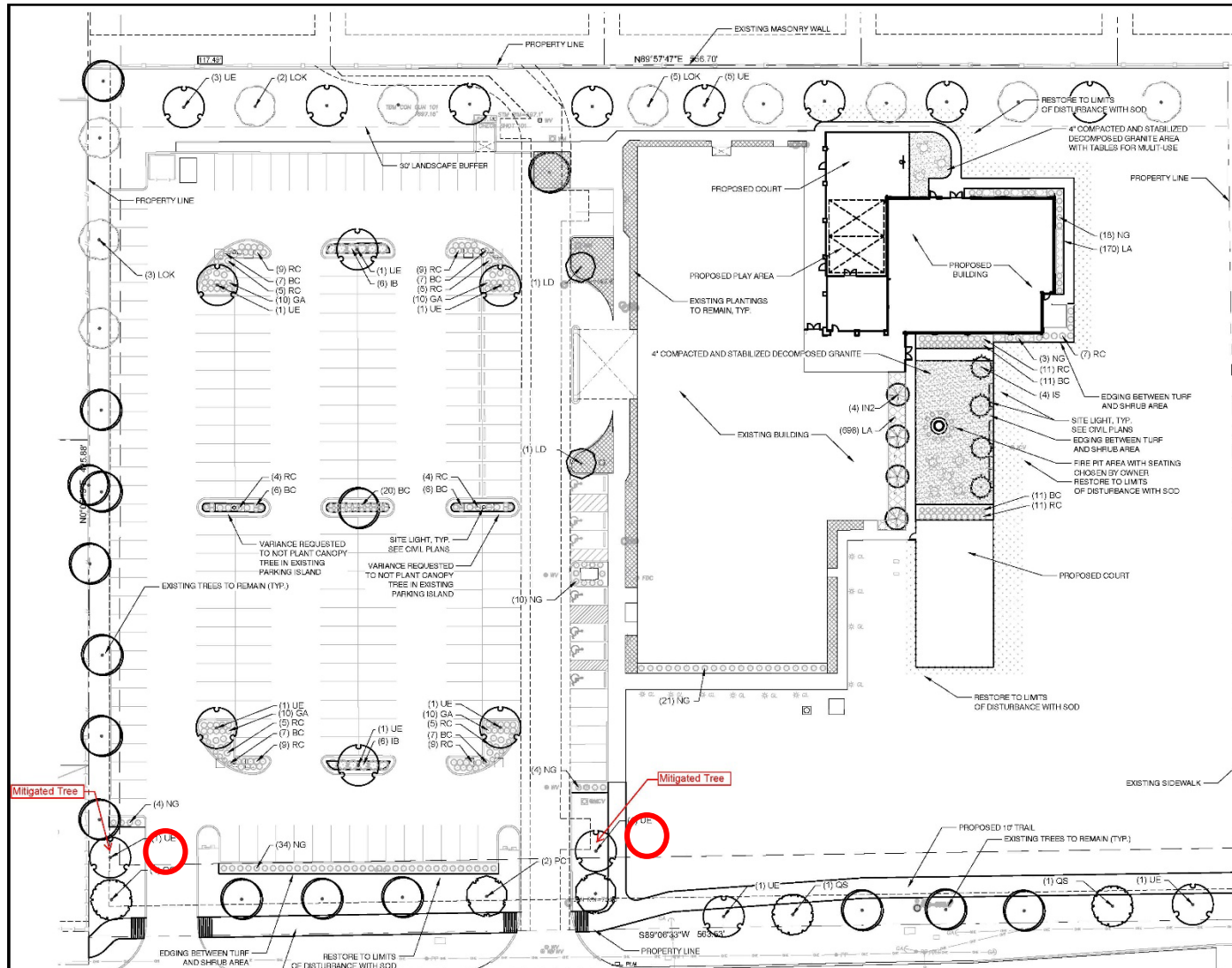


Zoned:
SF-36

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- The site was developed as a church in 1999 and has since remained a church operation.
- The Owner, The Hills Church, purchased the property in late 2020 and wishes to update the site for their expanding church. One of the updates includes landscaping the entire property. The church provided all the proper landscaping inside the landscape buffers and will be replacing the dead landscaping across the property with fresh vegetation.

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Red Circle = mitigated tree

- There are two islands that should have trees, but they are too narrow and have existing light poles in the middle of the island.
- The church is requesting to plant two trees at the entrances to the parking lot.

Variance request: Allow two large canopy trees to be located at the drive entrances instead of in the two small landscape end islands.

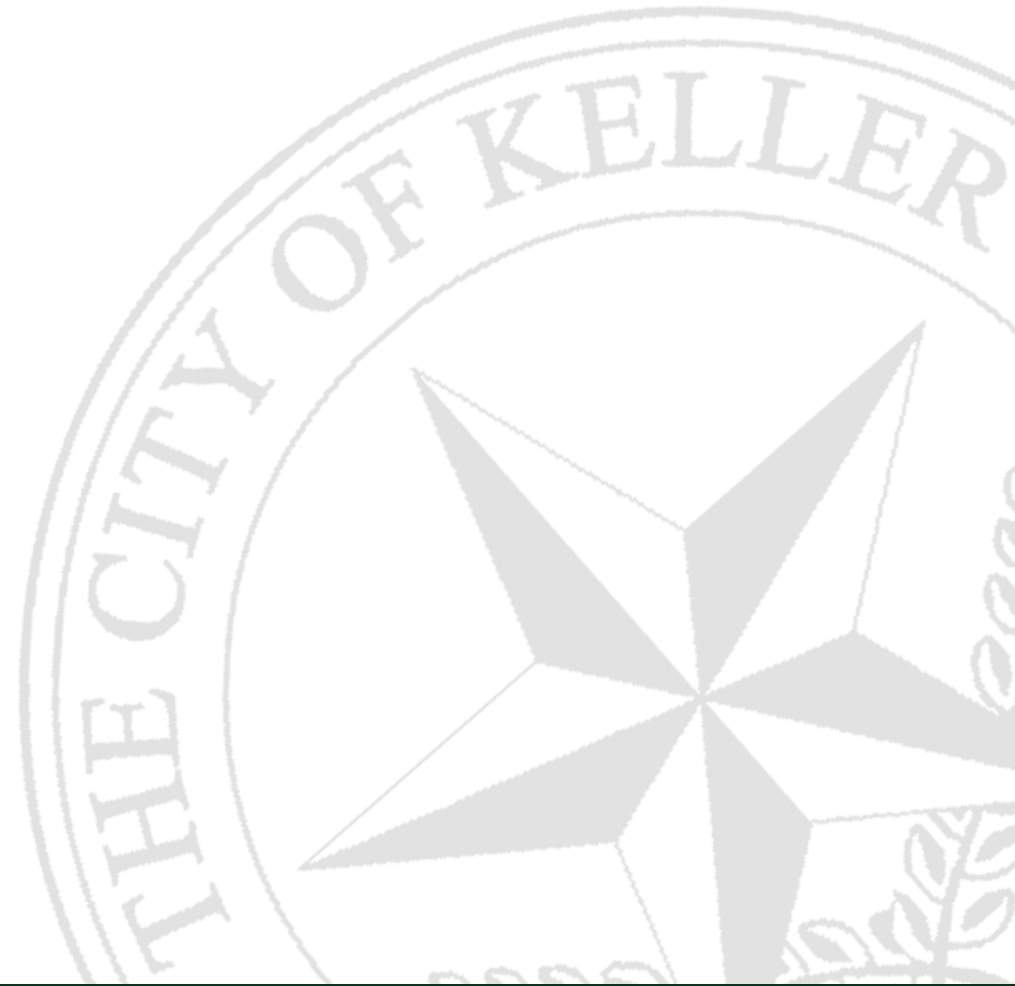
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Section 2.07 (A)(2) of the UDC states that when considering a variance request, the Planning and Zoning Commission and City Council shall consider the following factors:

- a. That there are special circumstances or conditions affecting the land involved such that the strict application of the provisions of this Code would deprive the applicant of the reasonable use of his land.
- b. That the granting of the variance will not be detrimental to the public health, safety or welfare, or injurious to other properties in the area.
- c. That the granting of the variance will not have the effect of preventing the orderly subdivision of other lands in the area in accordance with the provisions of this Code.
- d. That the granting of the variance will not constitute a violation of any other valid ordinance of the City of Keller.
- e. That strict compliance with the regulations, and/or that the purpose of the regulations will be served to a greater extent by the alternative proposal.

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On May 11, 2021, the Planning and Zoning Commission recommended approval as submitted.



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The City Council has the following options when considering a site plan amendment with variance:

- Approve as recommended by the Planning and Zoning Commission
- Approve with modifications or additional condition(s)
- Table the agenda item to a specific date with clarification of intent and purpose
- Deny



Questions?
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