

Item H-1

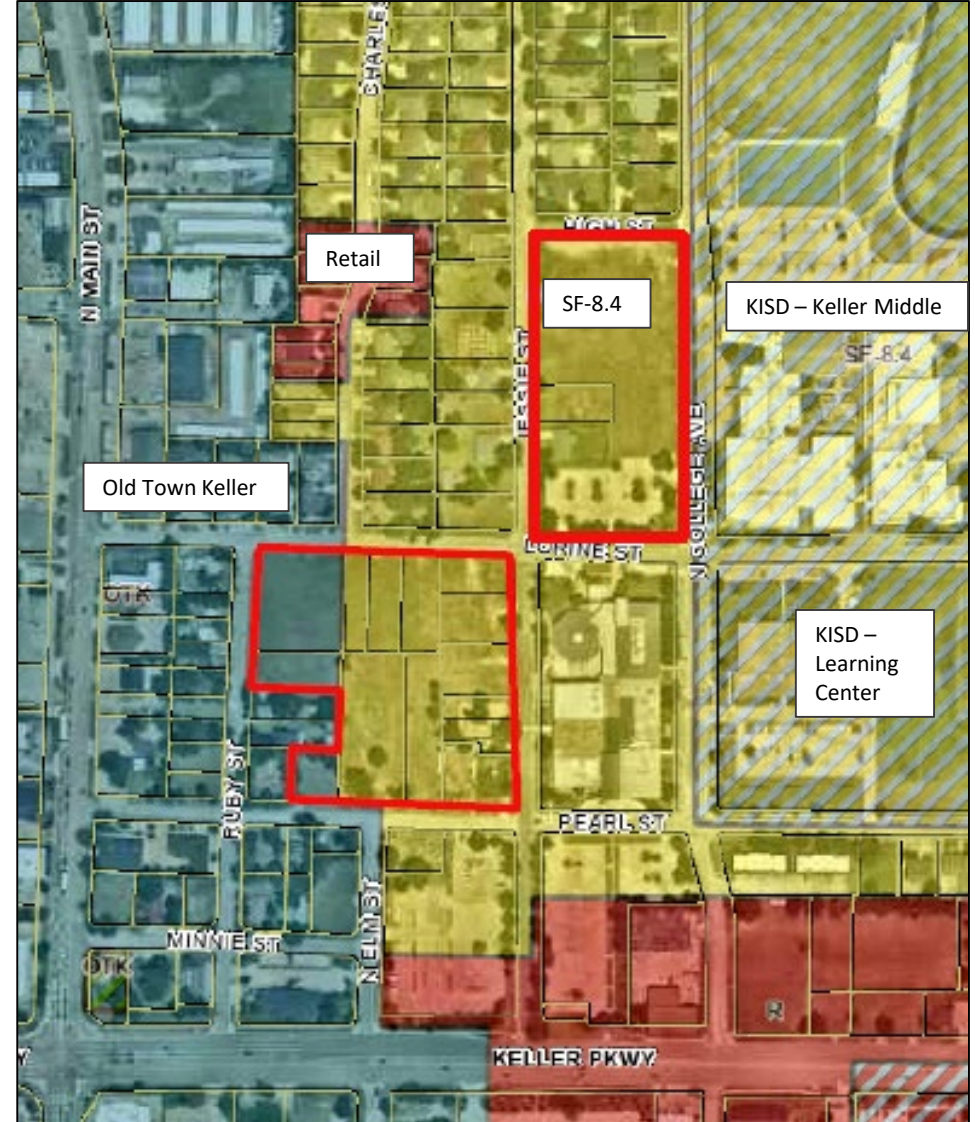
Consider a resolution approving a Site Plan Amendment with variances for First Baptist Church, situated on approximately 7.97 acres, being legally described as Lot 1R1A, Block 3 of the Johnson Addition; Lots 5-11, Block 2 of Johnson Addition-Keller; Lot 1, Block 1 of Cagle Addition; Tracts 1C01B, 1C01A, 1J, 1L, 1F, 1G, 1C02, 1H1, 1H2, 1H, 1I, 1K, 1I1A, 1K1A, Abstract 1171 of the Samuel Needham Survey and zoned Single-Family 8,400 square-foot minimum lot sizes or greater (SF-8.4) and Old Town Keller (OTK), and addressed as 218, 220, 224 and 245 Lorine St; 237, 231, 221, 217, and 213 Jessie Street; 222 and 238 Ruby Street; and 145, 205 and 211 Pearl Street. First Baptist Church, Owner/Applicant (SP-22-0027)

Item H-1 Aerial Map

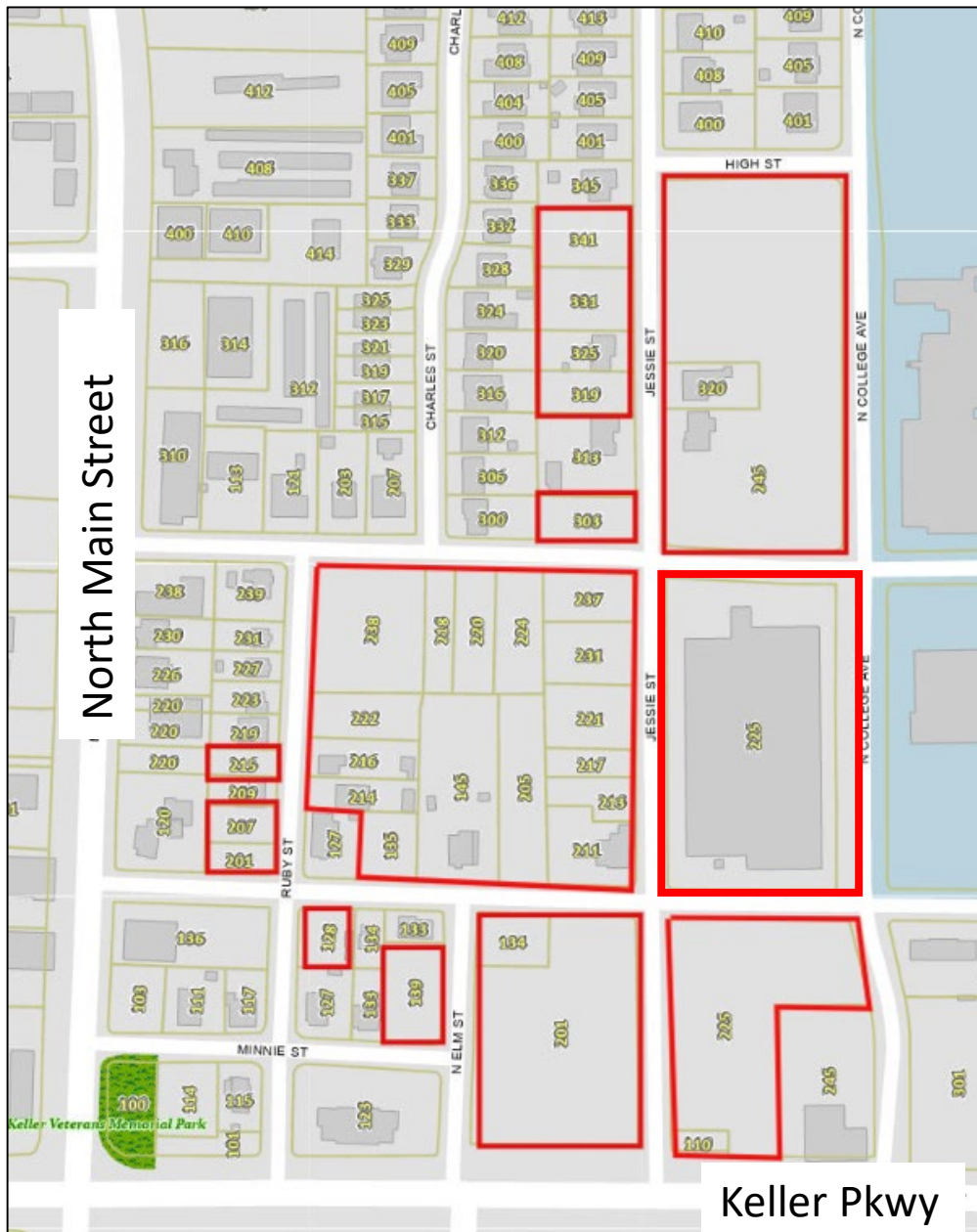


Zoned:
SF-8.4 and OTK

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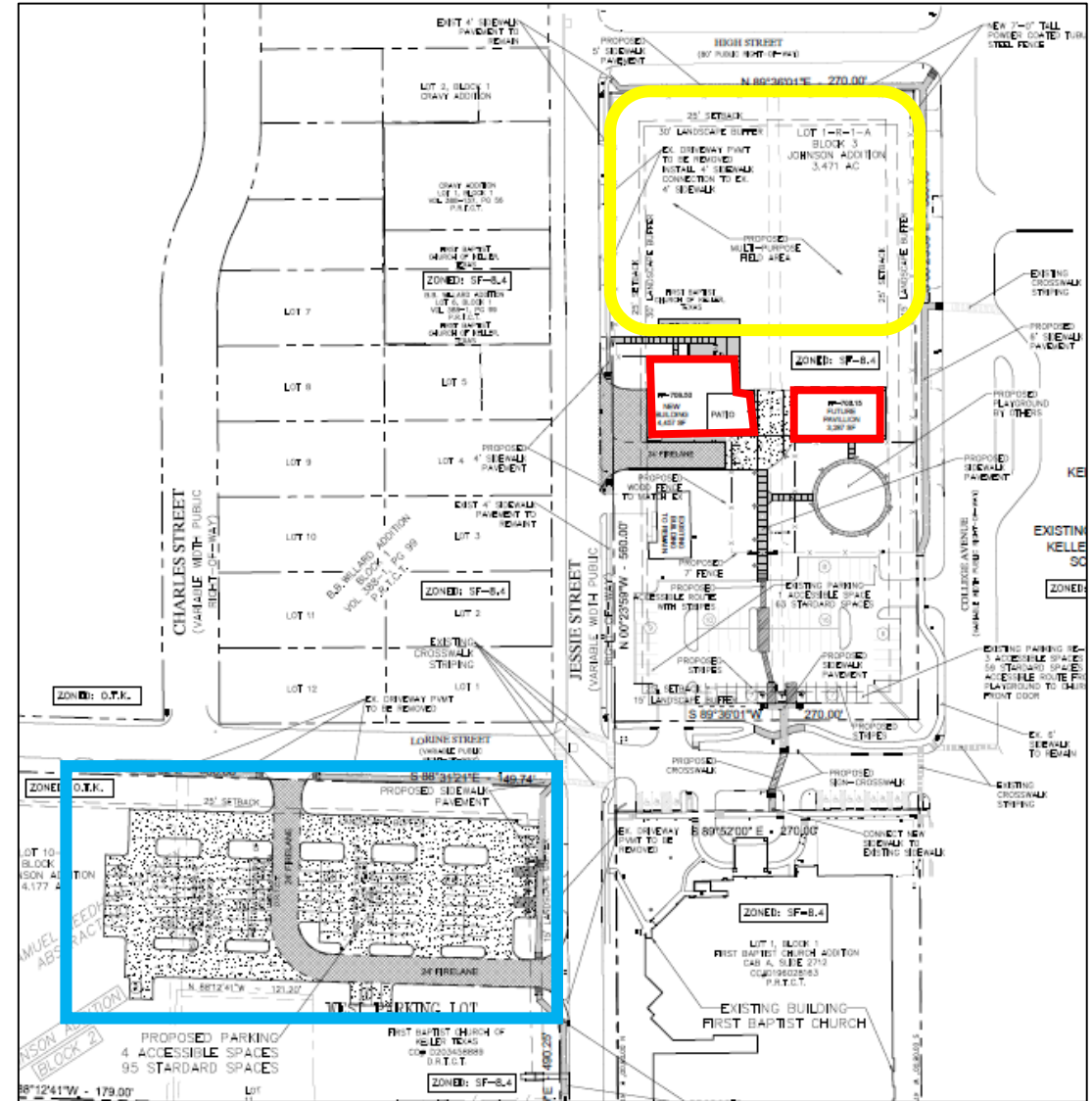
The First Baptist Church (Applicant) occupies multiple properties generally located north of Keller Parkway, south of High Street and between Ruby Street and North College Avenue.

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Proposed Site Plan:

The Applicant proposes to add:

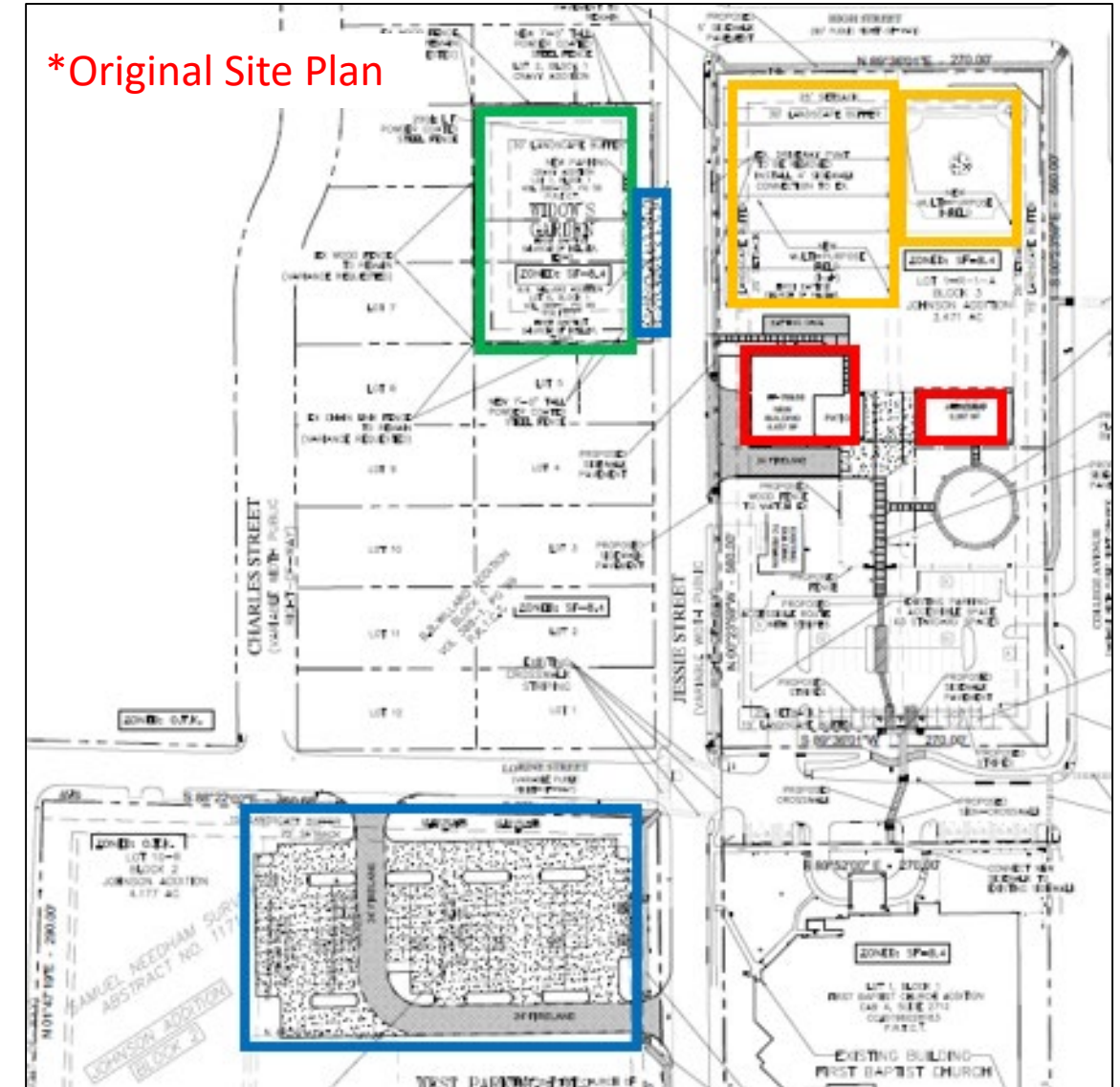
- A multi-purpose field for the Church and Harvest Christian Academy
- A 4,457-square-foot accessory building to store three 15-passenger golf carts used to shuttle congregants to and from parking lots, a utility golf cart, two large locker rooms, a weight room, bathrooms, additional storage areas, and a covered patio area
- A 3,287-square-foot pavilion to provide shade for church and school activities
- A large parking lot (total of 95 spaces)



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Background:

- On August 23, 2022, the Planning and Zoning Commission considered the Applicant's original proposal requiring 13 variances.
- The Commission expressed concern regarding the many variances requested, and tabled the item so the Applicant could adjust their site plan to better conform to the Unified Development Code.
- The Applicant resubmitted a modified site plan reducing the number of variances to three.



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Accessory
Structure



Multi-purpose
field

Pavilion

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Sidewalks and Trails: MEETS

The Applicant proposes to install new sidewalks on High Street, Jessie Street, College Avenue and Lorine Street.

Buffer Areas: MEETS

The Applicant intends to provide all required landscape buffers on Jessie Street, High Street, College Avenue and Lorine Street according to the adjacent uses.

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Landscaping: MEETS

The Applicant proposes to meet all UDC landscaping requirements along Jessie Street, High Street, College Avenue and Lorine Street.

Parking Lot: MEETS

Per UDC Section 8.08 (F)(3), if proposed parking spaces exceed the required number by 10%, 50 square-feet of additional landscaping shall be required per parking space.

The Applicant is exceeding parking requirements by 85 spaces. This equates to 4,250 square feet of additional landscaping, which the Applicant has added to the site plan.

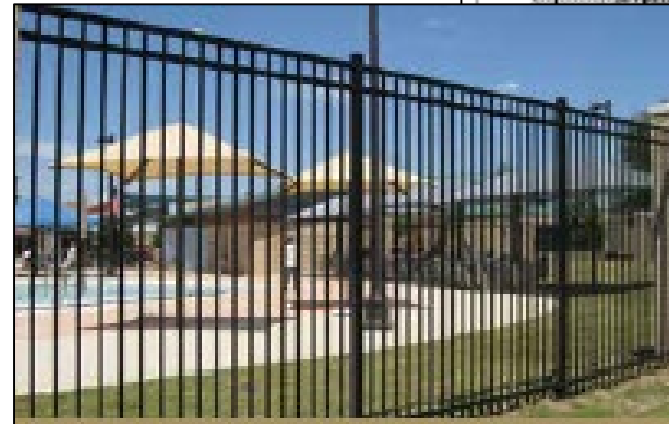
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Screening Walls: VARIANCE REQUESTED

UDC Section 8.13 requires a screening wall adjacent to a single-family use or zoning district. The Applicant proposes to install a 7-foot-tall, powder-coated steel fence 4 feet behind the sidewalks.

Variance requested:

1. To allow a 7-foot-tall, powder-coated steel fence surrounding the multi-purpose field located 4 feet from the sidewalk.



Garage door exposure and driveway: VARIANCES REQUESTED

The proposed 4,457 square-foot accessory building includes a garage that faces Jessie Street.

UDC Section 8.07 (C) states that a garage door within 100 feet of a residential street shall not be larger than 72 square-feet. Each proposed garage door is 172 square-feet. The garage door exposure exceeds Code by 272 square-feet for both doors.

Variance requested:

2. To allow 344 square-feet of garage door exposure to the street.

*The Planning and Zoning Commission asked – and the Applicant agreed – to enhance the garage door design to resemble carriage doors

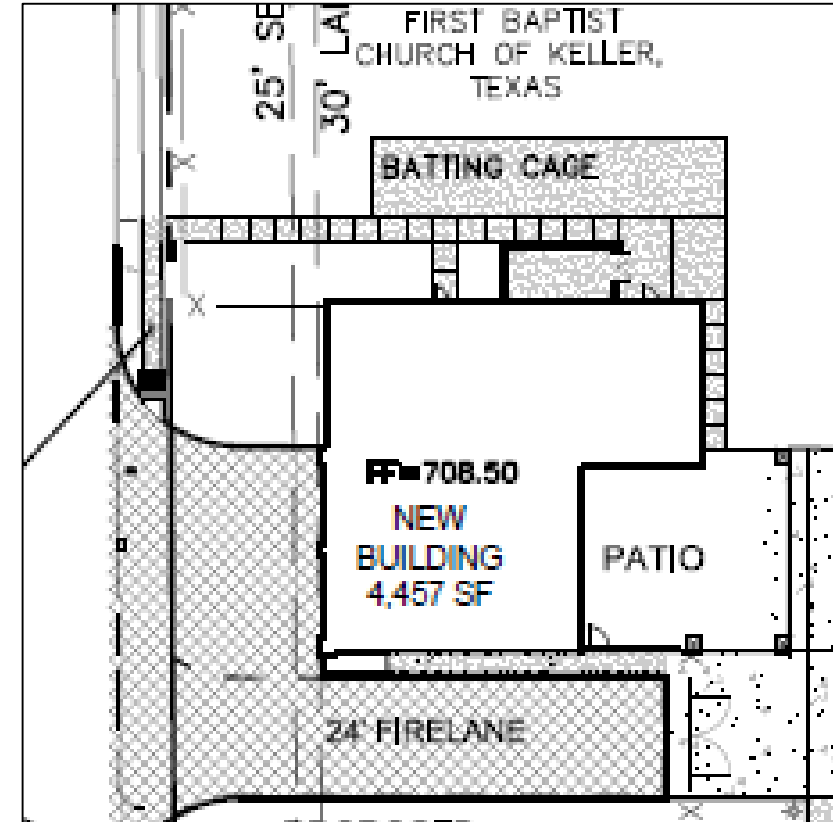


Garage door exposure and driveway: VARIANCES REQUESTED

UDC Section 5.07 (B)(1)(b) states the maximum width of a non-residential two-way driveway is 30 feet. The Applicant proposes a driveway width of 70 feet, 2 inches to accommodate the oversized golf carts and the fire lane located on the south side of the accessory structure.

Variance requested:

3. To allow a driveway width of 70 feet, 2 inches.



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Citizen Input:

A Site Plan Amendment application, even with variances, does not require a public hearing, so no public hearing notifications were sent out to the surrounding property owners for this request.

The public had an opportunity to speak on this agenda item during the “Persons To Be Heard.”

Staff received one opposition email to the initial submittal to all variances related to buffers, screening walls, and parking lots. The only variance still applicable relates to the screening wall.

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Planning and Zoning Commission Recommendation:

On September 27, 2022, the Commission voted to unanimously recommend approval with the condition of utilizing carriage-style garage doors facing the street due to the large size. The Commission also expressed appreciation to the Applicant for modifying the original site plan and reducing the number of variances requested from 13 to three.



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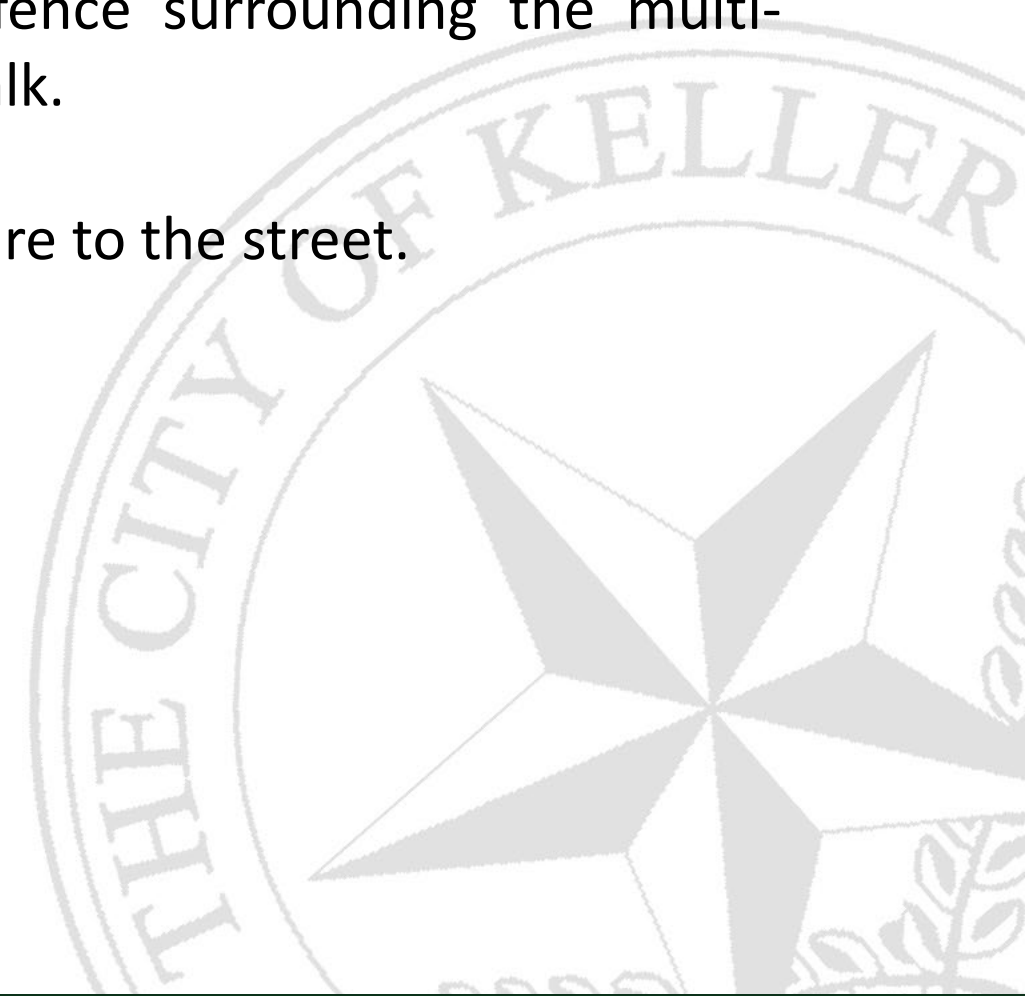
Summary:

Section 2.07(A)(2) of the UDC lists the following criteria for the Keller City Council when considering a Site Plan Amendment with variances:

- a. That there are special circumstances or conditions affecting the land involved such that the strict application of the provisions of this Code would deprive the applicant of the reasonable use of his land.
- b. That the granting of the variance will not be detrimental to the public health, safety or welfare, or injurious to other properties in the area.
- c. That the granting of the variance will not have the effect of preventing the orderly subdivision of other lands in the area in accordance with the provisions of this Code.
- d. That the granting of the variance will not constitute a violation of any other valid ordinance of the City of Keller.
- e. That strict compliance with the regulations, and/or that the purpose of the regulations will be served to a greater extent by the alternative proposal.

Summary of Variances (3) Requested:

1. To allow a 7-foot-tall, powder-coated steel fence surrounding the multi-purpose field located four feet from the sidewalk.
2. To allow 344 square feet of garage door exposure to the street.
3. To allow a driveway width of 70 feet, 2 inches.



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The City Council has the following options when considering a Site Plan Amendment with variances:

- Approve as submitted
- Approve with modifications or additional condition(s)
- Table the agenda item to a specific date with clarification of intent and purpose
- Deny



Questions?
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