



City of Keller
1100 Bear Creek Parkway,
Keller, TX 76248

Permit

Permit NO.: RDA-2502-0021

Permit Type: Residential Detached Accessory

Work Classification: Other

Permit Status: Issued

Issue Date: 03/31/2025

Expiration: 09/27/2025

Location Address

Parcel Number

1016 OAKWOOD DR, KELLER, TX 76248

02078414

Contacts

Chris Munro
1016 Oakwood Dr, Keller, TX 76248

Owner

Brad Roberts
12953 Hurricane Ln, Fort Worth, TX 76244
(682)300-5411

Applicant

Description: Metal Storage Building

Valuation: \$22,500.00

Total Sq Feet: 1,125.00

Inspection Requests:

www.cityofkeller.com/css

Fees	Amount
Residential Building (SQFT) Fee	\$1,125.00
Total:	\$1,125.00

Payments	Amt Paid
Total Fees	\$1,125.00
Credit Card	\$1,125.00
Amount Due:	\$0.00

Inspections:	
Inspection Type	
Rough Grade	1
Plumbing Rough	410
Foundation	
Second Framing	
Second Electrical	
Second Mechanical	
Second Plumbing	
Drainage Final	
CSI/Backflow Results	
Final	

Go online to view your permit status or request inspections, www.cityofkeller.com/css. Same day inspections are not available. Inspections requested before noon may be accommodated the next business day. Inspections requested after noon may be accommodated within two business days.

Issued By: Carlos Gutierrez

March 31, 2025

Date

Justin Wilkins

Date



BUILDING SERVICES
1016 Oakwood Dr # RDA-2502-0021
ONE THOUSAND OAKS ADDITION Block 3 Lot 5

Accessory Structure Review

Reviewed by: Carlos Gutierrez

Date: March 17, 2025

Zoning: SF-36

Lot Coverage

- **UDC:** 30% Main Structure/ 50% Total Lot Coverage
- **Lot Size:** 37,675sf
- **Main Allowed:** 11,302sf.
- **Main:** 3,362sf.
- **Lot Coverage Allowed:** 18,837sf.
- **Total Lot Coverage=** 10,567sf (Main: 3,362sf + Driveway: 6,080sf + Accessory Building: 1,125sf)

Setbacks per UDC for SF-36

- **Front:** 35'
- **Rear:** 15'
- **Side:** 13'

Comments:

1. Please note: Plan review is subject to field inspection.

Notice:

- Plans are void without notes attached.
- Permits shall conform to City of Keller Building Code and Zoning Requirements
- Separate Permits are required for Accessory Structures, Fencing, Irrigation, Etc.

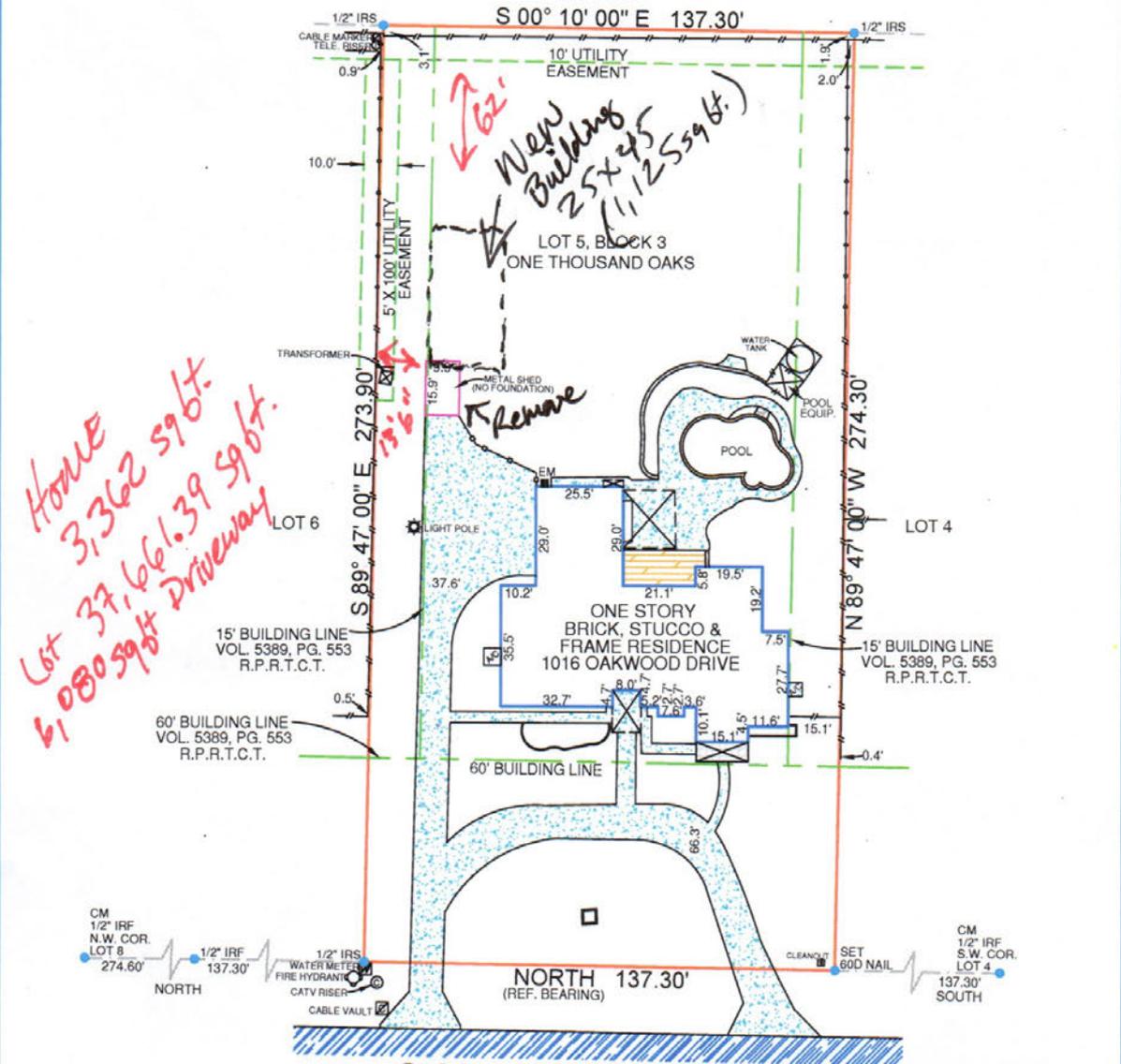
2021 International Code Council Codes (ICC)

All construction is subject to the requirements to City of Keller ICC Adopted Codes.

1. Specifications for all engineered products must be rendered to inspector.
2. Attachment shall be positively anchored to the main structure. Attachment to eaves, soffits, fascia, or rafter tails is prohibited.

Order of Inspection and Inspection Code:

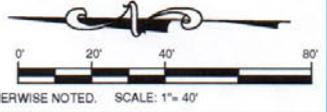
- 1) Rough grade
- 2) Foundation
- 3) All Seconds (Framing, Electrical, Mechanical, & Plumbing)
- 4) Final



LEGEND:

—●—	BARB WIRE FENCE	ASPHALT
—○—	CHAIN LINK FENCE	CONCRETE
—□—	WROUGHT IRON FENCE	GRAVEL
—◇—	WOOD FENCE	TILE
—▽—	VINYL FENCE	WOOD
—	ELECTRIC LINE	BRICK
GM	GAS METER	STONE
EM	ELECTRIC METER	RAILROAD TIE
IPF	IRON PIPE FOUND	
IRS	IRON ROD SET WITH "PREMIER" CAP	
IRF	IRON ROD FOUND	
CM	CONTROLLING MONUMENT (WOOD) RAILROAD TIE	

NOTES:
 BEARINGS ARE BASED ON THE RECORDED PLAT.
 THE PROPERTY IS AFFECTED BY THE FOLLOWING:
 (10K)-AGREEMENT, VOL. 5422, PG. 100, R.P.R.T.C.T.
 BUILDING LINES AND EASEMENTS ARE BASED ON THE RECORDED PLAT UNLESS OTHERWISE NOTED.



LEGAL DESCRIPTION:
 BEING LOT 5, BLOCK 3, ONE THOUSAND OAKS, AN ADDITION TO THE CITY OF KELLER, TARRANT COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 388-81, PAGE 30, PLAT RECORDS, TARRANT COUNTY, TEXAS.

SURVEYOR'S CERTIFICATION:
 THIS IS TO CERTIFY THAT ON THIS DATE A SURVEY WAS MADE ON THE GROUND, UNDER MY SUPERVISION AND REFLECTS A TRUE AND CORRECT REPRESENTATION OF THE DIMENSIONS AND CALLS OF PROPERTY LINES AND LOCATION AND TYPE OF IMPROVEMENTS. THERE ARE NO VISIBLE AND APPARENT EASEMENTS, CONFLICTS, INTRUSIONS OR PROTRUSIONS, EXCEPT AS SHOWN. THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND IS FOR THE EXCLUSIVE USE OF THE HEREON NAMED PURCHASER, MORTGAGE COMPANY, AND TITLE COMPANY ONLY AND THIS SURVEY IS MADE PURSUANT TO THAT CERTAIN TITLE COMMITMENT UNDER THE GF NUMBER SHOWN HEREON, PROVIDED BY THE TITLE COMPANY NAMED HEREON ANC THAT THIS DATE, THE EASEMENTS, RIGHTS-OF-WAY, OR OTHER LOCATABLE MATTERS OF RECORD THAT THE UNDERSIGNED HAS KNOWLEDGE OR HAS BEEN ADVISED ARE AS SHOWN OR NOTED HEREON. THIS SURVEY IS SUBJECT TO ANY AND ALL COVENANTS AND RESTRICTIONS PERTAINING TO THE RECORDED PLAT REFERENCED HEREON.

GF. NO.	2414419-SKDF
BORROWER	CHRIS MUNRO AND LAUREN BURTON-MUNRO
TITLE CO.	INDEPENDENCE TITLE
TECH	TAG/AV
FIELD	ZD

FLOOD INFORMATION:
 THE SUBJECT PROPERTY DOES NOT APPEAR TO LIE WITHIN THE LIMITS OF A 100-YEAR FLOOD HAZARD ZONE ACCORDING TO THE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND HAS A ZONE "X" RATING AS SHOWN BY MAP NO. 48459C0080 K, DATED SEPTEMBER 25, 2009.

DATE: 04/25/2024 JOB NO.: 24-03177
 FIELD: 04/25/2024

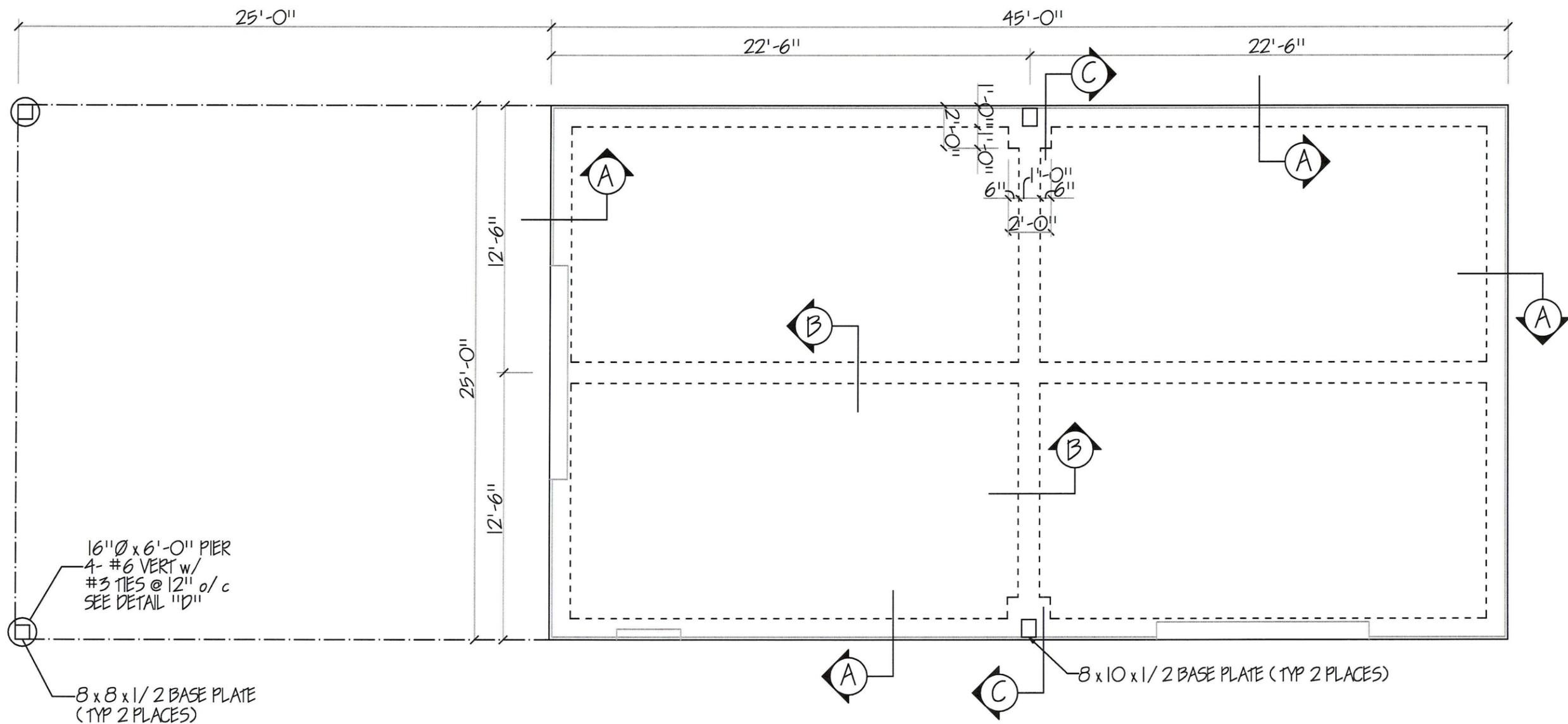
1016 OAKWOOD DRIVE, KELLER, TX 76248
 LOT 5, BLOCK 3, ONE THOUSAND OAKS



DATE: _____
 ACCEPTED BY: _____



Premier
 Surveying LLC
 5700 W. Plano Pkwy., Suite 1200
 Plano, Texas 75093
 Office: 972-612-3601
 Fax: 972-964-7021
 Firm Registration No. 10146200

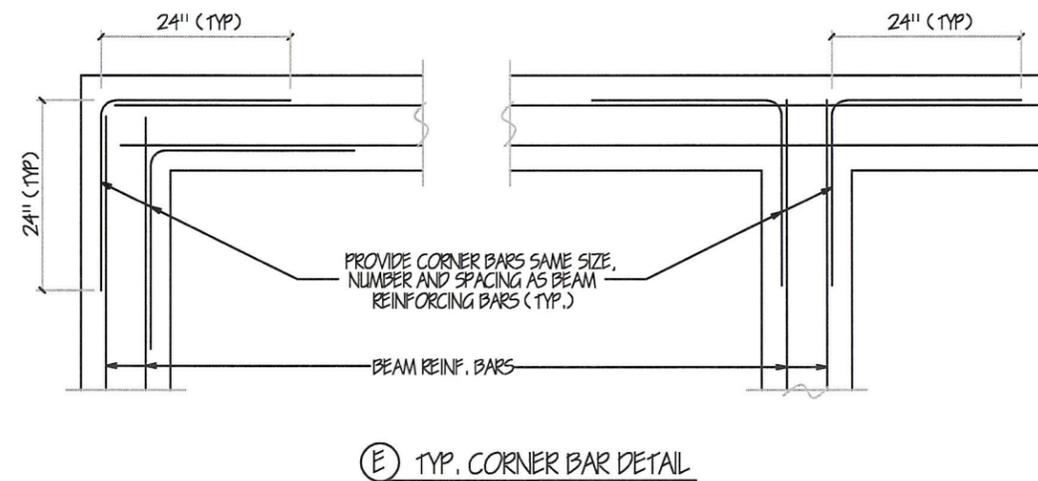
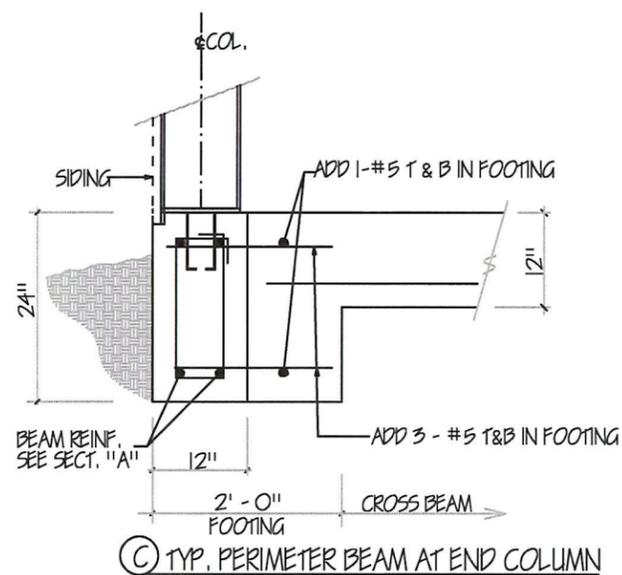
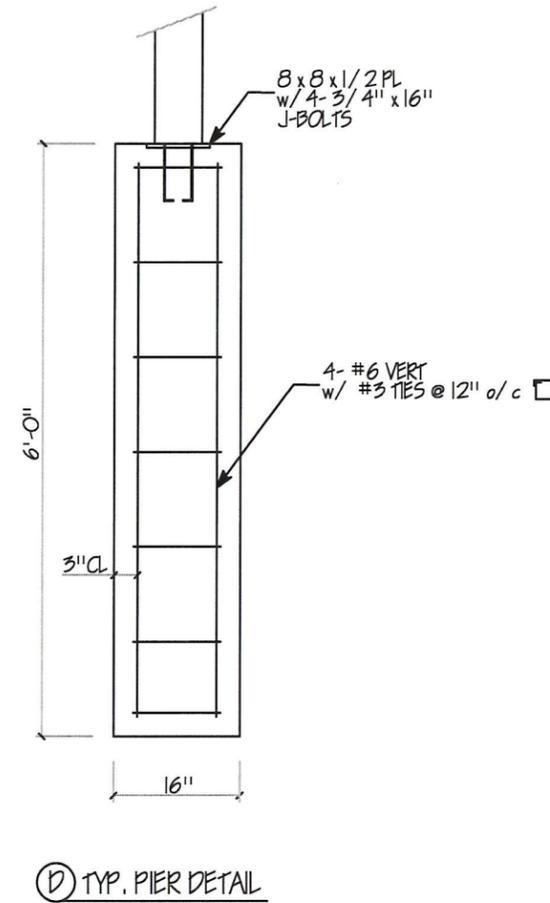
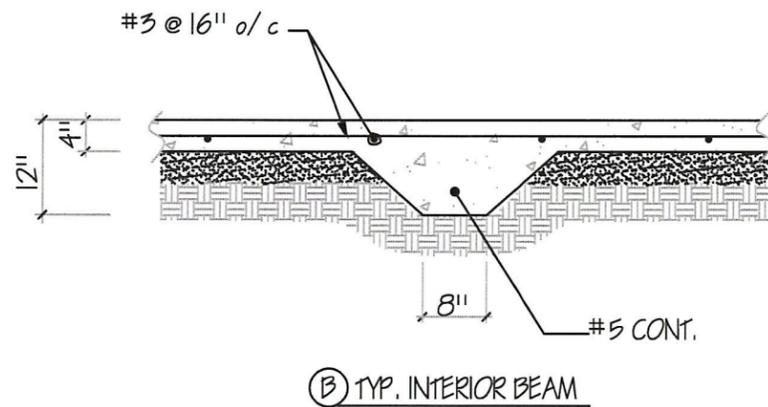
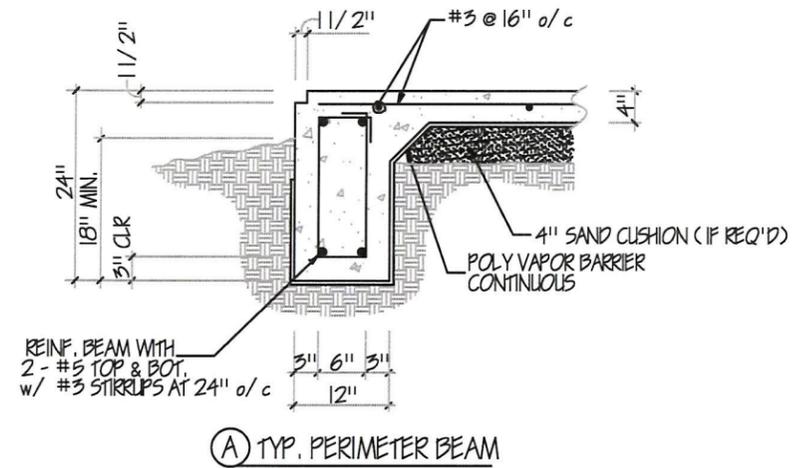


FOUNDATION PLAN
APPROX. 3/16" = 1'-0"

<p>2-14-25</p>	BBS Consultants Structural Engineers TBPE firm #4345		
	SOUTHERN CUSTOMS		
	SCALE: AS NOTED	APPROVED BY: W.N.B.	
	DATE: 2/14/25	1016 OAKWOOD DR. KELLER, TX	
FOUNDATION PLAN	DRAWING NUMBER 51 OF 56		

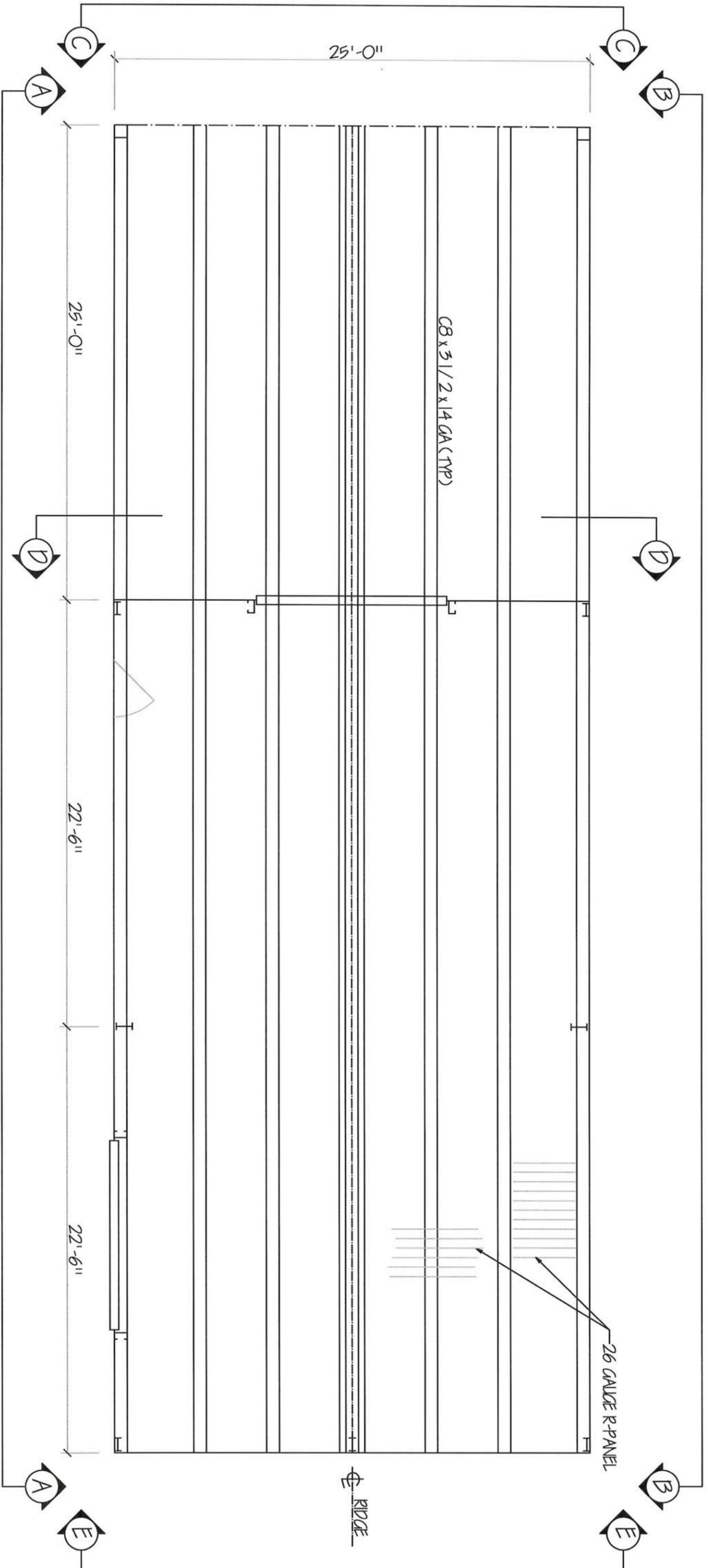
GENERAL NOTES:

- Construction details and framing shall conform to the 2021 International Building Code and City of Keller, TX.
- All concrete and metal reinforcement shall be fabricated and placed in conformity with the latest edition, "ACI Standard Building Code Requirements for Reinforced Concrete" (ACI 318).
- Poured in place concrete is to be normal weight and is to develop a compressive strength F'_c of 3500 psi at 28 days.
- Provide corner bars in all beams of same size and spacing as adjacent bars.
- Soil Parameters:
Per section 1806 (IBC 2021) and assuming Material Classification Number 5:
a) Allowable foundation bearing pressure: 1500 psf.
b) Allowable lateral bearing pressure: 100 psf.
- All structural steel shall be fabricated and erected in conformity with the requirements of the latest edition, AISC "Manual of Steel Construction".
- Except as shown or noted, all structural shapes and plates shall be ASTM A-36. W8x10 and W10x15 beams and columns shall be $F_y = 36$ ksi or 50 ksi, ST or HSS columns and braces shall be $F_y = 46$ ksi. Ceess shall be $F_y = 50$ ksi (min).
- All welding shall comply with the latest edition AWS D1.1 "Structural Welding Code" and shall be performed by pre-qualified welders in accordance with AWS standards.
- All welds shall be made using E70XX electrodes and shall be continuous fillet or square groove welds, unless otherwise noted.
- All sheared and flame cut edges shall be ground to $1/16"$ radius prior to initiation of surface preparation.
- All welded areas shall be given special attention for removal of welding flux, slag, and spatter.
- Main frame rafter - $10" \times 15\#$ WF
Main frame column - $10" \times 15\#$ WF
Endwall frame $8" \times 10\#$ WF columns and rafters.
Base plate $1/2 \times 8" \times 10"$ with (4) $3/4" \times 16$ J bolts imbedded in concrete.
- All purlin/girt clips $1/4" \times 7"$.
- All $4" \times 2"$ base/rake angle - 14 ga.
- All wall girts and roof purlin $8" \times 3.5" \times 14$ ga. or $8" \times 2.5" \times 16$ ga. Ceess as shown.
- Flange bracing as shown - $2" \times 2" \times 1/8$ angle.
- All cable bracing is $5/16"$ strand with cable locks and eyebolts.
- Overhead door jamb $8" \times 4"$ 12 ga Ceess or W8x10.
- Roof deck/siding 26 ga R-Panel or per contractor.



	BBS Consultants Structural Engineers TBPE firm #4345	
	SOUTHERN CUSTOMS	
	SCALE: AS NOTED	APPROVED BY: W.N.B.
	DATE: 2/14/25	
1016 OAKWOOD DR. KELLER, TX		
DETAILS AND NOTES	DRAWING NUMBER 52 OF 56	

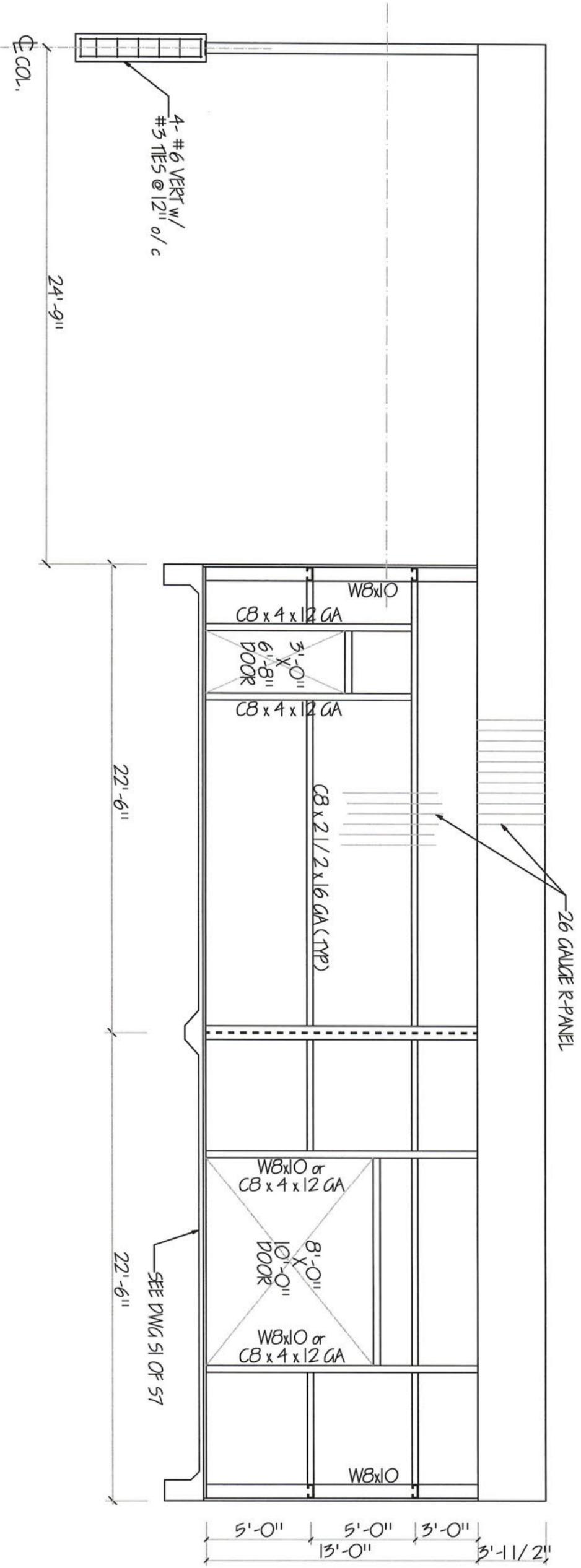
2-14-25



ROOF PLAN
 APPROX. 3/16" = 1'-0"

		BBS Consultants Structural Engineers TYPE Firm #4345	
		SOUTHERN CUSTOMS	
SCALE: AS NOTED	DATE: 2/14/25	APPROVED BY: W.N.B.	
1016 OAKWOOD DR. KELLER, TX			
ROOF PLAN		DRAWING NUMBER	55 OF 56

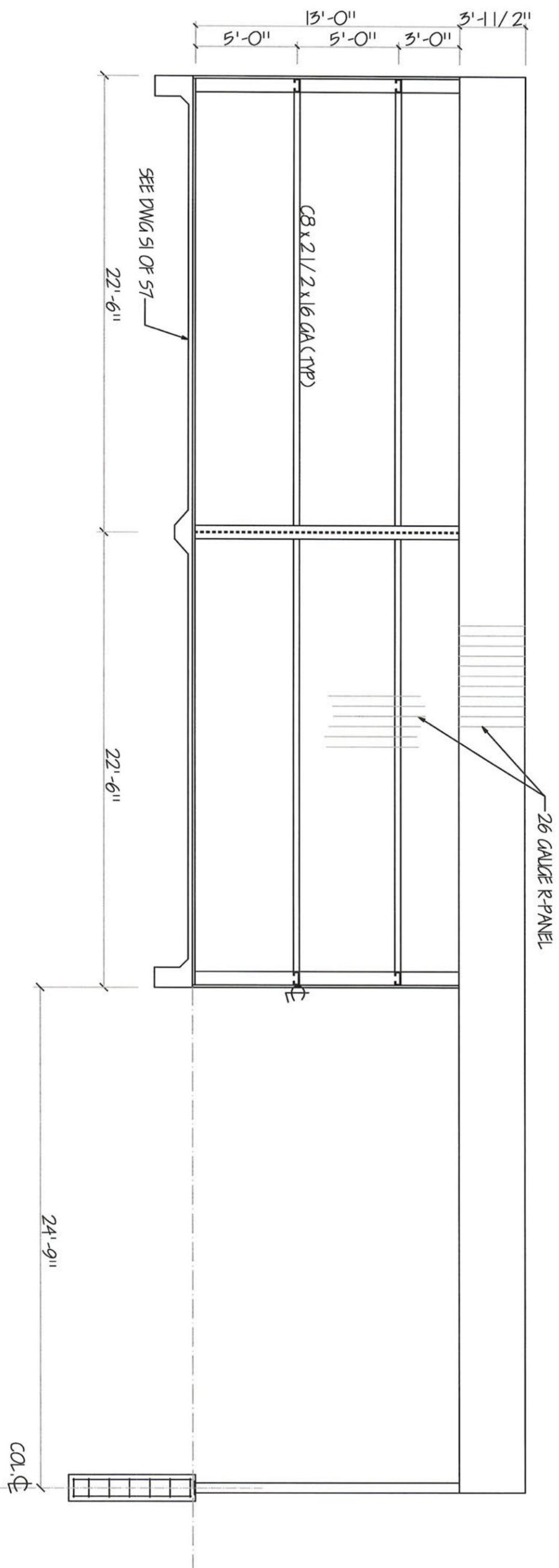
2-14-25



SECTION A-A
 APPROX. 5/16" = 1'-0"

		BBS Consultants Structural Engineers TYPE Am #4345	
		SOUTHERN CUSTOMS	
SCALE: AS NOTED	DATE: 2/14/25	APPROVED BY: W.N.B.	1016 OAKWOOD DR. KELLER, TX
SIDE ELEVATION	DRAWING NUMBER 54 OF 56		

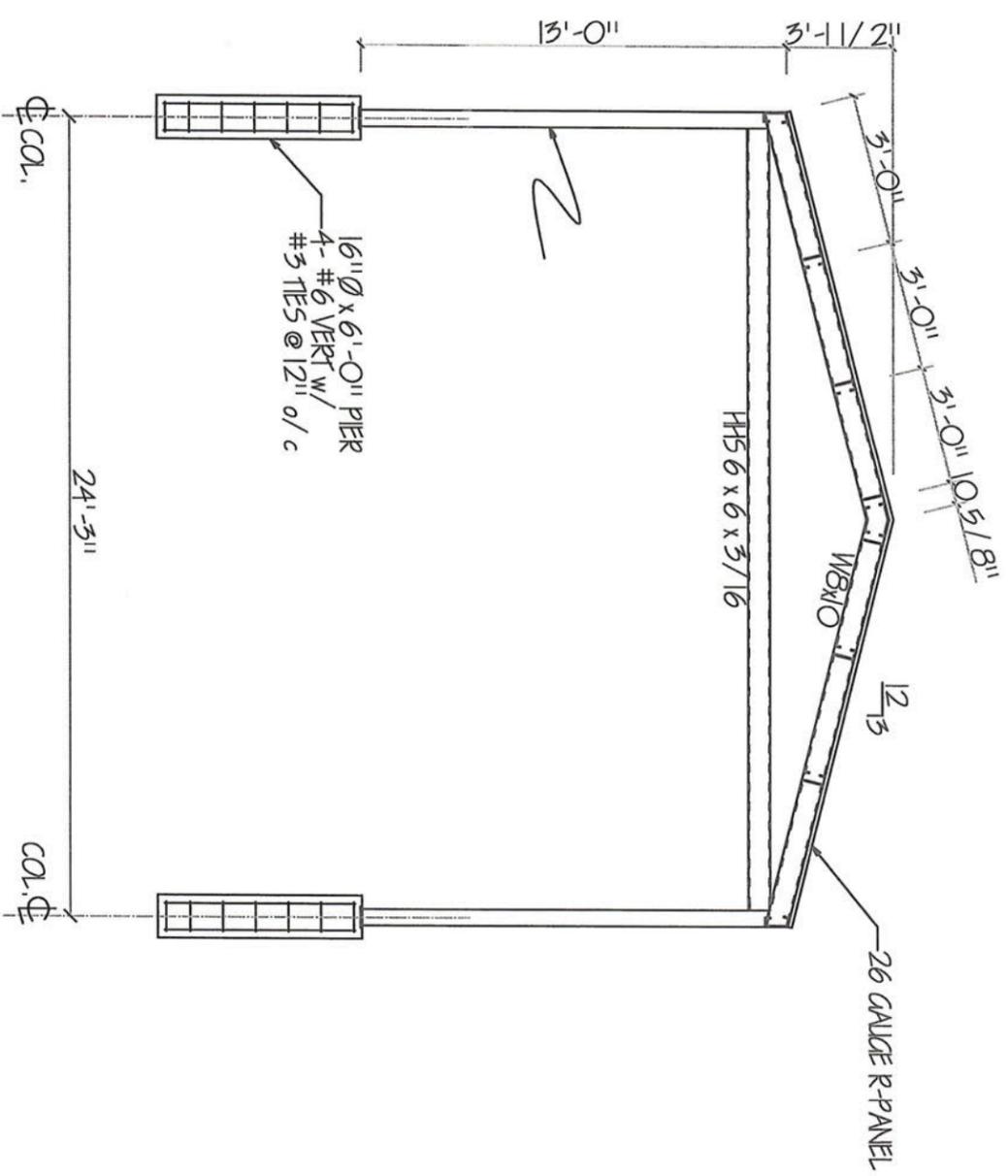
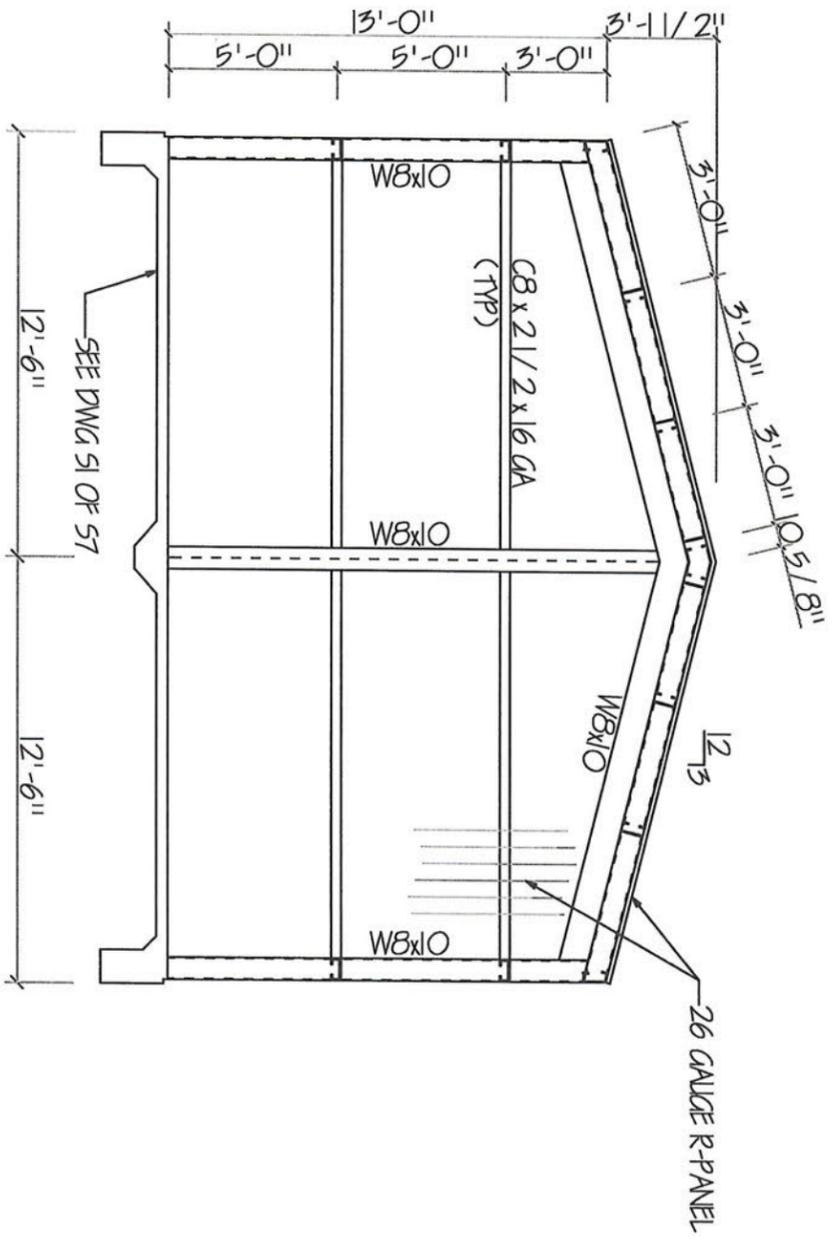
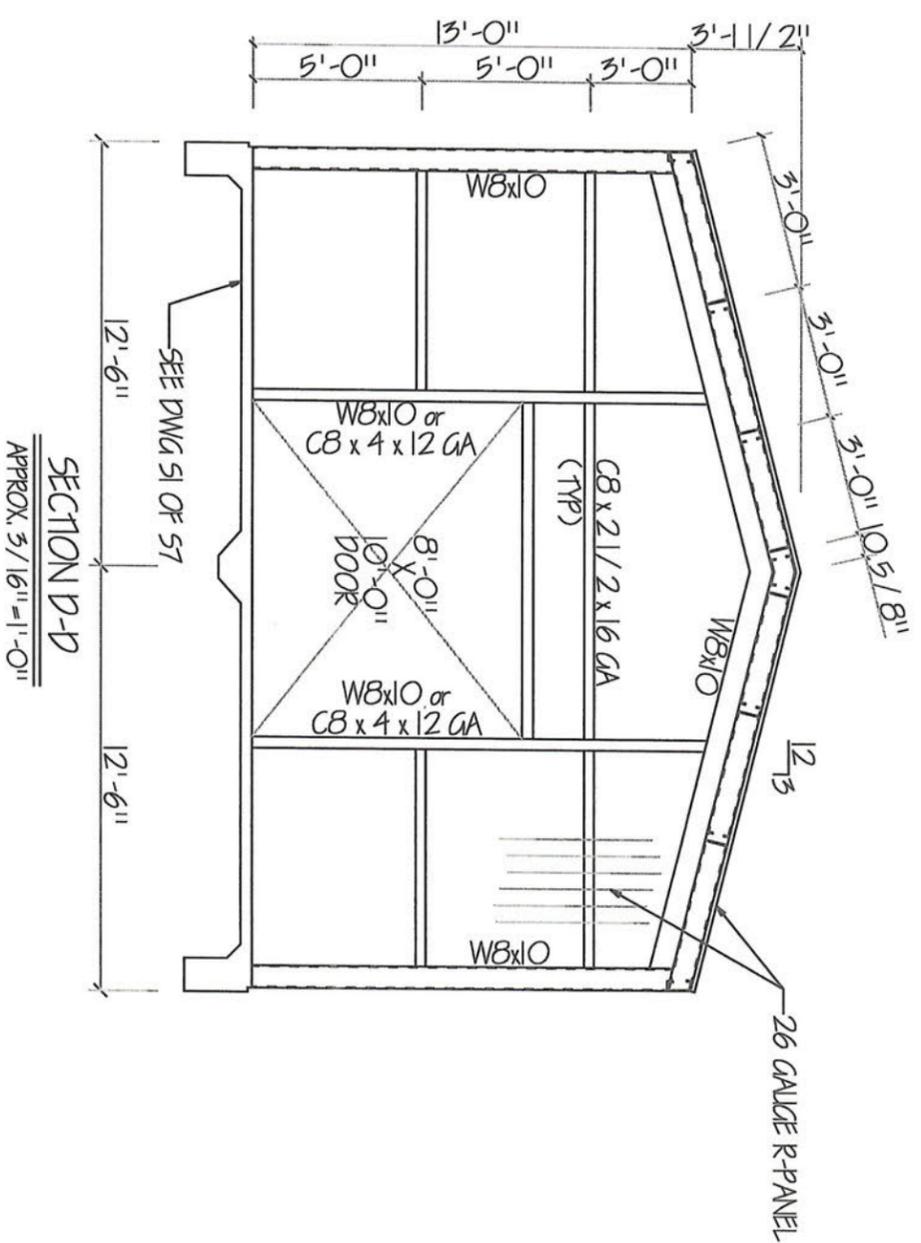
2-14-25



SECTION B-B
APPROX. 3/16" = 1'-0"

		BBS Consultants Structural Engineers TBPE Firm #4345	
		SOUTHERN CUSTOMS	
SCALE: AS NOTED	DATE: 2/14/25	APPROVED BY: W.N.B.	
1016 OAKWOOD DR. KELLER, TX			
SIDE ELEVATION		DRAWING NUMBER	55 OF 56

2-14-25



SECTION C-C
APPROX. 3/16" = 1'-0"

SECTION E-E
APPROX. 3/16" = 1'-0"



WILLIAM N. BOWEN, II
REGISTERED PROFESSIONAL ENGINEER
36201

BBS Consultants
Structural Engineers
TYPE firm #4345

SOUTHERN CUSTOMS

SCALE: AS NOTED

DATE: 2/14/25

1016 OAKWOOD DR.
KELLER, TX

APPROVED BY: W.N.B.

DRAWING NUMBER
56 OF 56

BBS Consultants

Structural Engineers

TBPE firm #4345

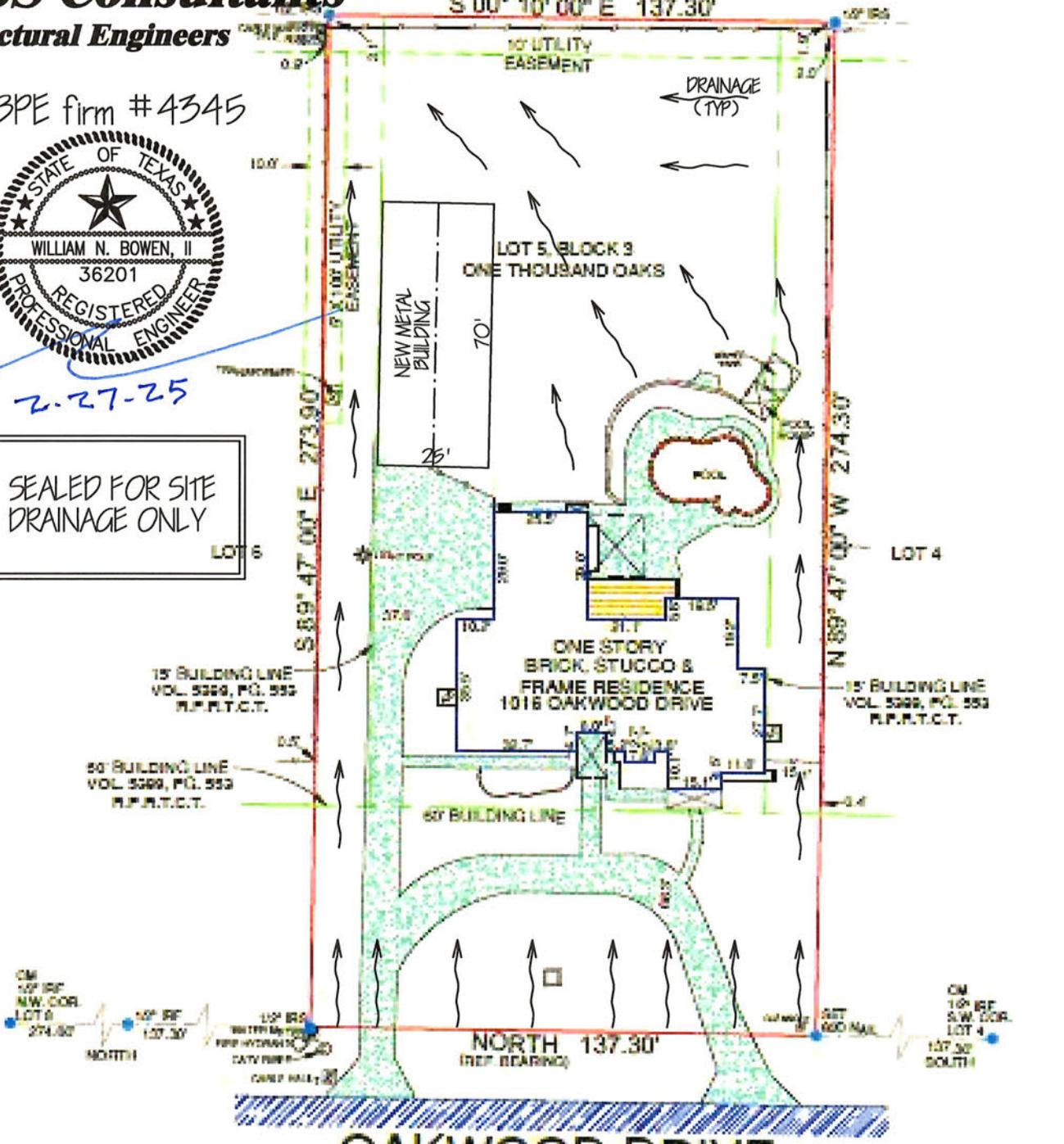


2-27-25

SEALED FOR SITE DRAINAGE ONLY

RICHARD HUNTER AND JUDITH HUNTER
DOC. NO. D211086862
O.P.R.T.C.T.

S 00° 10' 00" E 137.30'

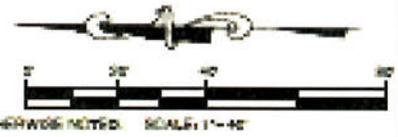


OAKWOOD DRIVE
(60' R.O.W.)

LEGEND:

---	BARBED FENCE	ASPHALT
---	CHAINLINK FENCE	CONCRETE
---	WROUGHT IRON FENCE	GRAVEL
---	WOOD FENCE	TYP.
---	WYLL FENCE	WOOD
---	ELECTRIC LINE	BRICK
---	CEM. GAS METER	STONE
---	EM. ELECTRIC METER	
---	EM. POWER POLE	
---	EM. WOOD ROD SET WITH TRIMMER CAP	
---	EM. WOOD ROD POLE	
---	EM. CONTROLLED MOVEMENT	
---	WOOD RAILROAD TIE	

NOTES:
REARER HAS BASED ON THE RECORDED PLAT.
THE PROPERTY IS AFFECTED BY THE FOLLOWING:
(10) AGREEMENT VOL. 5400, PG. 100, O.P.R.T.C.T.
BUILDING LINES AND EASEMENTS ARE BASED ON THE RECORDED PLAT UNLESS OTHERWISE NOTED.



LEGAL DESCRIPTION

BEING LOT 5, BLOCK 3, ONE THOUSAND OAKS, AN ADDITION TO THE CITY OF KELLER, TARRANT COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 5868, PAGE 82, PLAT RECORDED, TARRANT COUNTY, TEXAS.

SURVEYOR'S CERTIFICATION

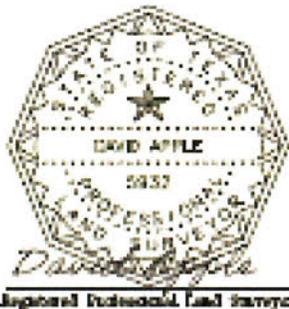
THIS IS TO CERTIFY THAT ON THIS DATE A SURVEY WAS MADE ON THE GROUND, UNDER MY SUPERVISION AND REFLECTS A TRUE AND CORRECT REPRESENTATION OF THE DIMENSIONS AND LOCATIONS AND TYPE OF IMPROVEMENTS, THERE ARE NO VISIBLE AND APPARENT EASEMENTS, CONFLICTS, ENCROACHMENTS OR PROTRUSIONS, EXCEPT AS SHOWN. THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND IS FOR THE EXCLUSIVE USE OF THE PERSON NAMED PURCHASER, SOUTHWEST COMPANY, AND TITLE COMPANY ONLY AND THIS SURVEY IS MADE PURSUANT TO THAT CERTAIN TITLE COMMITMENT UNDER THE CP NUMBER SHOWN HEREON, PROVIDED BY THE TITLE COMPANY NAMED HEREON AND THAT THIS DATE, THE EASEMENTS, RIGHTS-OF-WAY, OR OTHER LOCATABLE MATTERS OF RECORD THAT THE UNDERGROUND HAS KNOWLEDGE OR HAS BEEN ADVISED ARE AS SHOWN OR NOTED HEREON. THIS SURVEY IS SUBJECT TO ANY AND ALL COVENANTS AND RESTRICTIONS PERTAINING TO THE RECORDED PLAT REFERENCED HEREON.

GP. NO.	041418-0002
BORROWER	ONE SUBSIDIARY OF SOUTHWEST COMPANY
TITLE CO.	INDEPENDENCE TITLE
TECH	TASKER
FIELD	JD

FLOOD INFORMATION:
THE SUBJECT PROPERTY DOES NOT APPEAR TO BE WITHIN THE LIMITS OF A 100-YEAR FLOOD HAZARD ZONE ACCORDING TO THE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND HAS A 200-YEAR FLOOD AS SHOWN BY MAP NO. 444802080 K, DATED SEPTEMBER 28, 2008.

DATE: 04/22/2024 JOB NO.: 24-02177
FIELD: 04/22/2024

1016 OAKWOOD DRIVE, KELLER, TX 76248
LOT 5, BLOCK 3, ONE THOUSAND OAKS



Date: _____
Accepted by: _____



Premier
Real Estate
1700 W. Ross Hwy., Suite 1300
Keller, Texas 76248
Office: 817-812-3881
Fax: 817-864-1021
Firm Registration No. 10146208