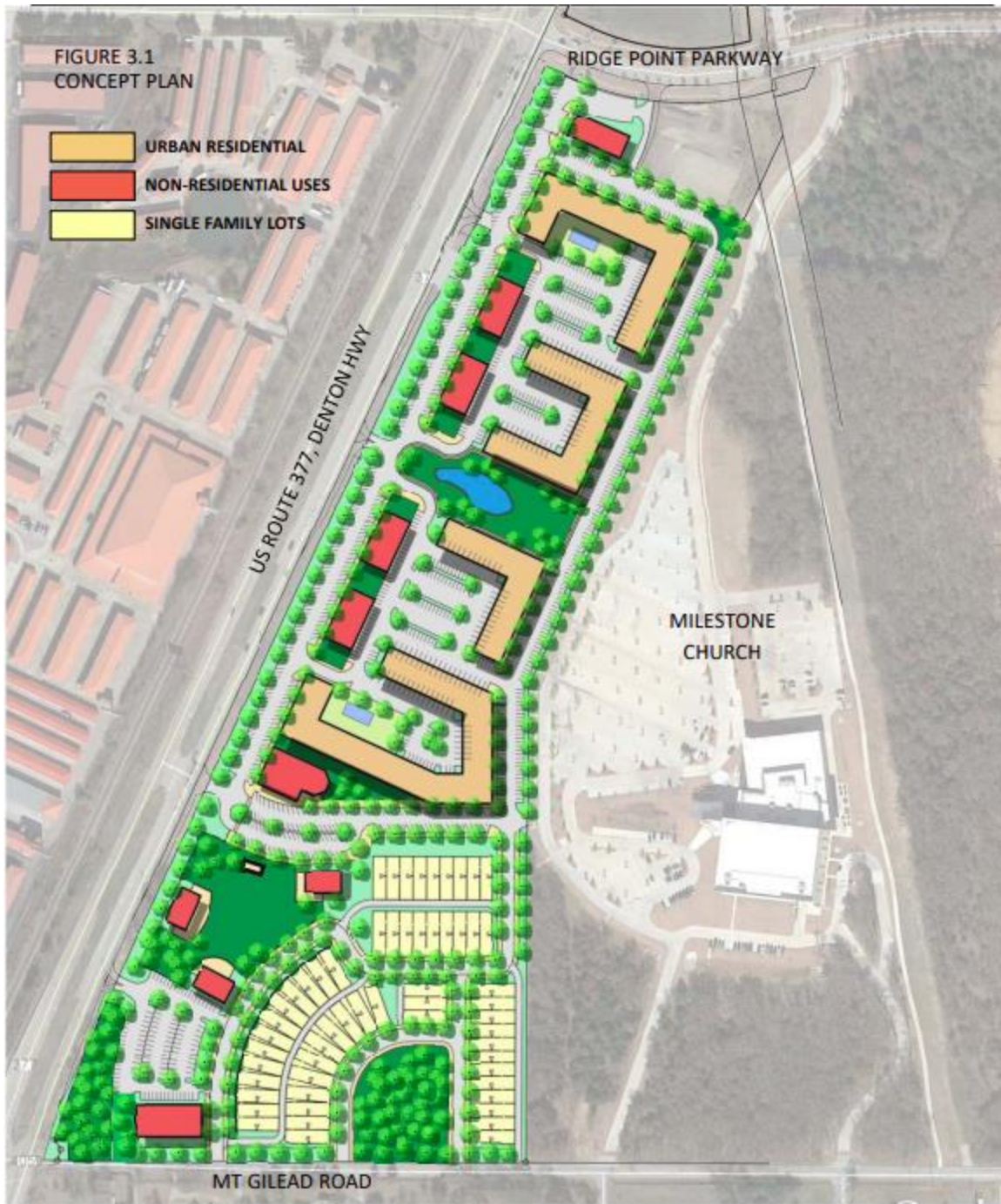
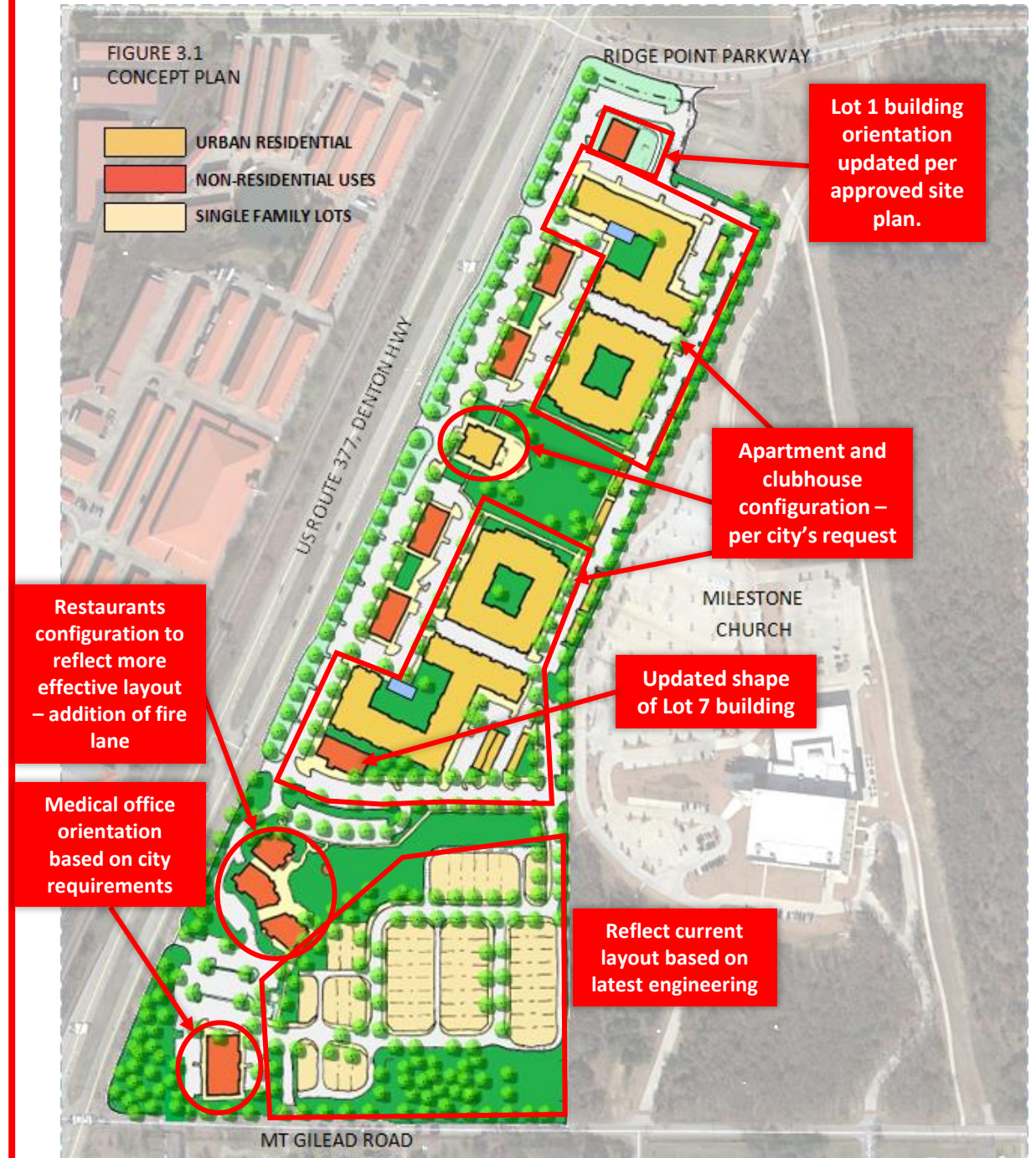


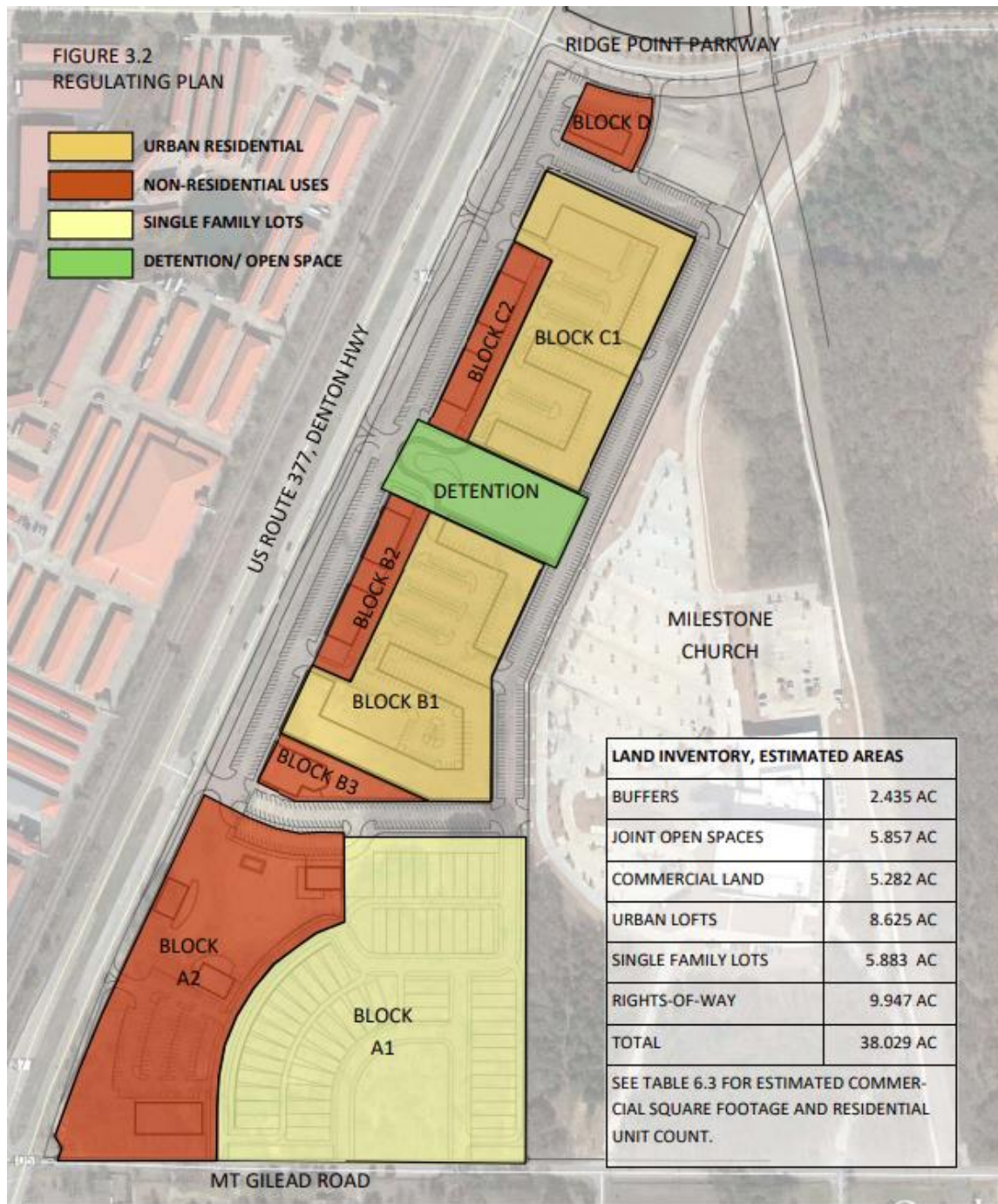
Approved Concept Plan (PG 11)



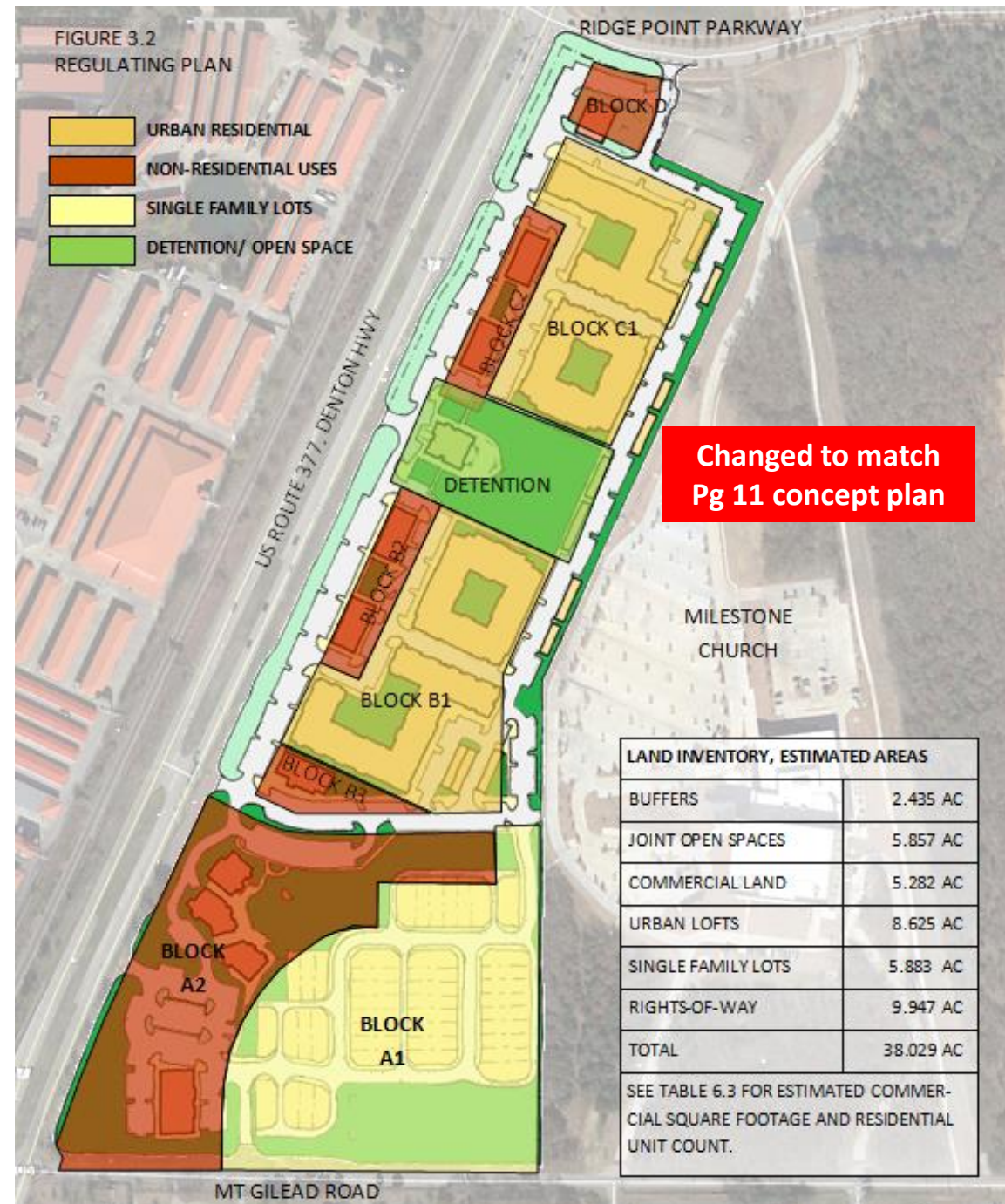
Concept Plan Changes



Approved Regulating Plan (PG 12)



Regulating Plan Changes



Approved Regulating Plan (PG 13)

TABLE 3.1 PERMITTED USE TABLE								
PERMITTED USES	BLOCK A1	BLOCK A2	BLOCK B1	BLOCK B2	BLOCK B3	BLOCK C1	BLOCK C2	BLOCK D
UDC ZONE 'C' AND 'R' USES		P	P	P	P	P	P	P
UDC ZONE 'C' AND 'R' MODIFICATIONS								
Entertainment, Indoor and Outdoor		P	P	P	P	P	P	P
Bar, Tavern		P	P	P	P	P	P	P
Grocery under 20,000 square feet		P	P	P	P	P	P	P
Minor medical Emergency Clinic		P	P	P	P	P	P	P
General Office		P	P	P	P	P	P	P
Public Parking Garage		P	P	P	P	P	P	P
Restaurant, Café: On-premise alcohol sales		P	P	P	P	P	P	P
Spa, Cosmetology or Massage		P	P	P	P	P	P	P
ADDITIONAL PERMITTED USES								
URBAN LOFTS, MAXIMUM DWELLING UNITS			NOTE 3			NOTE 3		
SINGLE FAMILY DETACHED, MAXIMUM LOTS	57							
MINIMUM OPEN SPACE	15% OVERALL, EXCLUDING LANDSCAPE BUFFER							
DETENTION	P	P	P	P	P	P	P	P
NOTE 1: BLOCK 'A' NON-RESIDENTIAL USES ARE NOT REQUIRED TO ORIENT THE BUILDINGS TO FACE US 377.								
NOTE 2: NON-RESIDENTIAL USES MAY INCLUDE ANCILLARY USES SUCH AS LEASING OFFICE, FITNESS CENTER, OR MAIL ROOM., BUT ARE LIMITED TO BLOCKS B1 AND C1.								
NOTE 3: TOTAL NUMBER OF URBAN LOFT DWELLING UNITS IN BLOCK B1 PLUS BLOCK C1 SHALL NOT EXCEED 475 UNITS.								

Permitted Use Changes

TABLE 3.1 PERMITTED USE TABLE								
PERMITTED USES	BLOCK A1	BLOCK A2	BLOCK B1	BLOCK B2	BLOCK B3	BLOCK C1	BLOCK C2	BLOCK D
UDC ZONE 'C' AND 'R' USES		P	P	P	P	P	P	P
UDC ZONE 'C' AND 'R' MODIFICATIONS								
Entertainment, Indoor and Outdoor		P	P	P	P	P	P	P
Bar, Tavern		P	P	P	P	P	P	P
Grocery under 20,000 square feet		P	P	P	P	P	P	P
Minor medical Emergency Clinic		P	P	P	P	P	P	P
General Office		P	P	P	P	P	P	P
Public Parking Garage		P	P	P	P	P	P	P
Restaurant, Café: On-premise alcohol sales		P	P	P	P	P	P	P
Spa, Cosmetology or Massage		P	P	P	P	P	P	P
ADDITIONAL PERMITTED USES								
URBAN LOFTS, MAXIMUM DWELLING UNITS			NOTE 3			NOTE 3		
SINGLE FAMILY DETACHED, MAXIMUM LOTS	43 57							
MINIMUM OPEN SPACE	15% OVERALL, EXCLUDING LANDSCAPE BUFFER							
DETENTION	P	P	P	P	P	P	P	P
NOTE 1: BLOCK 'A' NON-RESIDENTIAL USES ARE NOT REQUIRED TO ORIENT THE BUILDINGS TO FACE US 377.								
NOTE 2: NON-RESIDENTIAL USES MAY INCLUDE ANCILLARY USES SUCH AS LEASING OFFICE, FITNESS CENTER, OR MAIL ROOM., BUT ARE LIMITED TO BLOCKS B1 AND C1.								
NOTE 3: TOTAL NUMBER OF URBAN LOFT DWELLING UNITS IN BLOCK B1 PLUS BLOCK C1 SHALL NOT EXCEED 475 UNITS.								

Updated the maximum single family lots number to reflect current site plan

Figure 4.1

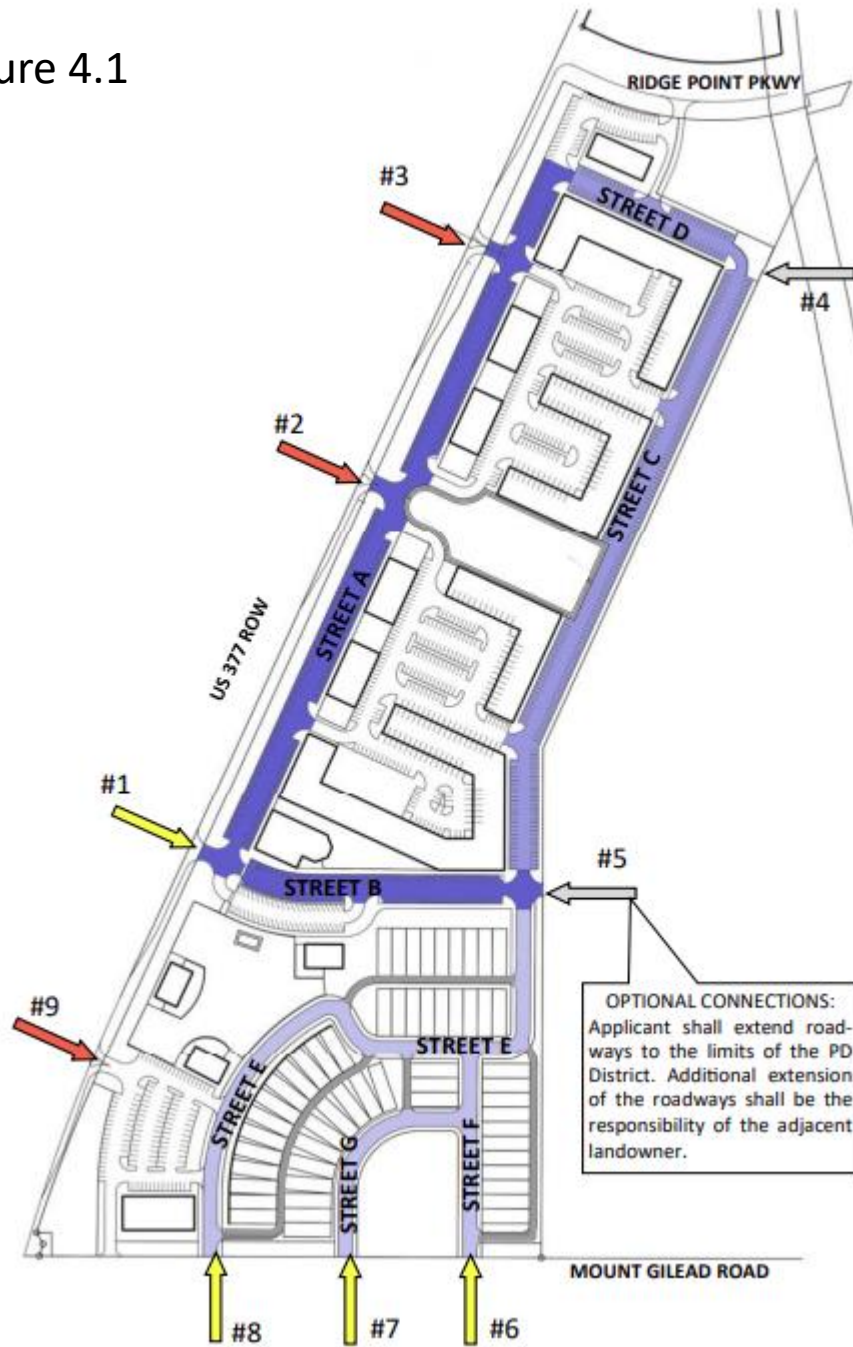
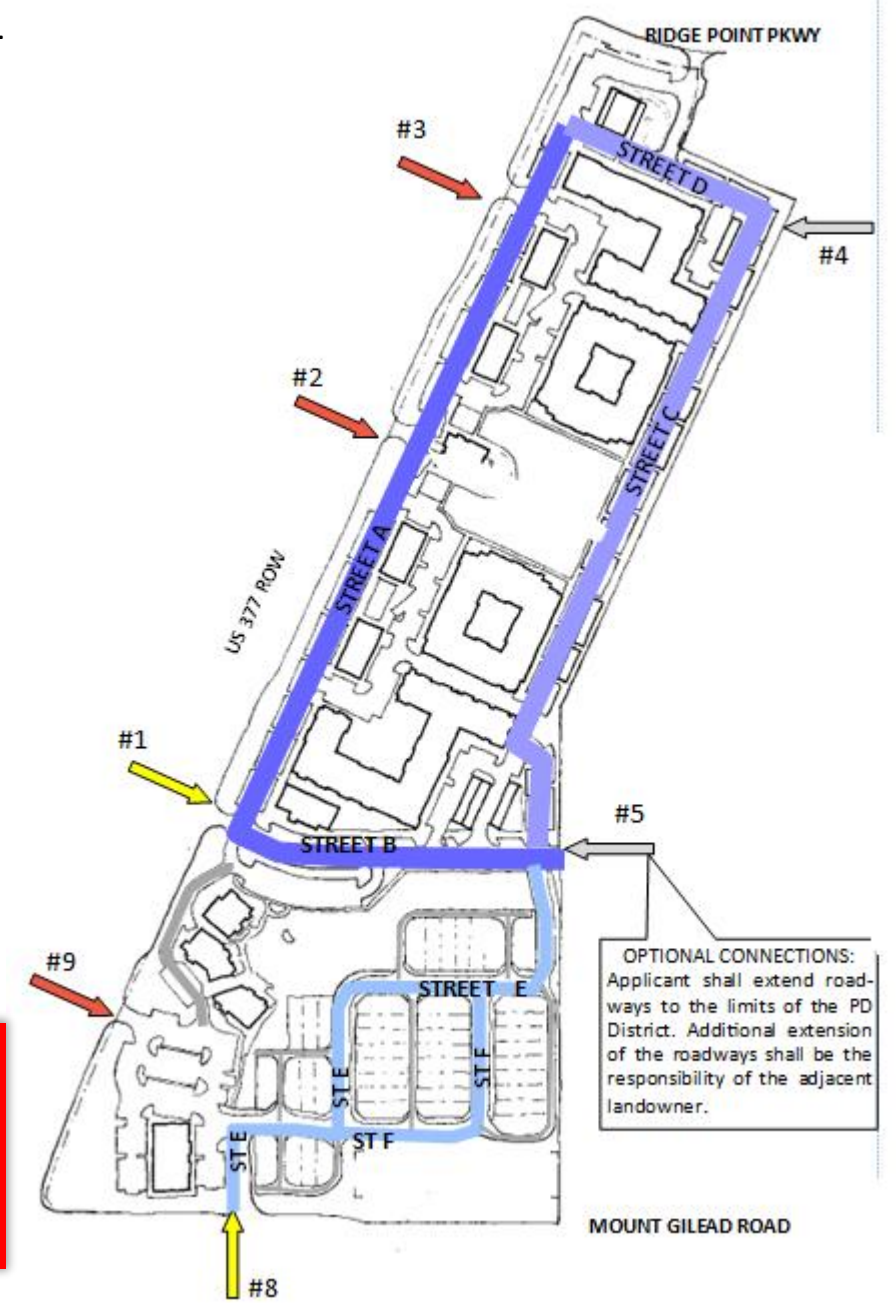


Figure 4.1



Removed Streets G and F, given new single family home configuration and plan consistent with concept plan on Pg 11".

Approved Street Legend (PG 17)

TABLE 4.1: STREET LEGEND				
STREET NAME	PUBLIC/PRIVATE	STREET TYPE	STREETSCAPE TYPE	NOTES
STREET A	PRIVATE	STREET TYPE 1	STREETSCAPE TYPE 1	ON-STREET PARKING REQUIRED
STREET B	PRIVATE	STREET TYPE 1	STREETSCAPE TYPE 1	ON-STREET PARKING REQUIRED
STREET C	PRIVATE	STREET TYPE 1 OR 2	STREETSCAPE TYPE 2	ON-STREET PARKING OPTIONAL
STREET D	PRIVATE	STREET TYPE 1 OR 2	STREETSCAPE TYPE 2	ON-STREET PARKING OPTIONAL
STREET E	PUBLIC	STREET TYPE 3	STREETSCAPE TYPE 3	NO STRIPED PARKING SPACES
STREET F	PUBLIC	STREET TYPE 3	STREETSCAPE TYPE 3	NO STRIPED PARKING SPACES
STREET G	PUBLIC	STREET TYPE 3	STREETSCAPE TYPE 3	NO STRIPED PARKING SPACES
RESIDENTIAL ALLEY	PUBLIC	ALLEY	NOT APPLICABLE	NO PARKING

Street Legend Changes

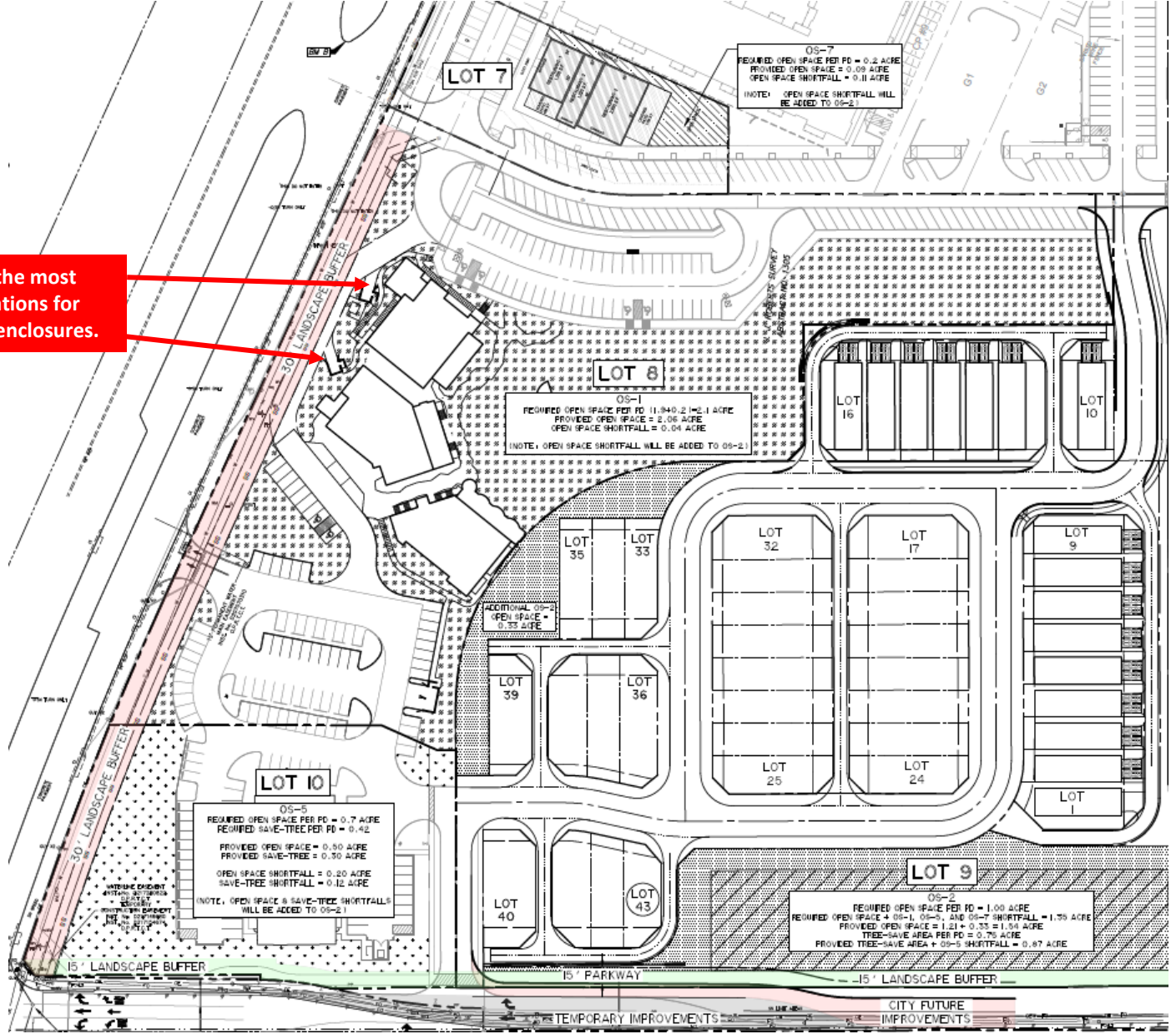
TABLE 4.1: STREET LEGEND				
STREET NAME	PUBLIC/PRIVATE	STREET TYPE	STREETSCAPE TYPE	NOTES
STREET A	PRIVATE	STREET TYPE 1	STREETSCAPE TYPE 1	ON-STREET PARKING REQUIRED
STREET B	PRIVATE	STREET TYPE 1	STREETSCAPE TYPE 1	ON-STREET PARKING REQUIRED
STREET C	PRIVATE	STREET TYPE 1 OR 2	STREETSCAPE TYPE 2	ON-STREET PARKING OPTIONAL
STREET D	PRIVATE	STREET TYPE 1 OR 2	STREETSCAPE TYPE 2	ON-STREET PARKING OPTIONAL
STREET E	PUBLIC	STREET TYPE 3	STREETSCAPE TYPE 3	NO STRIPED PARKING SPACES
STREET F	PUBLIC	STREET TYPE 3	STREETSCAPE TYPE 3	NO STRIPED PARKING SPACES
STREET G	PUBLIC	STREET TYPE 3	STREETSCAPE TYPE 3	NO STRIPED PARKING SPACES
RESIDENTIAL ALLEY	PUBLIC	ALLEY	NOT APPLICABLE	NO PARKING

Updated Table 4.1 to remove streets F & G, added note permitting dumpster enclosure along 377 in Block A2 so long as it is screened by landscaping, meets pedestrian access and materials requirements and meets trash vendor's access requirements

INSERT

*A dumpster enclosure may be installed along 377 in Block A2 so long as it is screened by landscaping, meets pedestrian access and materials requirements and meets trash vendor's access requirements.

These are the most logical locations for dumpster enclosures.

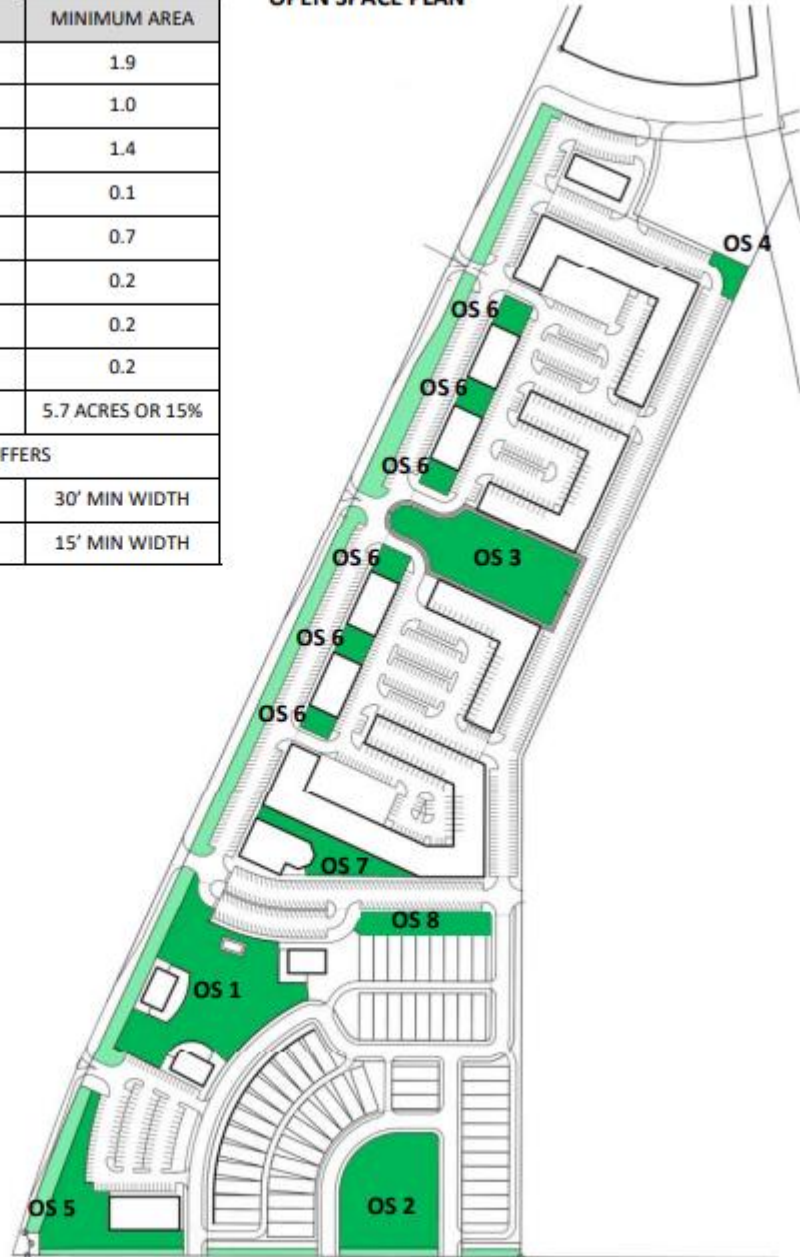


Approved Open Space Plan (PG 22)

TABLE 5.1 OPEN SPACE TABULATION

	JOINT OPEN SPACES	MINIMUM AREA
OS 1	COMMUNITY LAWN	1.9
OS 2	GILEAD OPEN SPACE	1.0
OS 3	DETENTION AREA	1.4
OS 4	TRAILHEAD	0.1
OS 5	BOSQUE	0.7
OS 6	PLAZAS (QTY: MAX 6)	0.2
OS 7	TRINITY OPEN SPACE	0.2
OS 8	LINEAR PARK	0.2
	TOTAL	5.7 ACRES OR 15%
REQUIRED BUFFERS		
	BUFFER SH 377	30' MIN WIDTH
	BUFFER MT GILEAD RD	15' MIN WIDTH

**FIGURE 5.1
OPEN SPACE PLAN**



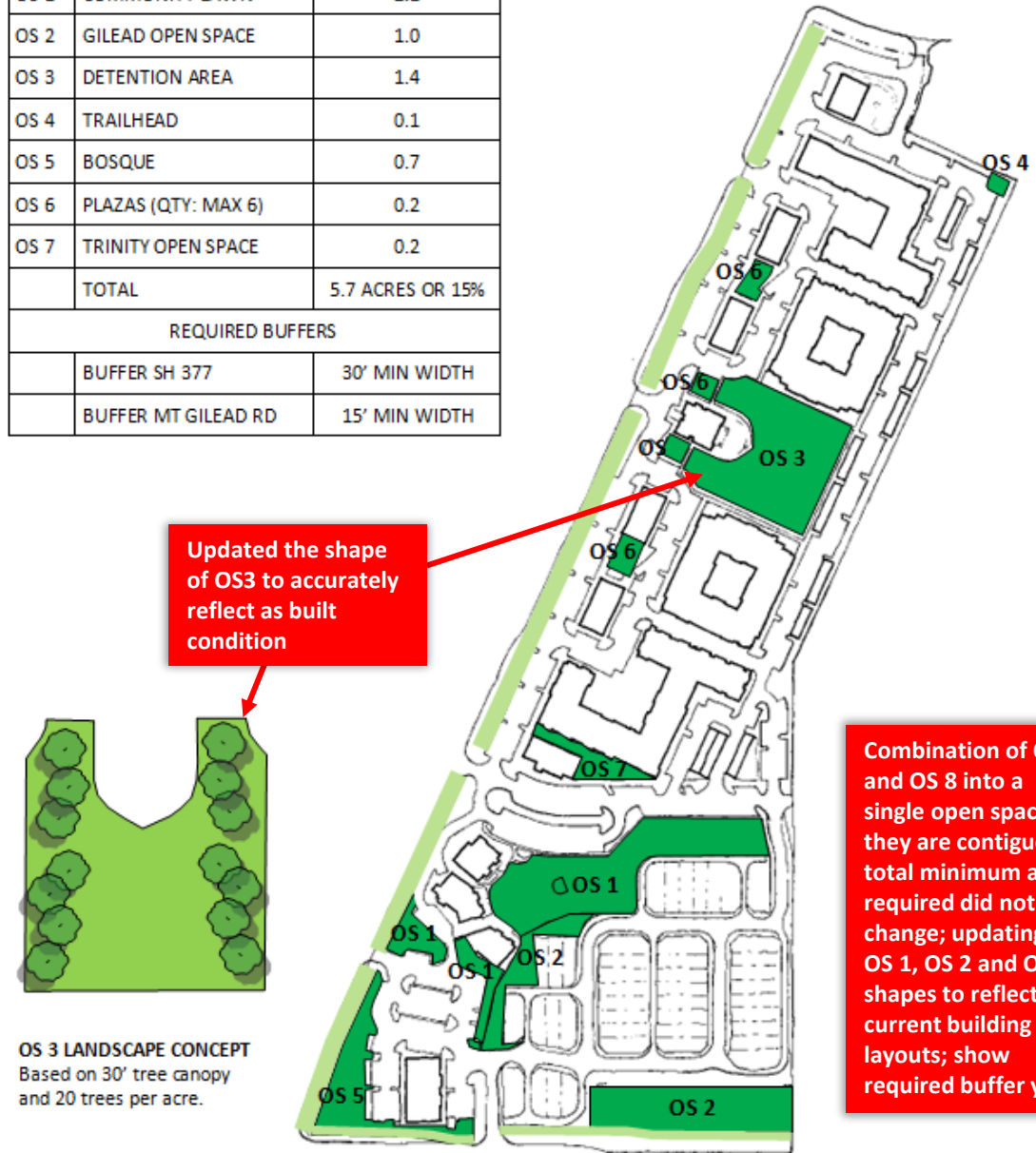
OS 3 LANDSCAPE CONCEPT
Based on 30' tree canopy and 20 trees per acre.

Open Space Plan Changes

TABLE 5.1 OPEN SPACE TABULATION

	JOINT OPEN SPACES	MINIMUM AREA
OS 1	COMMUNITY LAWN	2.1
OS 2	GILEAD OPEN SPACE	1.0
OS 3	DETENTION AREA	1.4
OS 4	TRAILHEAD	0.1
OS 5	BOSQUE	0.7
OS 6	PLAZAS (QTY: MAX 6)	0.2
OS 7	TRINITY OPEN SPACE	0.2
	TOTAL	5.7 ACRES OR 15%
REQUIRED BUFFERS		
	BUFFER SH 377	30' MIN WIDTH
	BUFFER MT GILEAD RD	15' MIN WIDTH

**FIGURE 5.1
OPEN SPACE PLAN**



OS 3 LANDSCAPE CONCEPT
Based on 30' tree canopy and 20 trees per acre.

Combination of OS1 and OS 8 into a single open space as they are contiguous; total minimum area required did not change; updating of OS 1, OS 2 and OS 5 shapes to reflect current building layouts; show required buffer yard.

Approved Open Space and Tree Standards (PG 23)

5.1: Parks & Open Space Standards

- A. **General:** The Planned Development District provides both public and private open space in order to insure adequate outdoor recreational and aesthetic amenities for the residents. The Public Open Spaces shall equal or exceed 15% of the gross area of the Planned Development District excluding required buffers.
- B. **The Public Open Space** shall consist of a number of unique outdoor spaces. Each open space shall comply with minimum standards and requirements. The following open spaces labelled as "OS #" are "Joint Open Spaces" meaning that the spaces are owned and maintained privately but shall be open to the public. Surpluses in the minimum area of any individual open space may be applied to deficiencies in other required open spaces. Additional open spaces may be added or substituted for any of the listed open spaces.
- C. **OS 1 Community Lawn:** The Community Lawn shall be located with Block A2 and shall be contiguous to the proposed restaurant pads. It shall also include a stage suitable for informal musical or dramatic performances.
- D. **OS 2 Gilead open space:** The Gilead Joint open space shall include a tree-save area of at least 75% of the joint open space area.
- E. **OS 3 Detention Area:** The detention area shall include a wet detention area, pedestrian access to traverse the open space, perimeter trees planted at the minimum rate of 20 trees per acre.
- F. **OS 4 Trailhead:** The Trailhead shall be located in the north-east corner of the PD District adjacent to the Milestone Church property. The Trailhead shall include a 10' wide trail from the street curb to the east property line to facilitate the connection to the City regional trail.
- G. **OS 5 The Bosque:** The southwest corner of the property, within the existing stand of Post Oak trees, shall include a tree-save area covering at least 60% of the Bosque open space. The required Arterial Buffer fronting US 377 shall not require additional tree planting within this open space.
- H. **OS 6 Plazas, minimum 2 Plazas, maximum 6 Plazas:** These areas provide public open space adjacent to the shopping venues, including trees planted at the rate of 1 tree per 1000 square feet, and at least one bench and one trash receptacle. Plazas may be paved with concrete, pavers, stone, or decomposed granite.
- I. **OS 7 Trinity open space:** This small plaza area includes the streetscape fronting Street B and the pedestrian alley between the retail building and the residential building. The open space shall comply with the standards for a Plaza.
- J. **OS 8 Linear Park:** The space between the single family lots and Street B, transitioning between the street grade and the finished grade of the residential lots, shall include stone retaining walls, landscaping and walkways.

5.2: Trees

- A. **General:** The Planned Development District shall have preserved trees in the Tree-Save area and newly planted trees in streetscape, parks, open spaces, parking lots and buffers.
- B. **Tree Inventory:** The urban format of the development necessarily requires re-creating a new tree canopy that conforms to the development pattern of sidewalks, urban parks and trails. All newly planted trees shall qualify for mitigation credit provided they comply with the species and sizes required. A tree inventory of protected trees 6" or greater in trunk diameter shall be required in conjunction with the detailed plan. A tree survey of protected trees 6" or greater in trunk diameter shall be submitted with each Site Plan application.
- C. **Mitigation:** Mitigation of trees to be removed from Block A2, Block B, Block C, and Block D shall be required. Block A1 is not subject to mitigation. It is the intent of the development to mitigate the tree removal on site to the maximum extent possible.
- D. **Protected Trees:** Protected tree species shall include the tree species identified in Section 8-19 of the UDC. Only trees six inches in diameter or greater, shall be included as protected trees.
- E. **Species:** Acceptable tree species and other planting material shall comply with the species indicated in Article 9, section 9.07 of the Keller UDC. Trees qualifying for mitigation credit shall be selected from large canopy tree list.
- F. **Minimum Size:** The minimum size trunk diameter of required street trees shall be 3" (three inches).
- G. **Minimum Tree Well Size:** The minimum tree well size shall be 4'-6" by 6' using an approved root protection and barrier system.

5.1 and 5.2 Changes

5.1: Parks & Open Space Standards

- A. **General:** The Planned Development District provides both public and private open space in order to insure adequate outdoor recreational and aesthetic amenities for the residents. The Public Open Spaces shall equal or exceed 15% of the gross area of the Planned Development District excluding required buffers.
- B. **The Public Open Space** shall consist of a number of unique outdoor spaces. Each open space shall comply with minimum standards and requirements. The following open spaces labelled as "OS #" are "Joint Open Spaces" meaning that the spaces are owned and maintained privately but shall be open to the public. Surpluses in the minimum area of any individual open space may be applied to deficiencies in other required open spaces. Additional open spaces may be added or substituted for any of the listed open spaces.
- C. **OS 1 Community Lawn:** The Community Lawn shall be located with Block A2 and shall be contiguous to the proposed restaurant pads. It shall also include a stage suitable for informal musical or dramatic performances. OS 1 shall also include the space between the single family lots and Street B, transitioning between street grade and the finished grade of the residential lots, to include landscaping and a walkway.
- D. **OS 2 Gilead open space:** The Gilead Joint open space shall include a tree-save area of at least 75% of the joint open space area.
- E. **OS 3 Detention Area:** The detention area shall include a wet detention area, pedestrian access to traverse the open space, perimeter trees planted at the minimum rate of 20 trees per acre.
- F. **OS 4 Trailhead:** The Trailhead shall be located in the north-east corner of the PD District adjacent to the Milestone Church property. The Trailhead shall include a 10' wide trail from the street curb to the east property line to facilitate the connection to the City regional trail.
- G. **OS 5 The Bosque:** The southwest corner of the property, within the existing stand of Post Oak trees, shall include a tree-save area covering at least 60% of the Bosque open space. The required Arterial Buffer fronting US 377 shall not require additional tree planting within this open space.
- H. **OS 6 Plazas, minimum 2 Plazas, maximum 6 Plazas:** These areas provide public open space adjacent to the shopping venues, including trees planted at the rate of 1 tree per 1000 square feet, and at least one bench and one trash receptacle. Plazas may be paved with concrete, pavers, stone, or decomposed granite.
- I. **OS 7 Trinity open space:** This small plaza area includes the streetscape fronting Street B and the pedestrian alley between the retail building and the residential building. The open space shall comply with the standards for a Plaza.

~~and Street B, transitioning between the street grade and the finished grade of the residential lots, shall include stone retaining walls, landscaping and walkways.~~

5.2: Trees

- A. **General:** The Planned Development District shall have preserved trees in the Tree-Save area and newly planted trees in streetscape, parks, open spaces, parking lots and buffers.
- B. **Tree Inventory:** The urban format of the development necessarily requires re-creating a new tree canopy that conforms to the development pattern of sidewalks, urban parks and trails. All newly planted trees shall qualify for mitigation credit provided they comply with the species and sizes required. A tree inventory of protected trees 6" or greater in trunk diameter shall be required in conjunction with the detailed plan. A tree survey of protected trees 6" or greater in trunk diameter shall be submitted with each Site Plan application.
- C. **Mitigation:** Mitigation of trees to be removed from Block A2, Block B, Block C, and Block D shall be required. Block A1 is not subject to mitigation. It is the intent of the development to mitigate the tree removal on site to the maximum extent possible.
- D. **Tree-Save:** Surpluses in the minimum Tree-Save area of any individual open space may be applied to deficiencies in the minimum Tree-Save area of other required open spaces. Calculations for minimum acreage of Tree-Save reallocated to a different open space shall be based upon initial requirements for minimum acreage of Tree-Save required for the open space from which Tree-Save area is being reallocated, not on open space provided.
- E. **Protected Trees:** Protected tree species shall include the tree species identified in Section 8-19 of the UDC. Only trees six inches in diameter or greater, shall be included as protected trees.
- F. **Species:** Acceptable tree species and other planting material shall comply with the species indicated in Article 9,

INSERT

DELETE
Deleted as it was combined with OS1

Updated 5.1 (C) OS1 language to pick up some of the OS8 obligations. Updated 5.1 (G) to correct typo of "lease" to "least", added language to 5.2 to clarify that surpluses in minimum Tree-Save area of any individual open space can be applied to deficiencies in same in other required open spaces; calculations for minimum acreage of Tree-Save is based on initial requirements for minimum acreage for the open space from which Tree-Save is being reallocated, not on open space provided.

Added language regarding OS 8 standards as part of consolidation with OS1



Approved Pedestrian Network (PG 25)

FIGURE 5.3
PEDESTRIAN NETWORK

- 5' MINIMUM WIDTH SIDEWALK
- 12' MINIMUM WIDTH SIDEWALK, INCLUDING TREE WELLS

ALIGNMENT OF SIDEWALKS AND TRAILS MAY DIFFER FROM THE ALIGNMENT SHOWN, PROVIDED THE CONNECTIVITY IS PRESERVED.



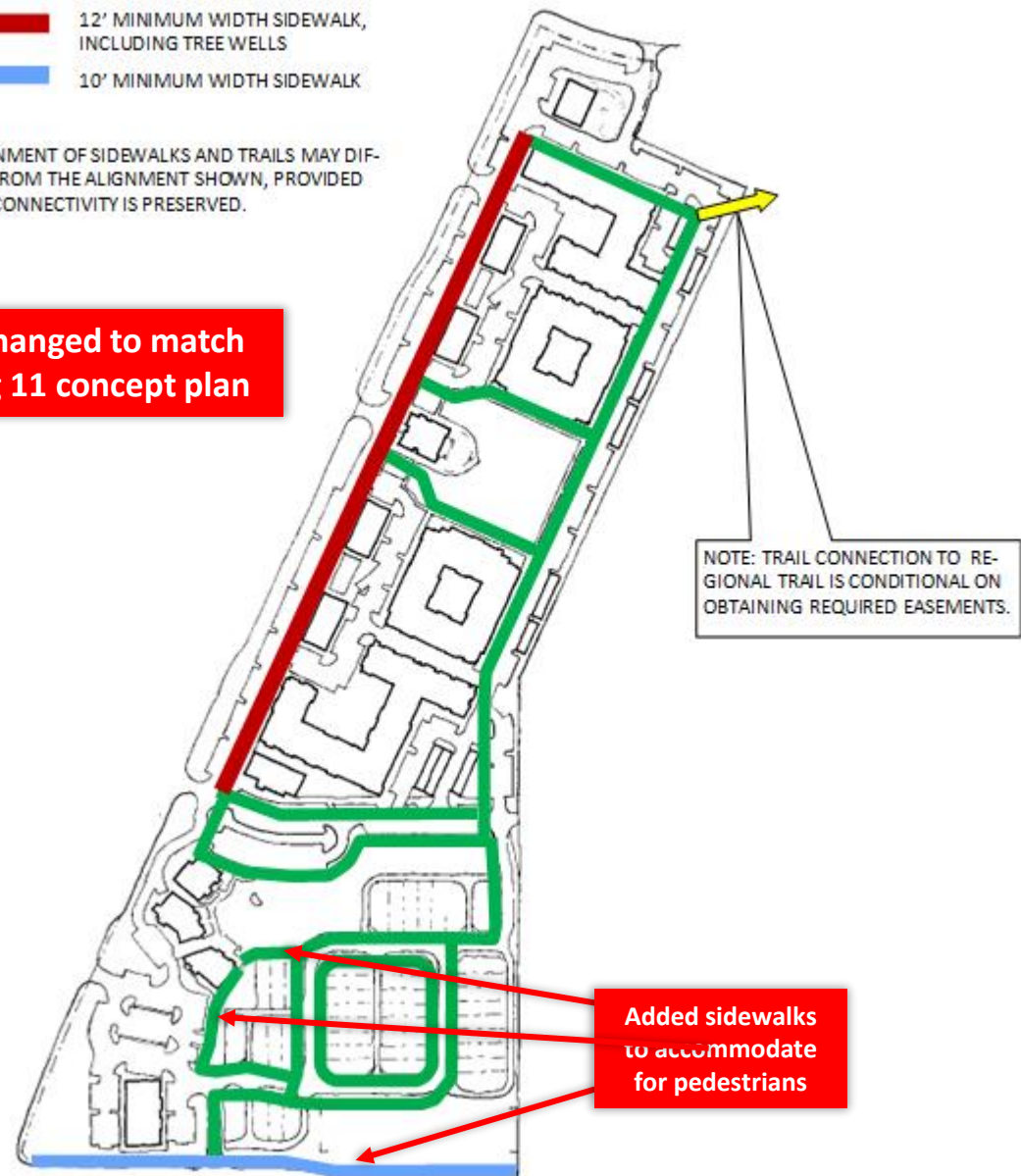
Pedestrian Network Changes

FIGURE 5.3
PEDESTRIAN NETWORK

- 5' MINIMUM WIDTH SIDEWALK
- 12' MINIMUM WIDTH SIDEWALK, INCLUDING TREE WELLS
- 10' MINIMUM WIDTH SIDEWALK

ALIGNMENT OF SIDEWALKS AND TRAILS MAY DIFFER FROM THE ALIGNMENT SHOWN, PROVIDED THE CONNECTIVITY IS PRESERVED.

Changed to match Pg 11 concept plan



Approved Parking Tabulation (PG 28)

TABLE 6.3 PARKING TABULATION - BASED ON ESTIMATED LAND USES							
	BLOCKS					LAND USE TOTALS	PARKING REQUIRED
	RATIO	A	B	C	D		
URBAN RESIDENTIAL LOFTS (# OF UNITS)	1.5/DU		250	225		475 DU'S	
REQUIRED PARKING			375	338			713
RESIDENTIAL LOTS (# OF LOTS)	2/LOT	57				57 LOTS	
REQUIRED PARKING		114					114
IN-LINE RETAIL (ESTIMATED AREA)	1/250		13,000	13,000	7,000	33,000	
REQUIRED PARKING			52	52	28		132
RESTAURANTS (ESTIMATED AREA)	1/150	12,000	3,000	3,000		18,000	
REQUIRED PARKING		80	20	20			120
OFFICE (ESTIMATED AREA)	1/350	10,500				10,500	
REQUIRED PARKING		30					30
TOTAL REQUIRED PARKING		224	447	410	28	61,500 SF	1109
PARKING PROVIDED SHALL MEET OR EXCEED REQUIRED PARKING							

Updated Estimated Parking Tabulation

TABLE 6.3 PARKING TABULATION - BASED ON ESTIMATED LAND USES							
	BLOCKS					LAND USE TOTALS	PARKING REQUIRED
	RATIO	A	B	C	D		
URBAN RESIDENTIAL LOFTS (# OF UNITS)	1.5/DU		250	225		475 DU'S	
REQUIRED PARKING			375	338			713
RESIDENTIAL LOTS (# OF LOTS)	2/LOT	57.43				57.43 LOTS	
REQUIRED PARKING		114.86					114.86
IN-LINE RETAIL (ESTIMATED AREA)	1/250		12,000	6,000	2,400	20,400	
REQUIRED PARKING			48.52	24.52	10.28		82.43
RESTAURANTS (ESTIMATED AREA)	1/150	16,000	4,500	6,000	3,300	29,800	
REQUIRED PARKING		107.80	30.20	40.20	22		199.20
OFFICE (ESTIMATED AREA)	1/350	10,000				10,000	
REQUIRED PARKING		29.20					29.20
TOTAL REQUIRED PARKING		222.24	453.447	402.410	32.28	60,200	1,109
						61,500-SF	1,081

Updated Table 6.3 to reflect 43 single family home lots, 86 stalls required and 1,081 total required parking stalls instead of previous 57 lots/114 stalls/1,109 stalls

Approved Architectural Standards (PG 30)

SECTION 7: ARCHITECTURAL STANDARDS

General Standards Applicable to All Zones

- A. General: The following tables and illustrations identify general regulations for all Blocks within the Center Stage Planned Development.
- B. The purpose of the architectural and building regulations is to establish the highest development standards fronting both public and private streets.
- C. Since the Planned Development does not include detailed engineering plans, any architectural elements that are required by engineering due to grading, such as retaining walls or stem walls, shall be permitted.
- D. Wood may be used decoratively, for eave brackets, rafter tails, porch column wraps, and other elements.
- E. Street A Frontage
 - 1. The Street A frontage includes the building facades on Blocks B, C, & D and the buildings requiring commercial storefront facades.
 - 2. No vehicular gates, carports, or perimeter fences are permitted on Street A, Street B, or Street C. No carports are permitted on single family lots.
 - 3. Leasing offices shall comply with commercial storefront requirements, except that ceiling height may be 9' minimum height.
- F. Acoustic Study Required: The Applicant shall submit an Acoustical study to identify the sound mitigation measures required to ameliorate the sound impact from trains and highway traffic.

Architectural Standard Changes

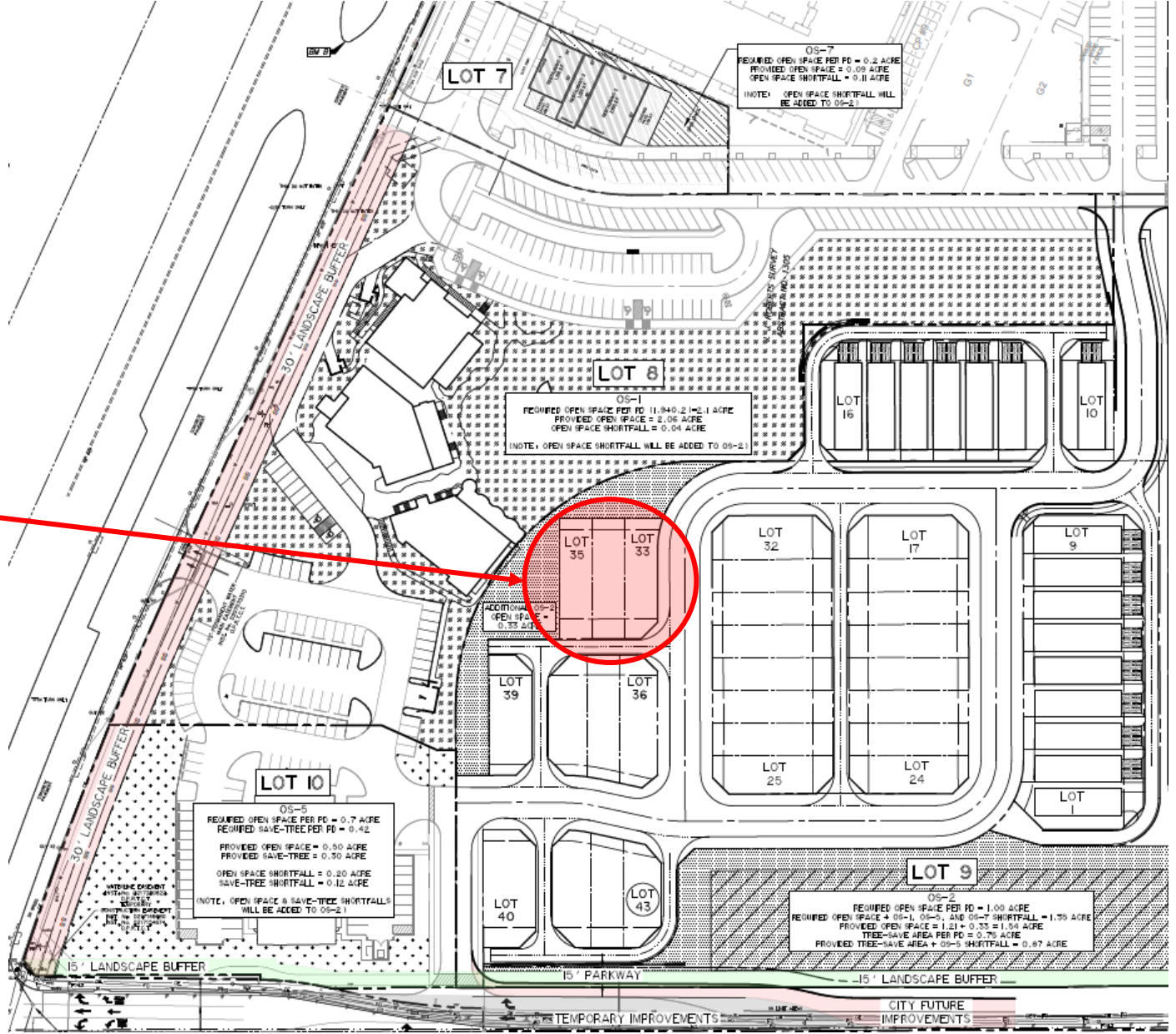
SECTION 7: ARCHITECTURAL STANDARDS

General Standards Applicable to All Zones

- A. General: The following tables and illustrations identify general regulations for all Blocks within the Center Stage Planned Development.
- B. The purpose of the architectural and building regulations is to establish the highest development standards fronting both public and private streets.
- C. Since the Planned Development does not include detailed engineering plans, any architectural elements that are required by engineering due to grading, such as retaining walls or stem walls, shall be permitted.
- D. Wood may be used decoratively, for eave brackets, rafter tails, porch column wraps, and other elements.
- INSERT** E. **Block A1: Front doors on not more than ten percent (10%) of single-family home lots shall be permitted to face Center Stage/Community Lawn amenity in the absence of a public street directly adjacent to front façade of the homes.**

(P30): Added language to allow front doors on not more than ten percent (10%) of single-family home lots to face Center Stage/Community Lawn amenity in the absence of a public street directly adjacent to front façade of the homes

These 3 home lots do not front to a street; therefore, we propose their front doors face the community lawn amenity. Lots cannot be rotated due to alley and open space needs, so front doors must face lawn amenity. We believe this will be desirable to buyers.

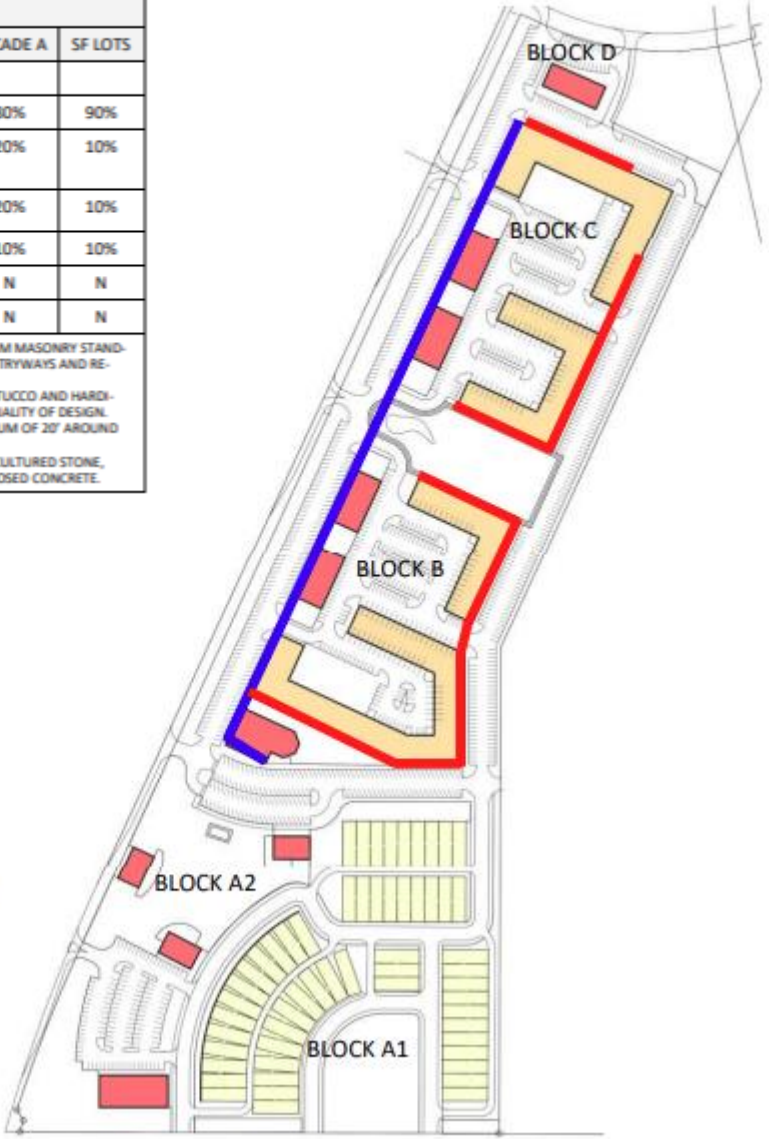


Approved Ground Floor Design Types (PG 32)

TABLE 7.2 MATERIAL BUILDING STANDARDS		
N=NOT PERMITTED		
ITEM	FACADE A	SF LOTS
FRONT FACADE MATERIALS		
MASONRY, minimum	80%	90%
EXTERIOR INSULATION AND FINISH SYSTEM maximum excluding entryways and recessed balconies.	20%	10%
HARDI-BOARD, maximum excluding entryways and recessed balconies.	20%	10%
METAL, maximum	10%	10%
EXPOSED CMU	N	N
EXPOSED AGGREGATE	N	N

NOTE 1: EXTERIOR MATERIALS SHALL MEET THE MINIMUM MASONRY STANDARD AS CALCULATED EXCLUDING DOORS, WINDOWS, ENTRYWAYS AND RECESSED BALCONIES.
 NOTE 2: STAFF MAY APPROVE HOMES EXCEEDING THE STUCCO AND HARDI-BOARD LIMITS BASED ON ARCHITECTURAL STYLE AND QUALITY OF DESIGN.
 NOTE 3: FACADE MATERIAL SHALL TRANSITION A MINIMUM OF 20' AROUND BUILDING CORNERS
 NOTE 4: MASONRY MATERIALS INCLUDE BRICK, STONE, CULTURED STONE, STUCCO, AND CAST STONE, BUT EXCLUDE CMU AND EXPOSED CONCRETE.

FIGURE 7.2
GROUND FLOOR DESIGN TYPES FOR
BLOCKS B AND C



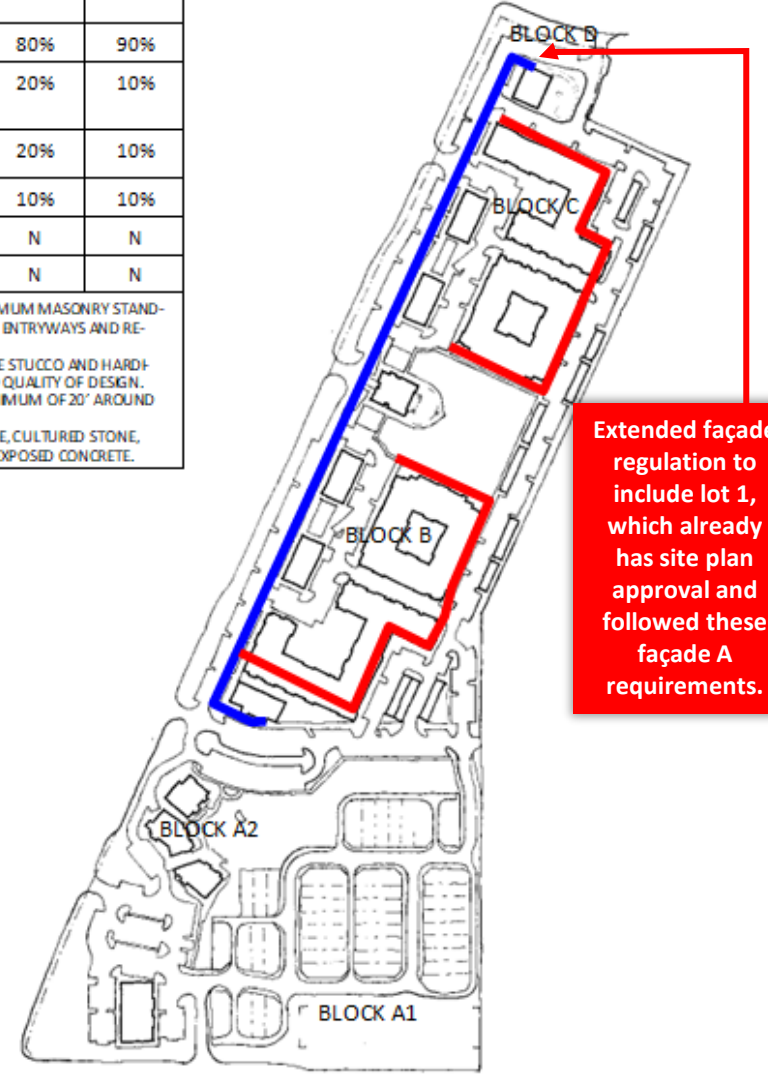
Removed the word "front" to include side facing facades.

Ground Floor Design Types Changes

TABLE 7.2 MATERIAL BUILDING STANDARDS		
N=NOT PERMITTED		
ITEM	FACADE A	SF LOTS
FRONT FACADE MATERIALS		
MASONRY, minimum	80%	90%
EXTERIOR INSULATION AND FINISH SYSTEM maximum excluding entryways and recessed balconies.	20%	10%
HARDI-BOARD, maximum excluding entryways and recessed balconies.	20%	10%
METAL, maximum	10%	10%
EXPOSED CMU	N	N
EXPOSED AGGREGATE	N	N

NOTE 1: EXTERIOR MATERIALS SHALL MEET THE MINIMUM MASONRY STANDARD AS CALCULATED EXCLUDING DOORS, WINDOWS, ENTRYWAYS AND RECESSED BALCONIES.
 NOTE 2: STAFF MAY APPROVE HOMES EXCEEDING THE STUCCO AND HARDI-BOARD LIMITS BASED ON ARCHITECTURAL STYLE AND QUALITY OF DESIGN.
 NOTE 3: FACADE MATERIAL SHALL TRANSITION A MINIMUM OF 20' AROUND BUILDING CORNERS
 NOTE 4: MASONRY MATERIALS INCLUDE BRICK, STONE, CULTURED STONE, STUCCO, AND CAST STONE, BUT EXCLUDE CMU AND EXPOSED CONCRETE.

FIGURE 7.2
GROUND FLOOR DESIGN TYPES FOR
BLOCKS B AND C



Extended façade regulation to include lot 1, which already has site plan approval and followed these façade A requirements.

Changed to match Pg 11 concept plan

Approved Signage Standards (PG 34)

SECTION 8: SIGNAGE STANDARDS

General Standards Applicable Zones 1 and 2

- A. General: The following identify general regulations for all Blocks within the Center Stage Planned Development.
- B. The Center Stage Planned Development shall comply with the Keller Regulations as established in Section 8.09 of the Keller UDC, except as described below.
- C. For the purpose of signage regulation, all businesses within the PD District shall be considered as residing on a single lot.
- D. Center Stage Planned Development fronting US 377 may consist of multiple businesses, and may include the following signage types.
- E. Landmark Signs: two Landmark Signs shall be permitted within the PD District in compliance with Section 8.03.P.4.k.3.
- F. Monument Signs: A Monument Sign not to exceed 60 square feet per side, excluding any masonry border, shall be permitted at each entry from US 377.

Signage Standards Changes

SECTION 8: SIGNAGE STANDARDS

General Standards Applicable Zones 1 and 2

- A. General: The following identify general regulations for all Blocks within the Center Stage Planned Development.
- B. The Center Stage Planned Development shall comply with the Keller Regulations as established in Section 8.09 of the Keller UDC, except as described below.
- C. For the purpose of signage regulation, all businesses within the PD District shall be considered as residing on a single lot.
- D. Center Stage Planned Development fronting US 377 may consist of multiple businesses, and may include the following signage types.
- E. Landmark Signs: two Landmark Signs shall be permitted within the PD District in compliance with Section 8.03.P.4.k.3.
- F. Monument Signs: A Monument Sign not to exceed 60 square feet per side, excluding any masonry border, shall be permitted at each entry from US 377, **however, a second monument sign shall be permitted at Driveway 1 (Figure 4.1) to include off-site monument signage (on each side of the monument sign) for the occupant of the property located at 201 Mt Gilead Rd.**

INSERT

Added language to allow second monument sign at Driveway 1 (Figure 4.1) to include off-site monument signage (on each side of monument sign) for the occupant of the property located at 201 Mt. Gilead Road. Milestone Church has completed connection through Center Stage to 377 to alleviate traffic and needs a visual presence on 377.



Monument sign
for occupant of
201 Mt. Gilead
Rd. (Milestone
Church)

Monument sign
for restaurants
and retail

Changes from March 12, 2020 draft

(P11): updated figure 3.1 concept plan

(P12): updated figure 3.2

(P13): updated table 3.1 permitted uses

(P16): Updated Note 4 to remove reference to Streets F&G, updated Figure 4.1

(P17): Updated Table 4.1 to remove streets F & G, added note permitting dumpster enclosure along 377 in Block A2 so long as it is screened by landscaping, meets pedestrian access and materials requirements and meets trash vendor's access requirements

(P22): updated figure 5.1 and table 5.1 to remove Linear Park OS 8 and incorporate its 0.2 acre minimum into OS 1, illustrate OS 3's current configuration (its as-built condition exceeds the minimum 1.4 acre open space) and show the required buffer yard along 377 (30') and Mt Gilead (15')

(P23): Updated 5.1 (C) OS1 language to pick up some of the OS8 obligations. Updated 5.1 (G) to correct typo of "lease" to "least", added language to 5.2 to clarify that surpluses in minimum Tree-Save area of any individual open space can be applied to deficiencies in same in other required open spaces; calculations for minimum acreage of Tree-Save is based on initial requirements for minimum acreage for the open space from which Tree-

Save is being reallocated, not on open space provided. Deleted OS8.

(P24): updated figure 5.2

(P25): updated figure 5.3

(P28): Updated Table 6.3 to reflect 43 single family home lots, 86 stalls required and 1,081 total required parking stalls instead of previous 57 lots/114 stalls/1,109 stalls

(P30): Added language to allow front doors on not more than ten percent (10%) of single-family home lots to face Center Stage/Community Lawn amenity in the absence of a public street directly adjacent to front façade of the homes

(P32): updated figure 7.2. Removed the word "front" to include side facing facades.

(P34): added language to allow second monument sign at Driveway 1 (Figure 4.1) to include off-site monument signage (on each side of monument sign) for the occupant of the property located at 201 Mt. Gilead Road

(P37): updated to include changes from March 12, 2020 draft