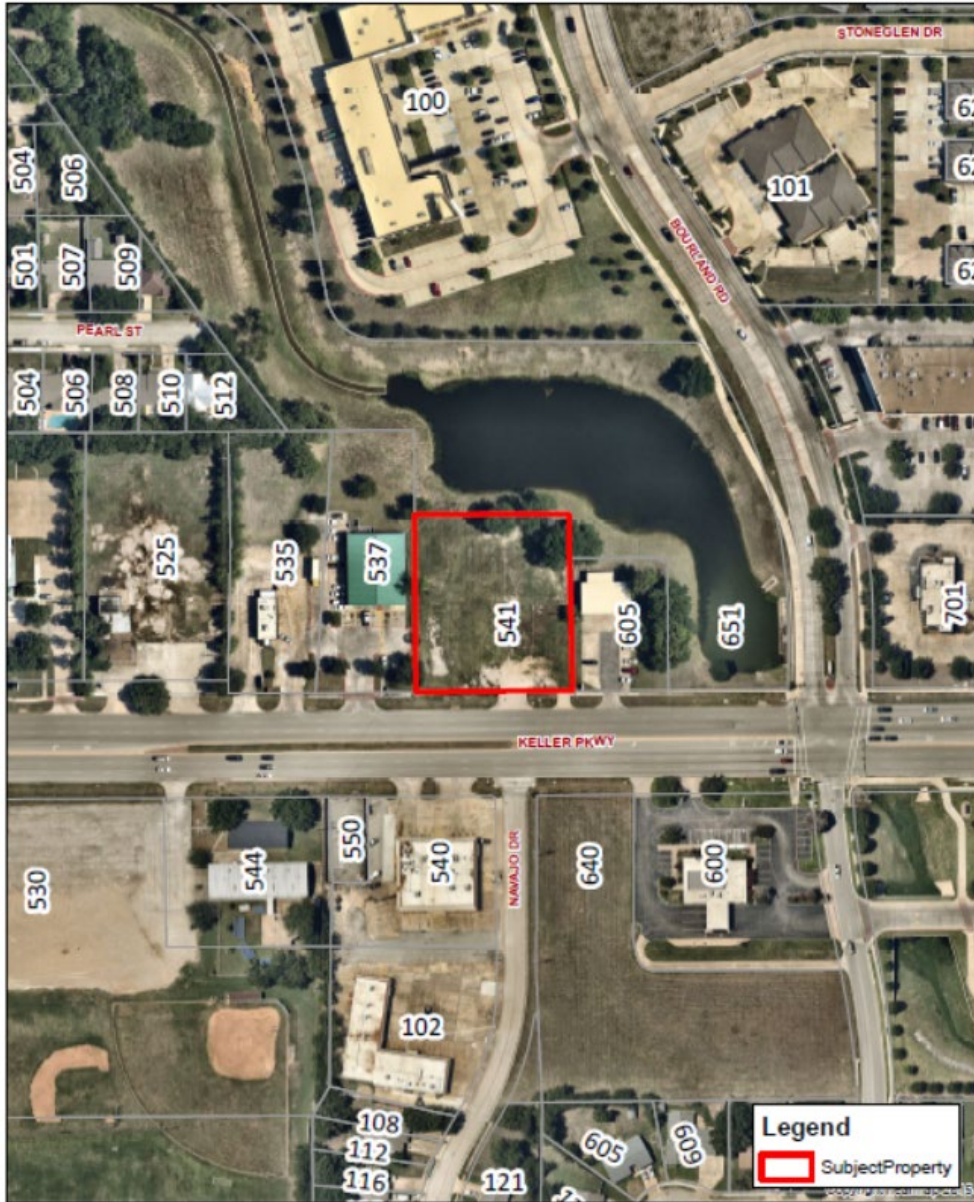


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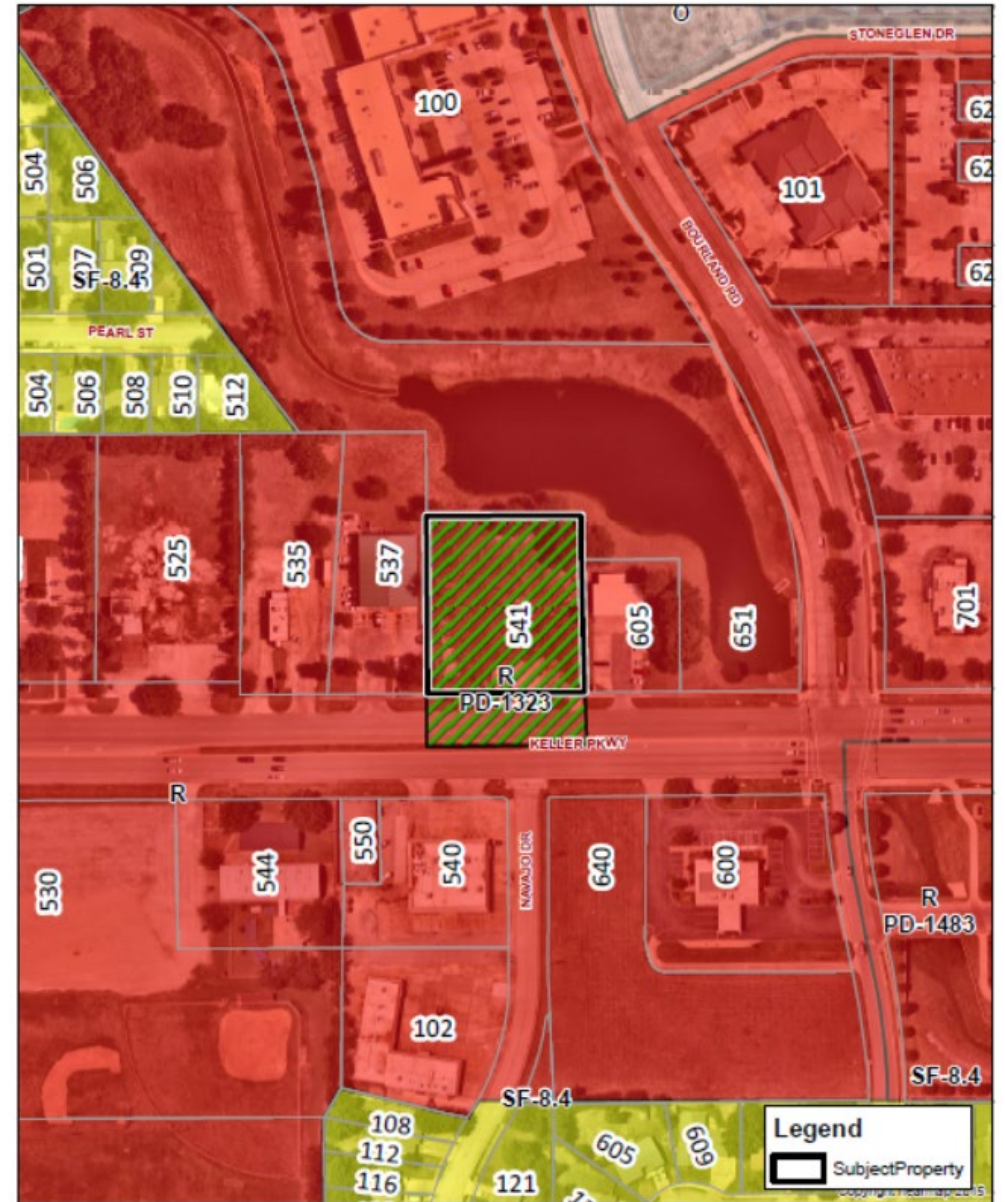
Consider an resolution approving a Site Plan with variances for a new 6,697 square-foot two-story restaurant, for the property legally described as Lot 3A, Block 1 of Foote's Addition (recently replatted as Lot 1, Block A, TEJUN Addition), being 1.208 acres, approximately 300 feet west of the intersection of Keller Parkway and Bourland Road, zoned Planned Development 1323-Retail (R-PD-1323), and addressed as 541 Keller Parkway. City of Keller, Owner/TeJun, Applicant. (SP-23-0017)

Item H-4 Aerial Map



↑
N
Zoned: PD-R

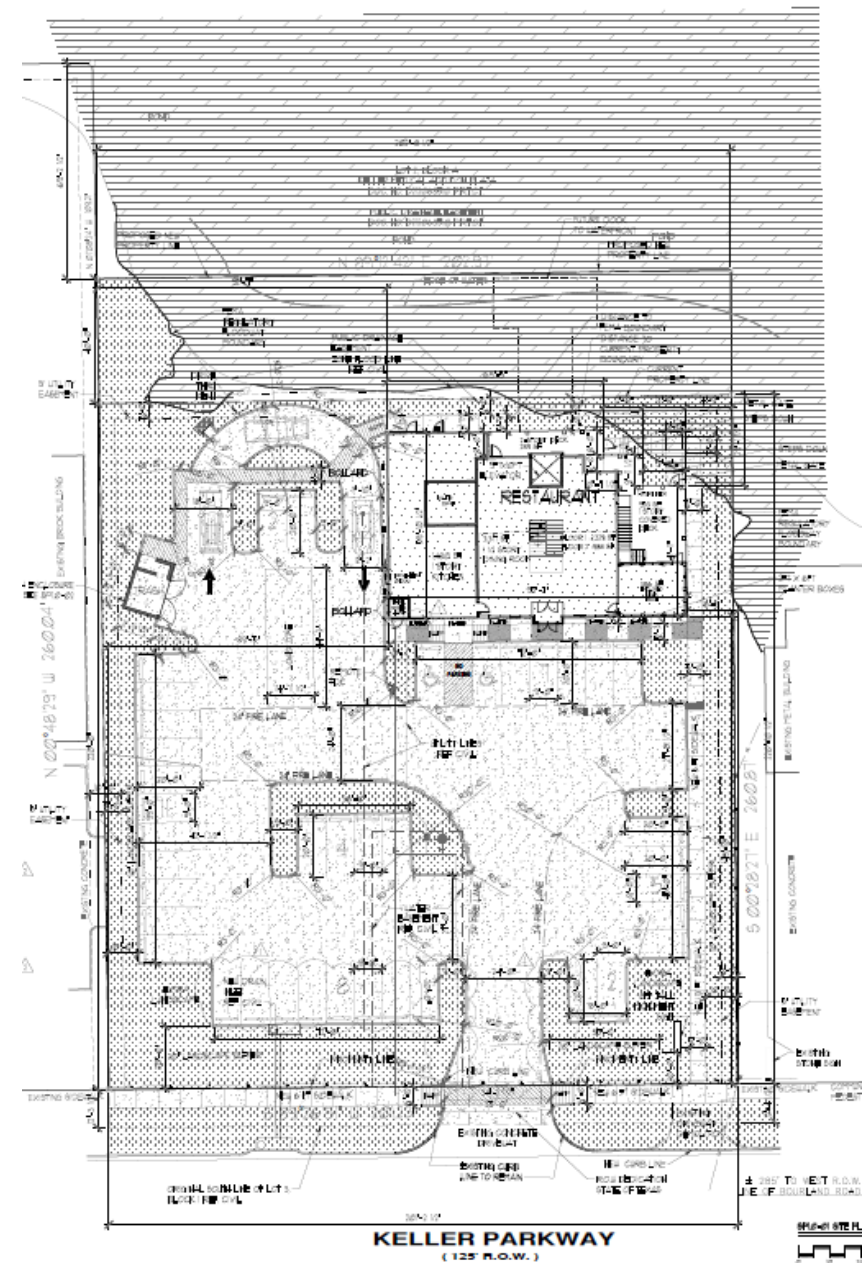
Item H-4 Zoning Map



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Background:

On March 21, 2023, City Council approved a bid from Te'Jun, a proposed 6,697-square-foot two-story restaurant with a drive-thru, for the purchase of city-owned property at 541 Keller Parkway.

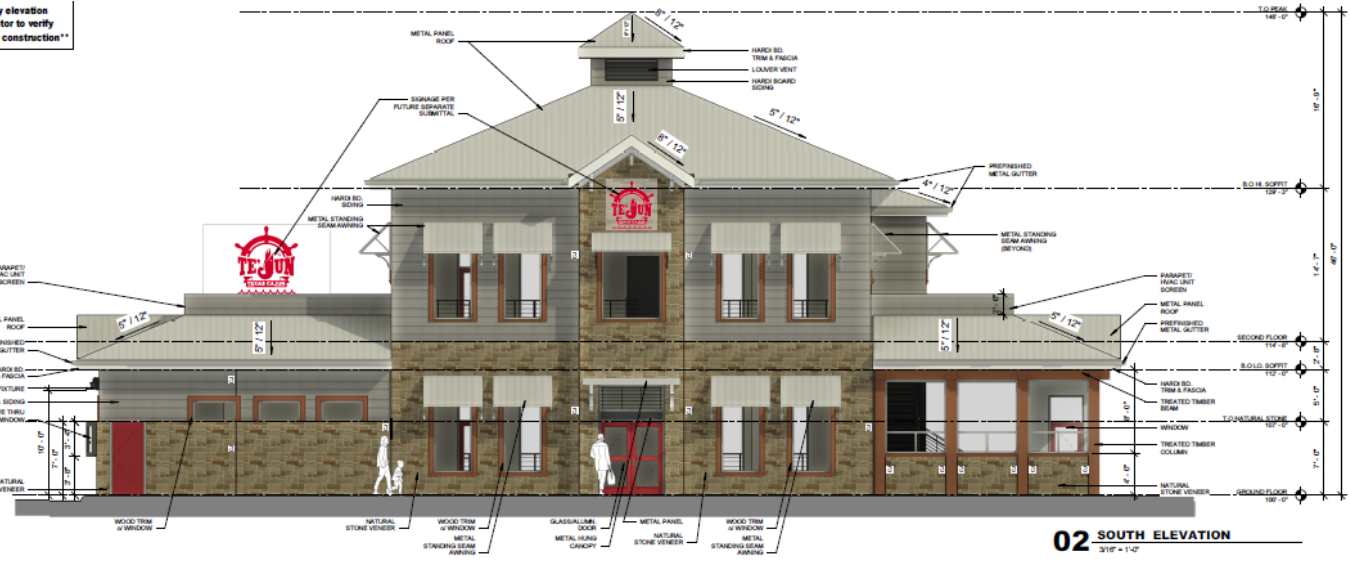


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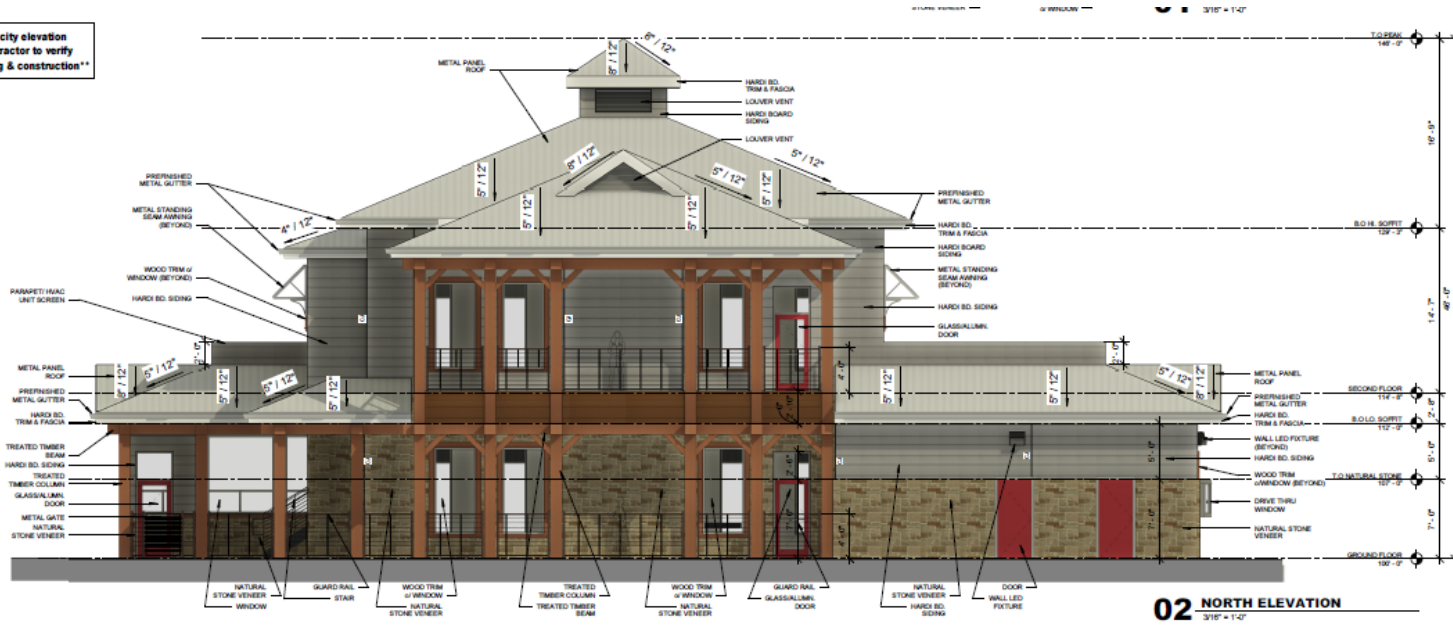
Elevations

The proposed two-story structure exterior will be comprised of approximately 39% natural stone, with the rest of the façade made up of Hardie board, timber accents and metal roofing.

rs are for city elevation only. Contractor to verify for pricing & construction**



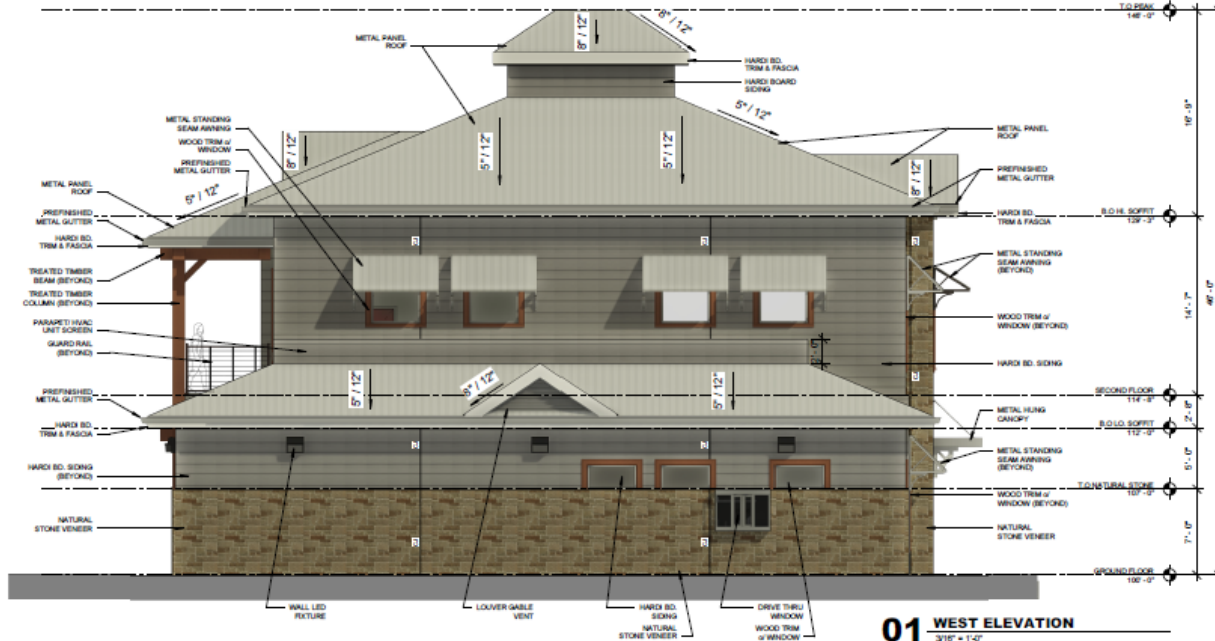
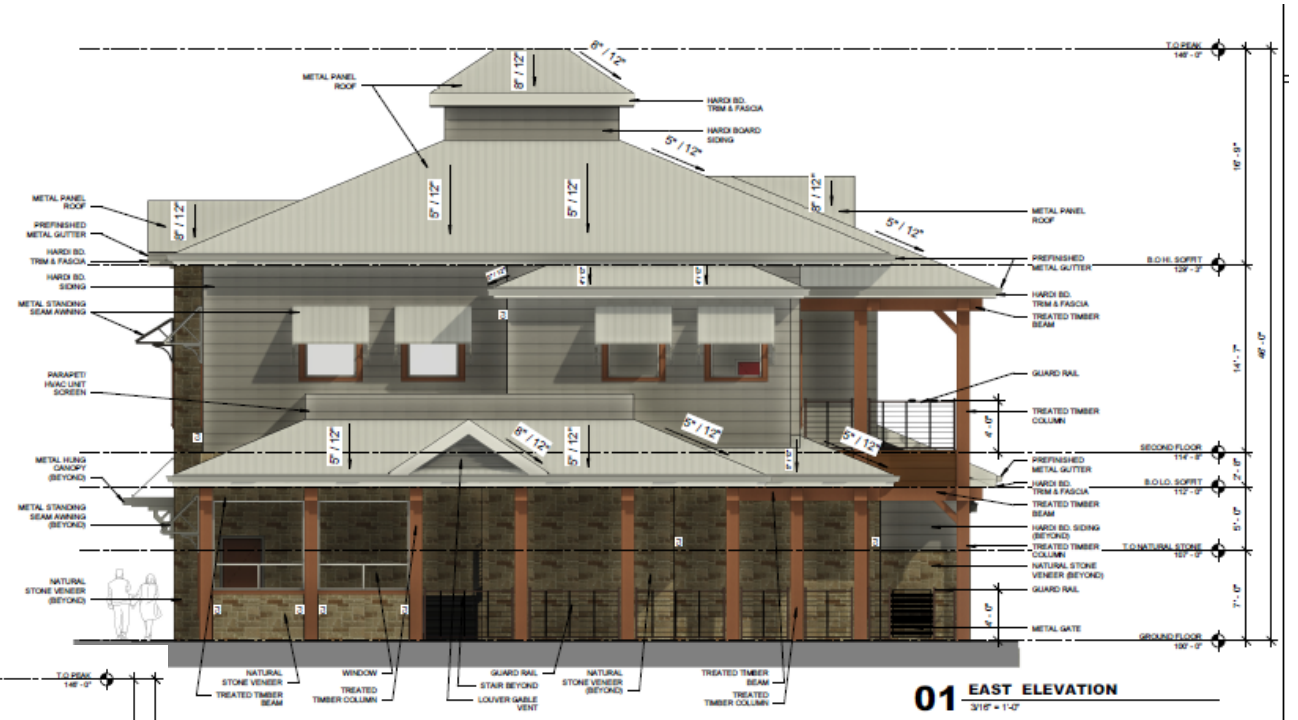
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Elevations

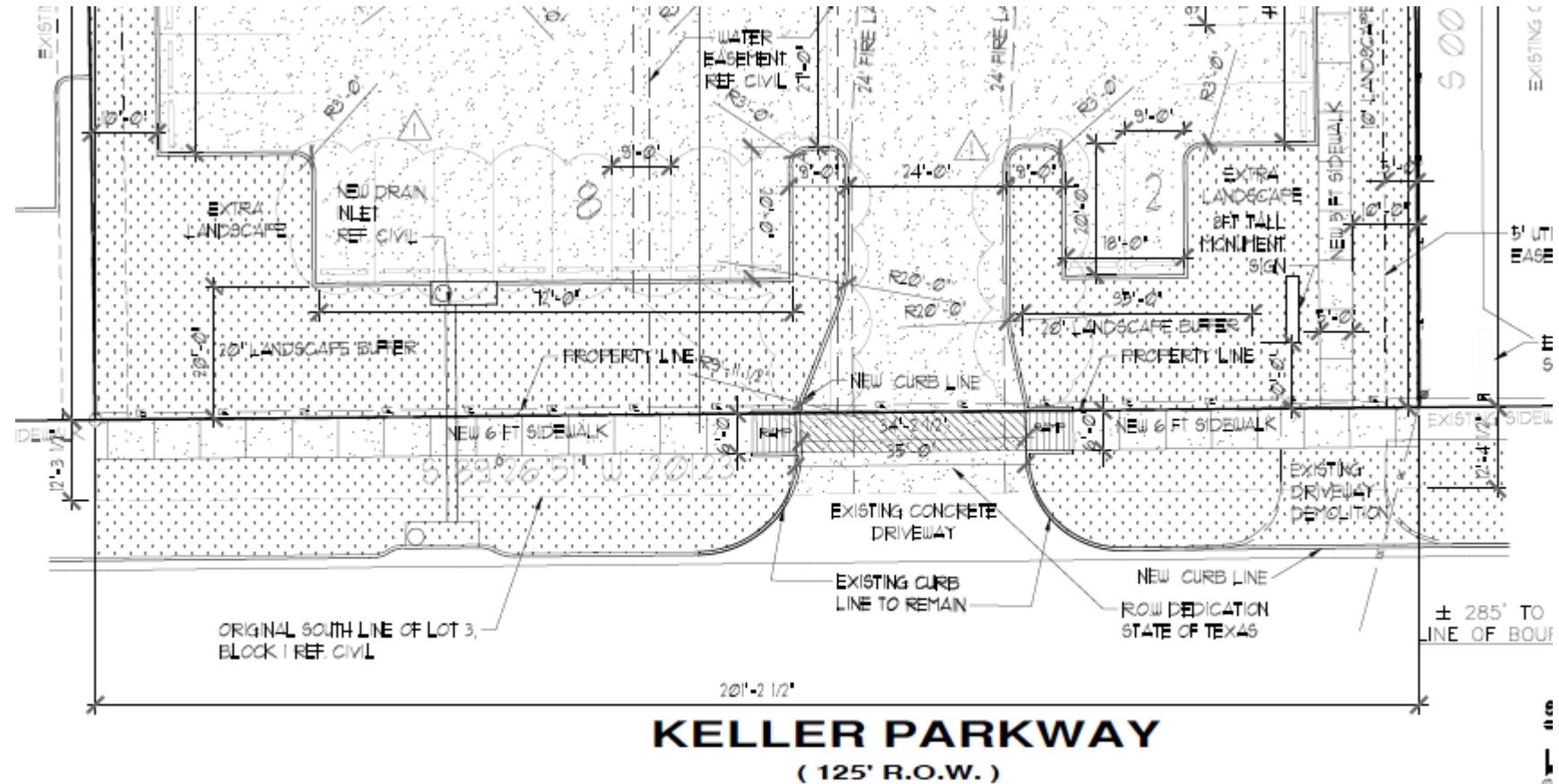
The restaurant concept is intended to be reminiscent of a large Louisiana-style home that includes a porch and balcony overlooking the water directly north of the property.



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Sidewalks and Trails: MEETS

The Applicant proposes a new 6' sidewalk along Keller Parkway.



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Landscaping, Buffers and Screening: Variances Requested

UDC Reference	Code Requirement	Variance Requested
Section 9.03(F) – Landscape Requirements	30’ landscape buffer required along Keller Parkway (thoroughfare with 4 lanes)	1. To install a 20’ landscape buffer along Keller Parkway
Section 9.03(F) – Landscape Requirements	Foundation planting required at the front and sides of the building	2. To install 2’ x 6’ planter boxes at the front and sides of the building
Section 9.01(D) – Building Design and Development Standards	Masonry screening required for all service and loading areas	3. To install shrubs in lieu of a screening wall for the loading zone

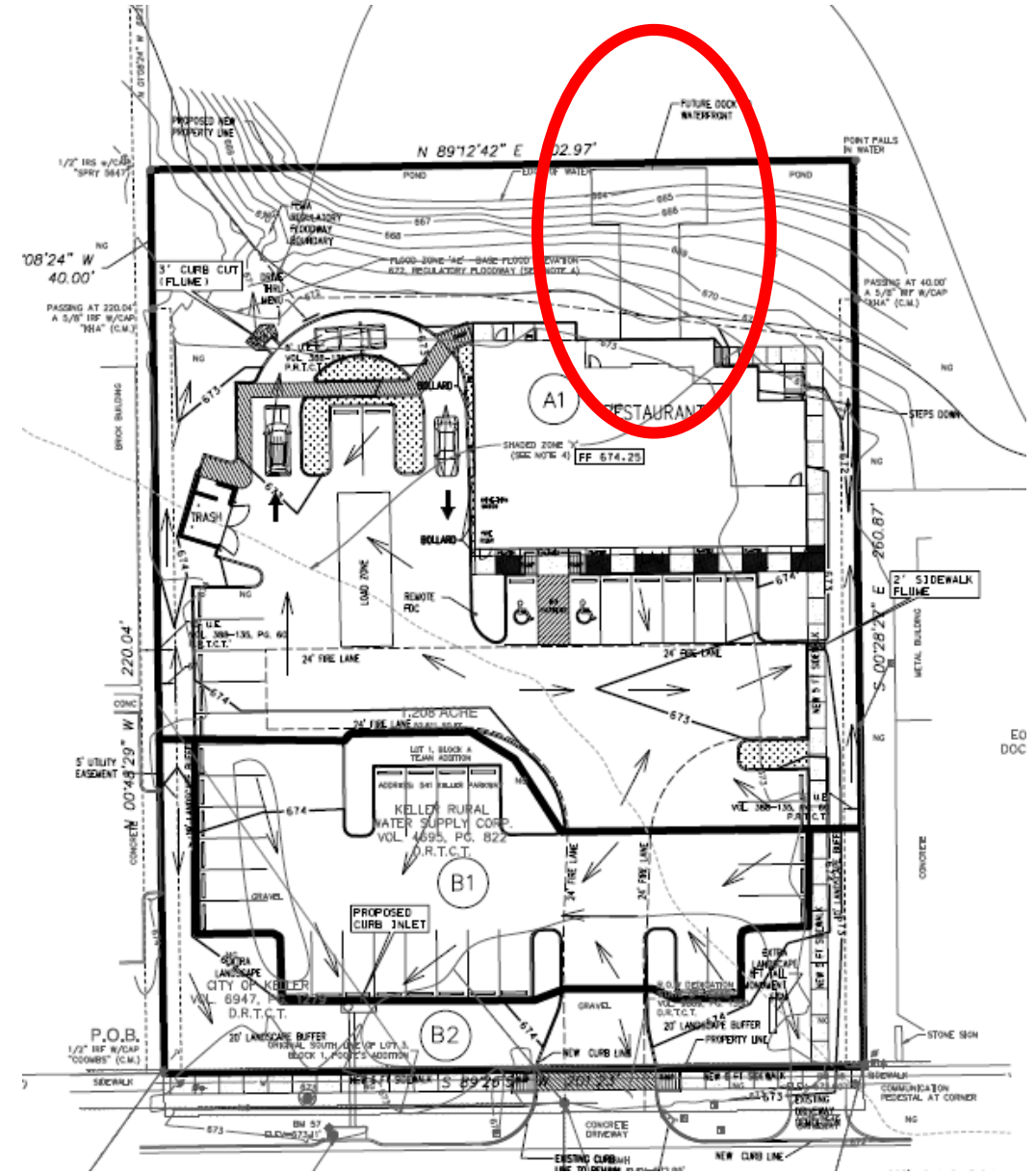
Parking and Cross Access: Variances Requested

UDC Reference	Code Requirement	Variance Requested
Section 9.02(G) – Parking Requirements Based on Use	45 spaces plus 2 accessible spaces	4. To allow 37 regular spaces plus 2 accessible spaces
Section 5.07(B) - Driveways	Extension of access points to adjacent properties required	5. To not provide a cross access connection to adjacent properties

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Setbacks: Variance Requested

UDC Reference	Code Requirement	Variance Requested
Section 8.16 – Retail Zoning District	20' rear yard setback	6. To allow the future dock to encroach the rear setback by a no more than 19'



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Citizen Input:

A Site Plan application, even with variances, does not require a public hearing, so no public hearing notifications were sent out to the surrounding property owners for this request.

The public had an opportunity to speak on this agenda item at the “Persons To Be Heard.”

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Planning and Zoning Commission Recommendation:

At the Aug. 8, 2023, Planning and Zoning Commission meeting, Commissioners unanimously recommended approval of the site plan with six variances.

The Commission requested the Applicant explore other tree specie options for the landscape buffer along Keller Parkway, which has been completed and incorporated into their landscape plan.

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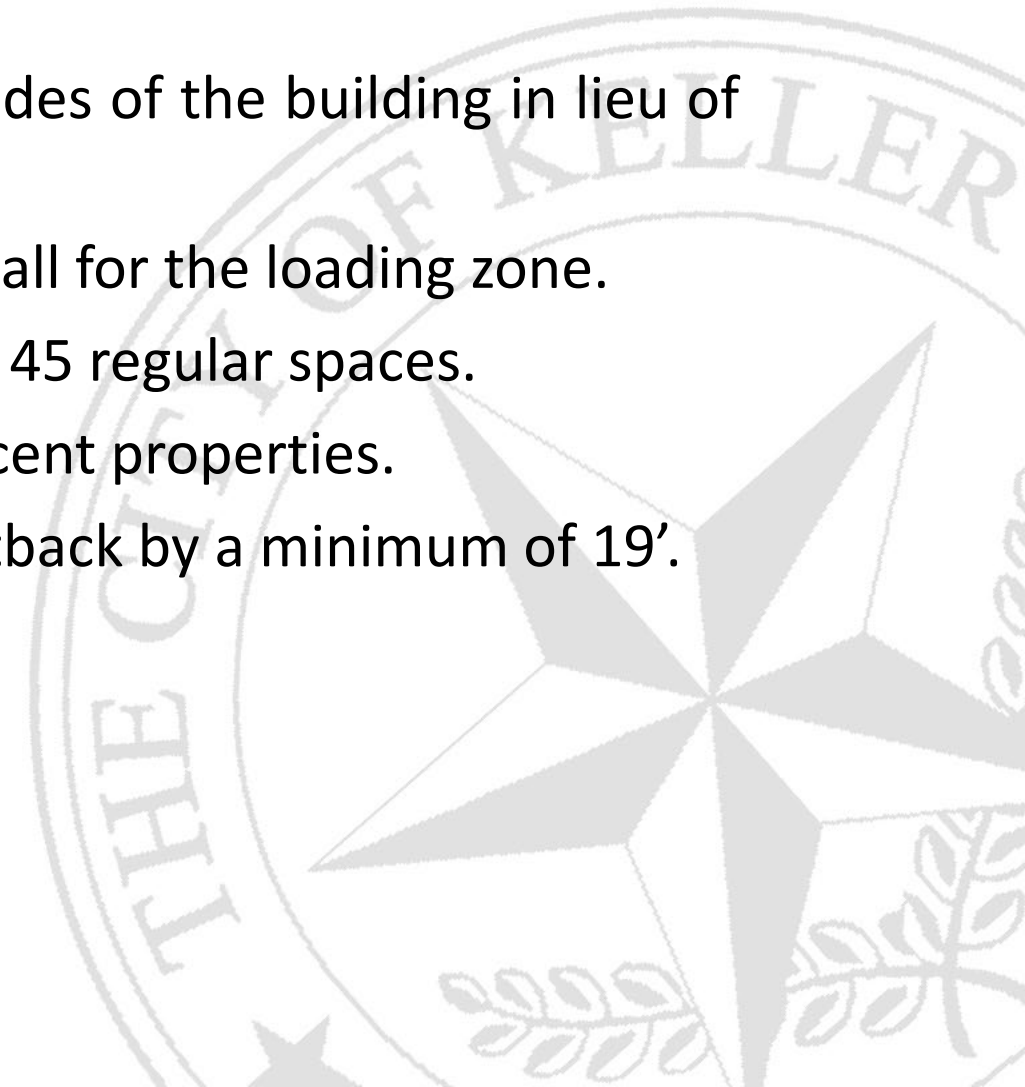
Summary:

Section 2.07(A)(2) of the UDC lists the following criteria for the City Council when considering a Site Plan with variances:

- a. That there are special circumstances or conditions affecting the land involved such that the strict application of the provisions of this Code would deprive the applicant of the reasonable use of his land.
- b. That the granting of the variance will not be detrimental to the public health, safety or welfare, or injurious to other properties in the area.
- c. That the granting of the variance will not have the effect of preventing the orderly subdivision of other lands in the area in accordance with the provisions of this Code.
- d. That the granting of the variance will not constitute a violation of any other valid ordinance of the City of Keller.
- e. That strict compliance with the regulations, and/or that the purpose of the regulations will be served to a greater extent by the alternative proposal.

Summary of Variances (6) Requested:

1. To install a 20' landscape buffer along Keller Parkway in lieu of the 30' buffer required along thoroughfares with four lanes.
2. To install 2' x 6' planter boxes at the front and sides of the building in lieu of the required foundation planting.
3. To install shrubs in lieu of a masonry screening wall for the loading zone.
4. To allow 37 regular spaces in lieu of the required 45 regular spaces.
5. To not provide a cross access connection to adjacent properties.
6. To allow the future dock to encroach the rear setback by a minimum of 19'.



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The City Council has the following options when considering a Site Plan with variances:

- Approve as submitted (with 6 variances).
- Approve with modifications or additional condition(s)
- Table the agenda item to a specific date with clarification of intent and purpose
- Deny



Questions?
Sarah Hensley
817-743-4130