



VARIANCE TO THE UNIFIED DEVELOPMENT CODE (UDC) APPLICATION

SECTION 1. APPLICANT/OWNER INFORMATION Please Print or Type

Applicant/Developer: Mukesh Goyal
 Street Address: 6963 CHALO TRAIL
 City: ft Worth State: TX Zip: 76137
 Telephone: 82-760-8374 Fax: _____ E-mail: ergoyal83@gmail.com
 Applicant's Status: (Check One) Owner Tenant Prospective Buyer

Property Owner must sign the application or submit a notarized letter of authorization.

Owner: RITESH SUNEJA
 Street Address: 2111 ARLINGTON WAY
 City: SAN Ramon State: CA Zip: 94582
 Telephone: 925-915-6637 Fax: _____ E-mail: riteshsuneja@yahoo.com

Mukesh Goyal
 Signature of Applicant
 Date: Dec 20, 2021

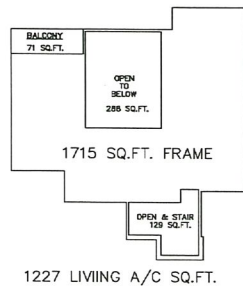
RITESH SUNEJA
 Signature of Owner Printed Name of Owner
 Date: Dec 16, 2021

SECTION 2. VARIANCE REQUEST(S) INFORMATION

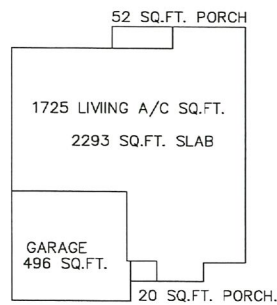
Address or Legal Description: 1832 Highland Drive E, Keller TX 76248
 Lot(s): 25 Block(s): _____ Subdivision Name: Highland Terr Mobile Home Park

Justification for Requested Variance(s): The 35' setback is a regulation appropriate for lots larger than our 7020 sf. This forces my home to the very back edge of building pad causing an unattractive 'looming' effect upon our neighbors. Approval of this variance will promote better home designs and better living space for the lot and for those

A detailed letter of justification and/or exhibits shall accompany this application.
One or more variances can be requested with this application.



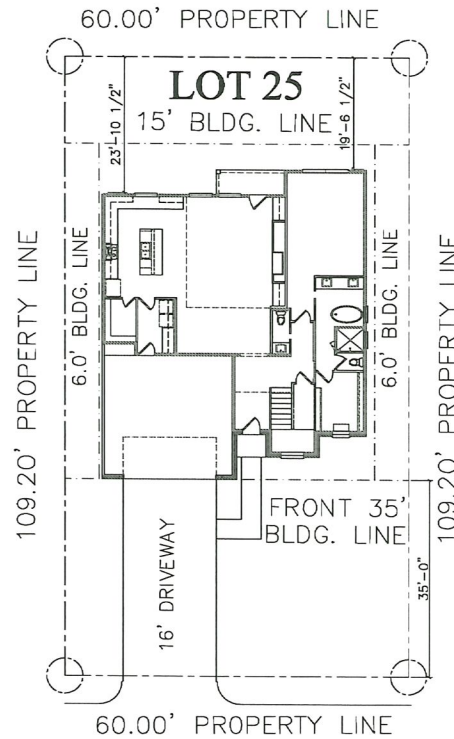
(A2) AREA - UPPER FLOOR PLAN
NO SCALE



(A1) AREA - LOWER FLOOR PLAN
NO SCALE

1725 LIVING A/C SQ.FT.
1227 LIVING A/C SQ.FT.
2952 LIVING A/C SQ.FT.

(A) AREA PLAN
NO SCALE



1852 EAST HIGHLAND DRIVE EAST

(S) SITE PLAN
SCALE: 1"=10'
LOT 25
NORTH

ZONING SF-36
35% ALLOWABLE LOT COVERAGE
LOT AREA = 6552 SQ.FT.
35% OF 6552 = 2293 SQ.FT.
SLAB AREA= 2293 SQ.FT = 35%.
ALLOWABLE LOT COVERAGE 50%
DRIVE/SIDEWALK = 630 SQ.FT.
TOTAL COVERAGE = 2923 SQ.FT.
50% OF 6540 = 3270 SQ.FT.

GENERAL NOTES

- THE DRAWINGS AND SPECIFICATIONS DESCRIBE THE COMPLETE PROJECT TO BE CONSTRUCTED BUT DO NOT DESCRIBE EVERY CONDITION. THE GENERAL CONTRACTOR IS REQUIRED TO BE THOROUGHLY FAMILIAR WITH THE PROJECT AND CONTRACT DOCUMENTS AND IS REQUIRED TO NOTE ANY DISCREPANCIES OR OMISSIONS OF STANDARD CONSTRUCTION PRACTICES IN THE DRAWINGS, SPECIFICATIONS, SITE EXISTING CONDITIONS, UTILITIES, AND LOCAL BUILDING CODES AND REPORT THEM TO THE OWNER FOR RESOLUTION PRIOR TO SIGNING THE CONSTRUCTION CONTRACT. FAILURE TO DO SO SHALL PLACE THE BURDEN OF ANY ADDITIONAL COSTS, BECAUSE OF SUCH DISCREPANCIES OR OMISSIONS, UPON THE GENERAL CONTRACTOR. ADDITIONAL WORK REQUIRED BY THE DESIGNER OR OWNER AFTER THE START OF CONSTRUCTION SHALL NOT BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- RESPONSIBILITY OF CONTRACTORS: EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HIS WORK OF EVERY DESCRIPTION AND IN CONNECTION WITH HIS CONTRACT. HE SHALL SPECIFICALLY AND DISTINCTLY ASSUME AND DOES SO ASSUME ALL RISKS FOR DAMAGE OR INJURY FROM WHATEVER CAUSE TO PROPERTY OR PERSONS OR PROPERTY WHEREVER LOCATED, RESULTING FROM ANY ACTION OR OPERATION UNDER THE CONTRACT OR IN CONNECTION WITH HIS WORK. EACH CONTRACTOR WILL BE HELD RESPONSIBLE FOR EXECUTION OF A SATISFACTORY AND COMPLETE PIECE OF WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS AND ANY BULLETINS WHICH MAY BE ISSUED DURING THE TIME OF BIDDING.
- THE GENERAL CONTRACTOR SHALL VERIFY SIZE, LOCATION AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT SUPPLIED BY THE OWNER OR OTHERS, WITH THE MANUFACTURER OR SUPPLIER PRIOR TO THE START OF RELATED WORK.
- ALL SUBSTITUTIONS REQUESTED BY THE GENERAL CONTRACTOR MUST BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
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- THE GENERAL CONTRACTOR SHALL KEEP ONE (1) SET OF PLANS AT THE JOB SITE FOR THE SPECIFIC PURPOSE OF RECORDING ACTUAL CONSTRUCTION CONDITIONS. SUCH "PROJECT RECORD" DOCUMENTS SHALL BE PROVIDED TO THE OWNER UPON THE COMPLETION OF THE PROJECT.
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SHEET A1	LOWER FLOOR PLAN SCHEDULES
SHEET 2	UPPER FLOOR PLAN SCHEDULES TYP WALL SECTION
SHEET A3	EXTERIOR ELEVATIONS
SHEET A4	ELECTRICAL PLANS
SHEET A5	ROOF PLAN

AREA TOTALS

LOWER FLOOR LIVING A/C	1725 SQ.FT.
UPPER FLOOR LIVING A/C	1227 SQ.FT.
TOTAL A/C	2952 SQ.FT.
GARAGE	496 SQ.FT.
FRONT PORCH	20 SQ.FT.
REAR PORCH	52 SQ.FT.
REAR BALCONY	71 SQ.FT.
TOTAL SLAB	2293 SQ.FT.

CHECK SET
12 10 21

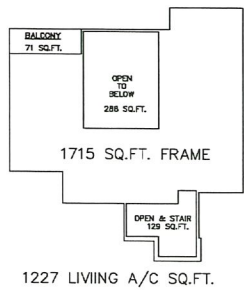
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1832 HIGHLAND DRIVE EAST
LOT 25
76262
KELLER, TEXAS

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CONTACT: MIJESH GOYAL

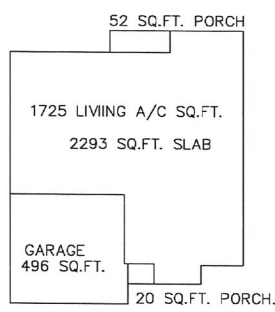
ISSUE DATE: 12-10-21
CHECK SET

PLAN NAME:

SHEET NO:
A0



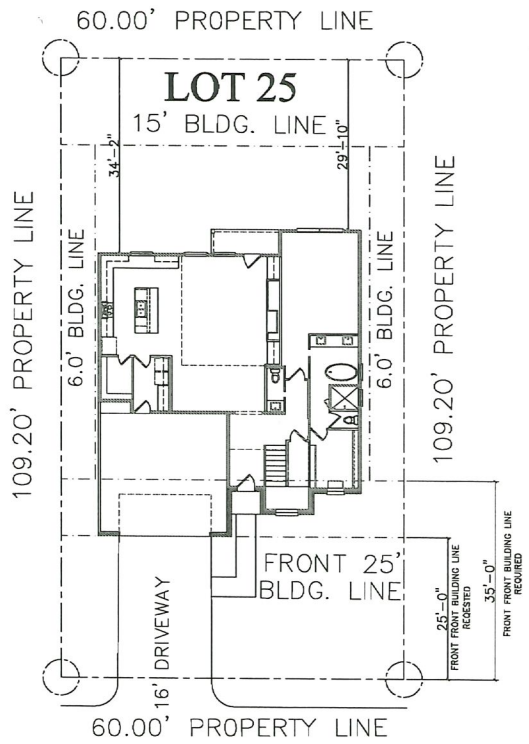
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