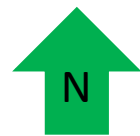


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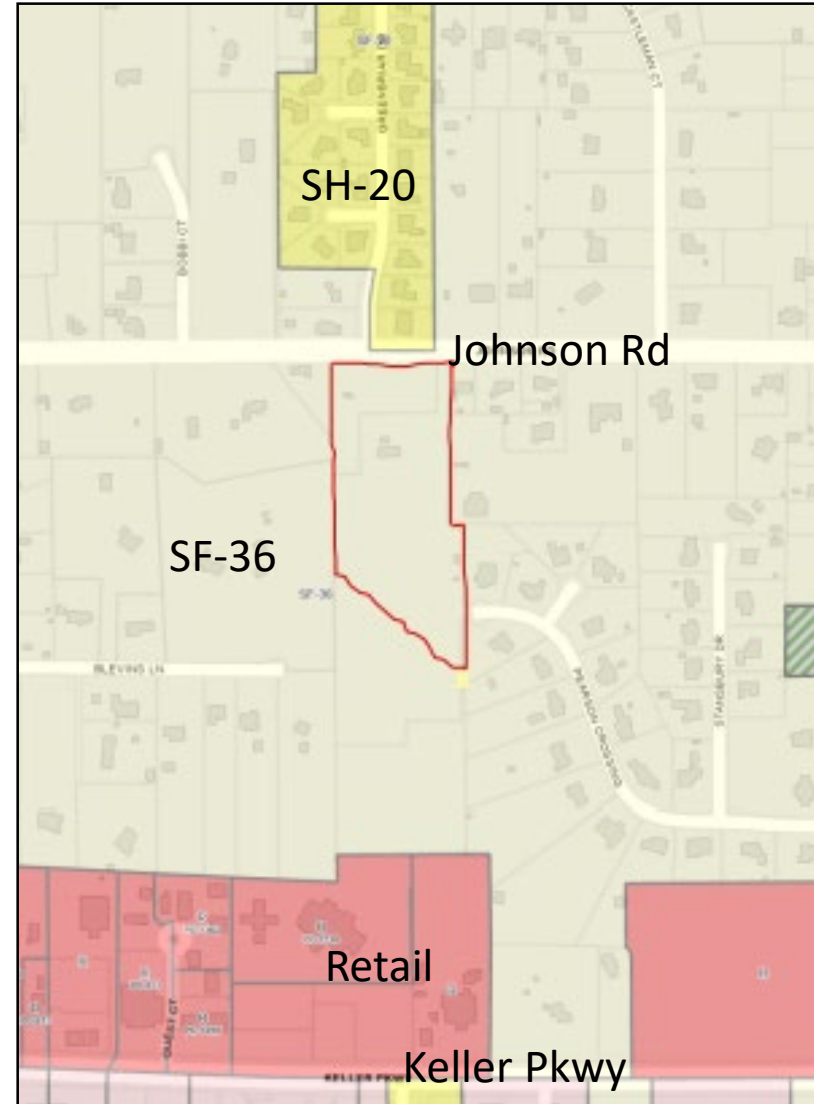
Consider a resolution approving a Preliminary Site Evaluation (PSE) with five variances for Winding Creek Addition, a proposed ten single-family residential lots and one open space lot subdivision on 12.21 acres of land on the south side of Johnson Road, approximately 1,800 feet southwest from the intersection of Johnson Road and North Pearson Road, being tracts 1D and a portion of 1D01, Abstract 1153 out of the John Martin Survey, zoned Single-Family Residential 36,000 square-foot minimum lot sizes or greater (SF-36), and addressed 1808 Johnson Road and a portion of 1816 Johnson Road. Cary Clarke, Devane Clarke Partnership, Ltd., Owner/Applicant. (PSE-22-0008)

Item H-2 Aerial Map



**Zoned:
SF-36**

Item H-2 Zoning Map



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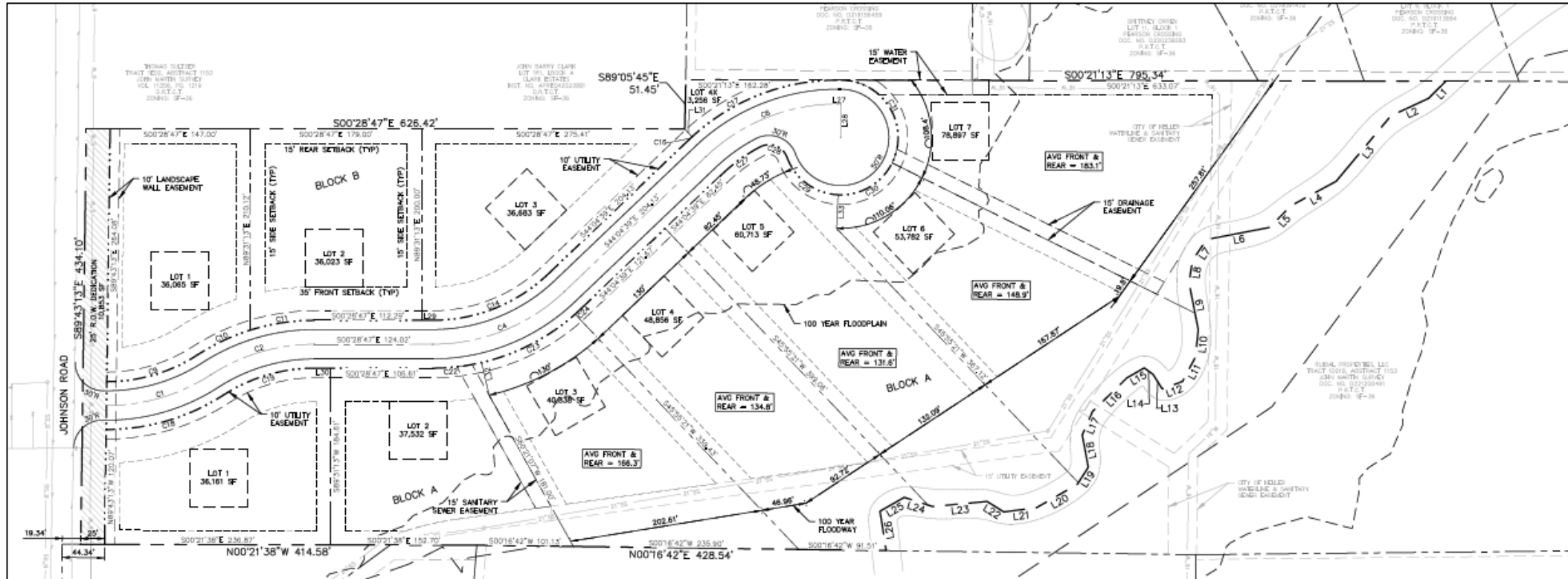
Background:

- The Applicant brought forward a PSE with two variances to the Aug. 2, 2022, City Council meeting. Several residents from the Pearson Crossing Subdivision spoke in opposition to the road connection shown on the Winding Creek PSE, and Council tabled the item to allow time for further discussion.
- Following conversations with the Pearson Crossing residents and City Council, the Applicant submitted a modified PSE with a cul-de-sac rather than a connection to Pearson Crossing.

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Background:

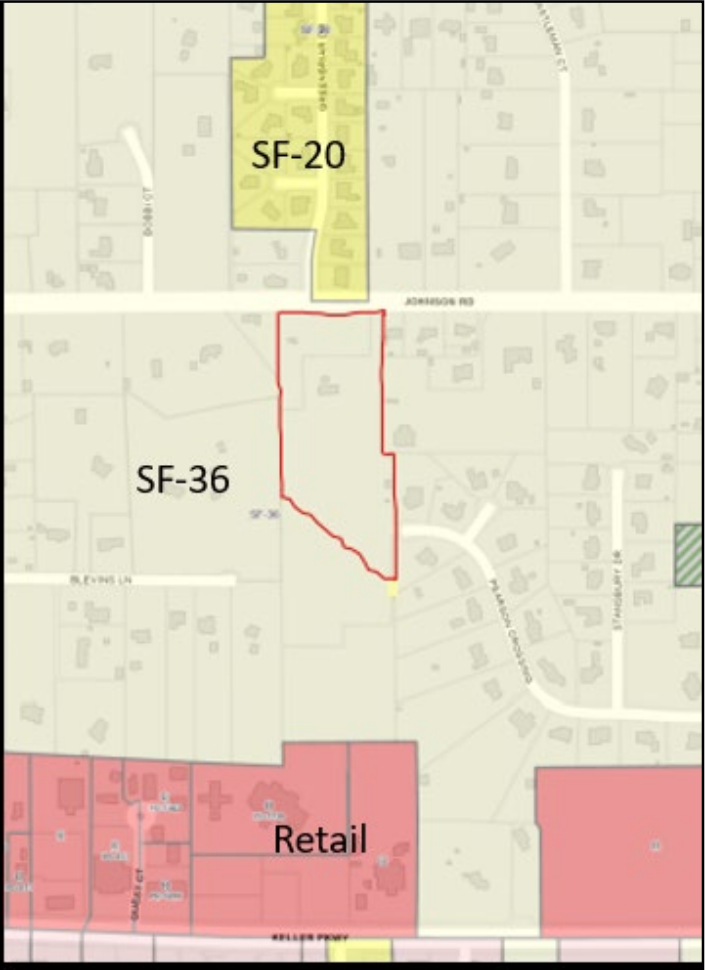
The updated PSE includes 10 residential lots and one open space lot with five variances related to lot dimensions and setbacks.



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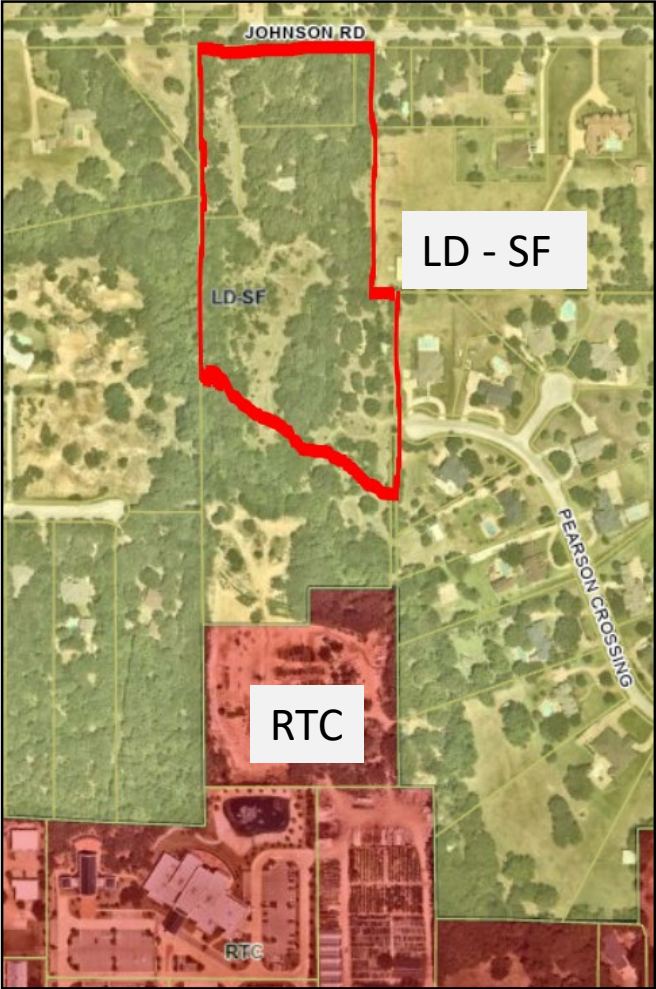
Current Zoning: MEETS

SF-36 (Single-Family Residential 36,000 square-foot minimum lot sizes or greater)



Future Land Use Plan: MEETS

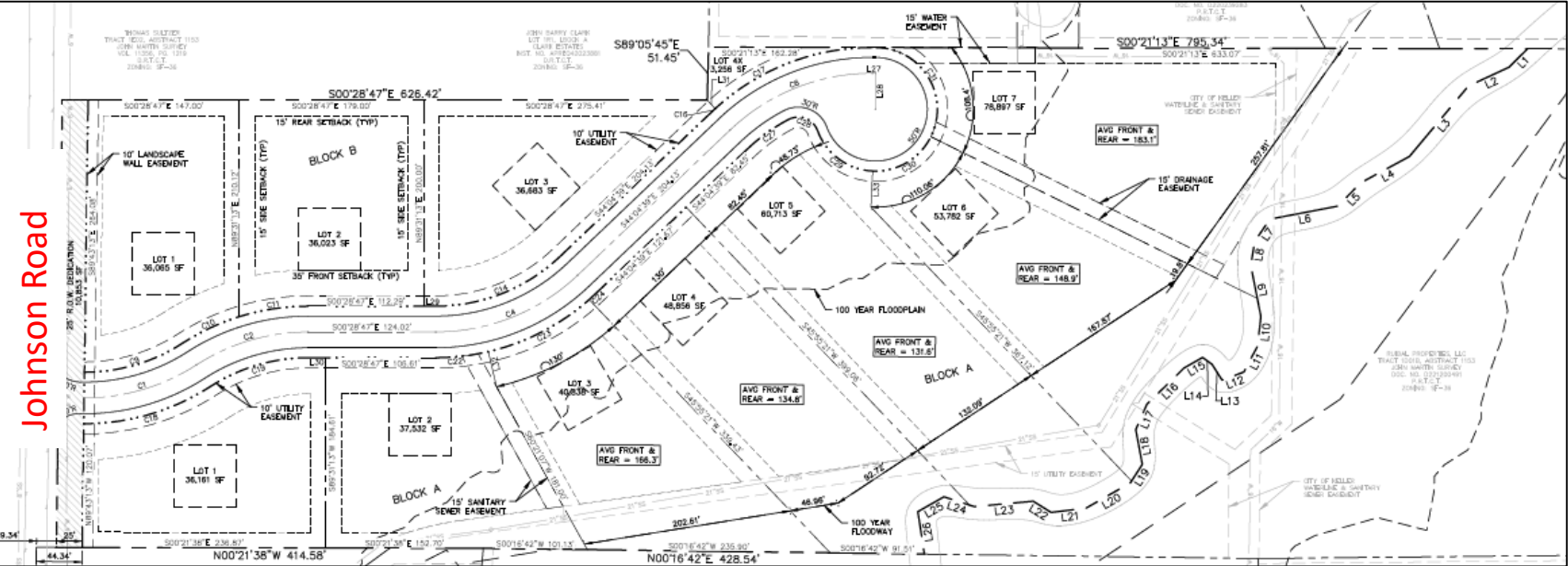
LD – SF (Residential 36,000 square-foot minimum lot sizes or greater)



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Streets: MEETS

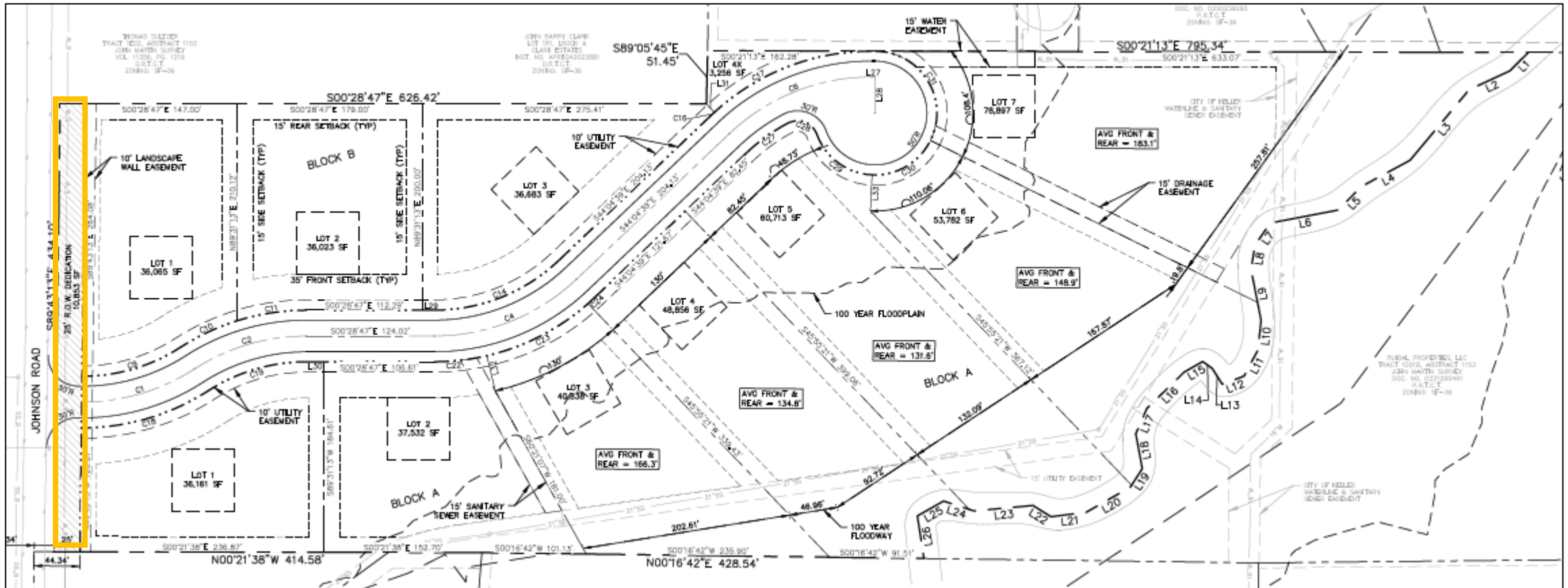
The Applicant proposes to have one point of access on Johnson Road, directly across from Greenbriar Drive.



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Landscape/Screening Wall Easement: MEETS

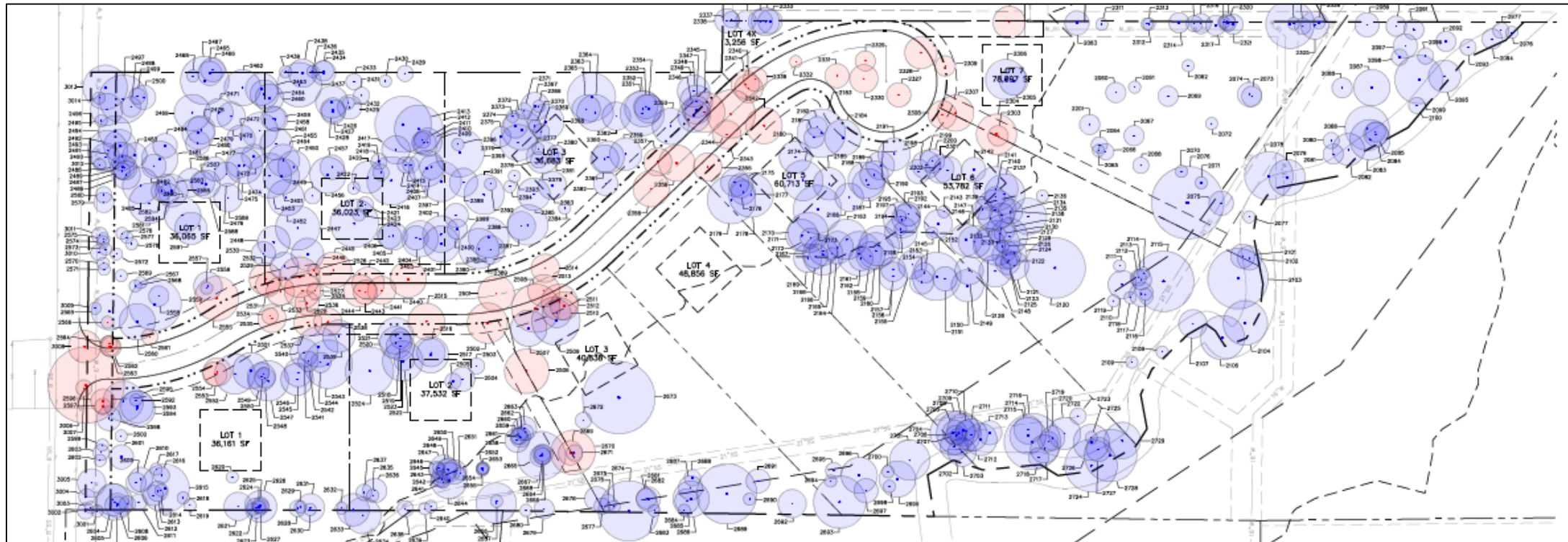
The Applicant proposes a 10-foot easement on Johnson Road to install a 6-foot-tall screening wall with trees. (Located in orange.)



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Tree Preservation: MEETS

The Applicant proposes to remove the trees in the new street right-of-way (ROW). All other trees shall remain. Further removal will require a building permit for each lot indicating which trees are to be removed and why.



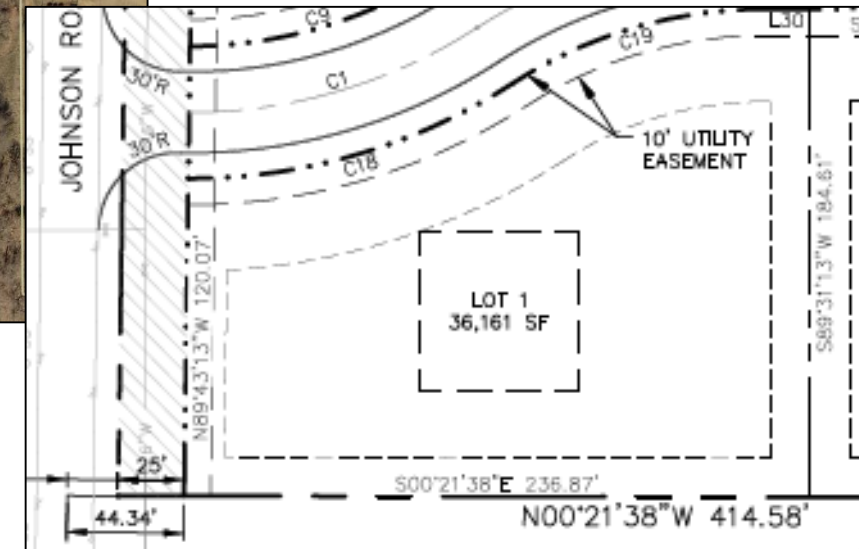
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Variances Requested:

The Unified Development Code (UDC) requires the street to align with Greenbriar Drive (across Johnson Road), and for the road to terminate in a cul-de-sac to allow for turnaround space for emergency vehicles (since it will not connect to Pearson Crossing).

These requirements impact lot configurations, resulting in five variance requests:

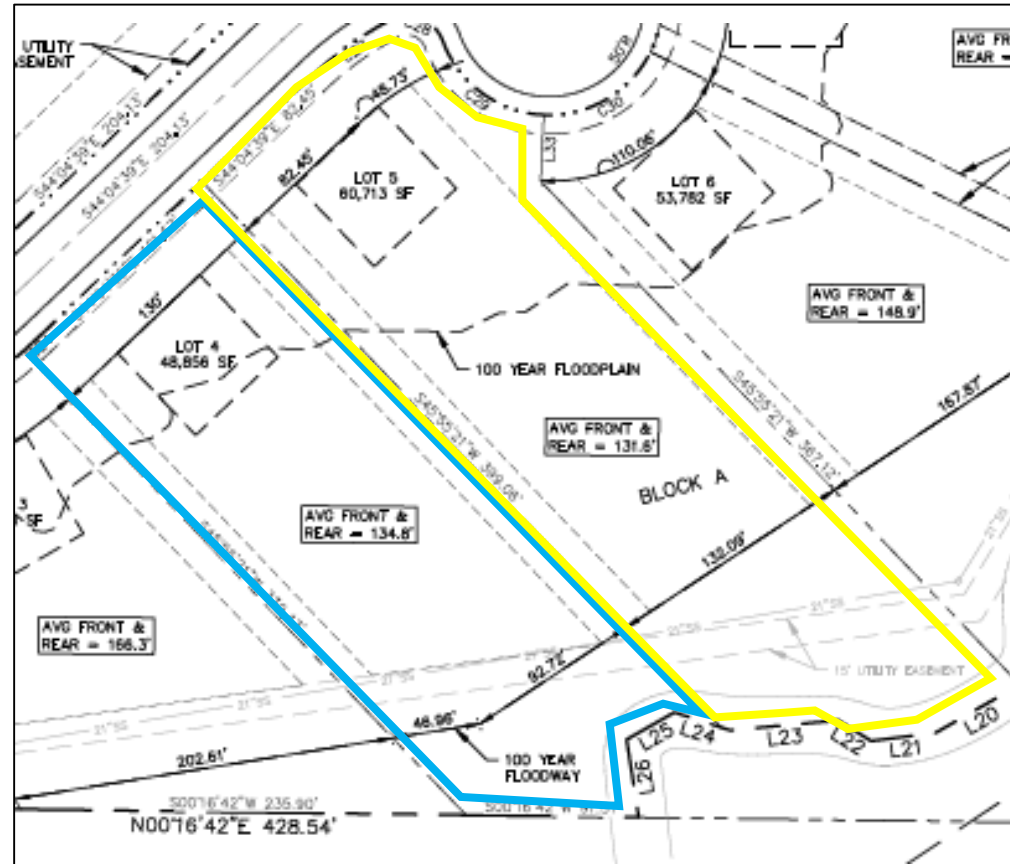
1. To allow Lot 1, Block A to have an average depth of 152.34' in lieu of the required 200'.



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Variances Requested Cont'd:

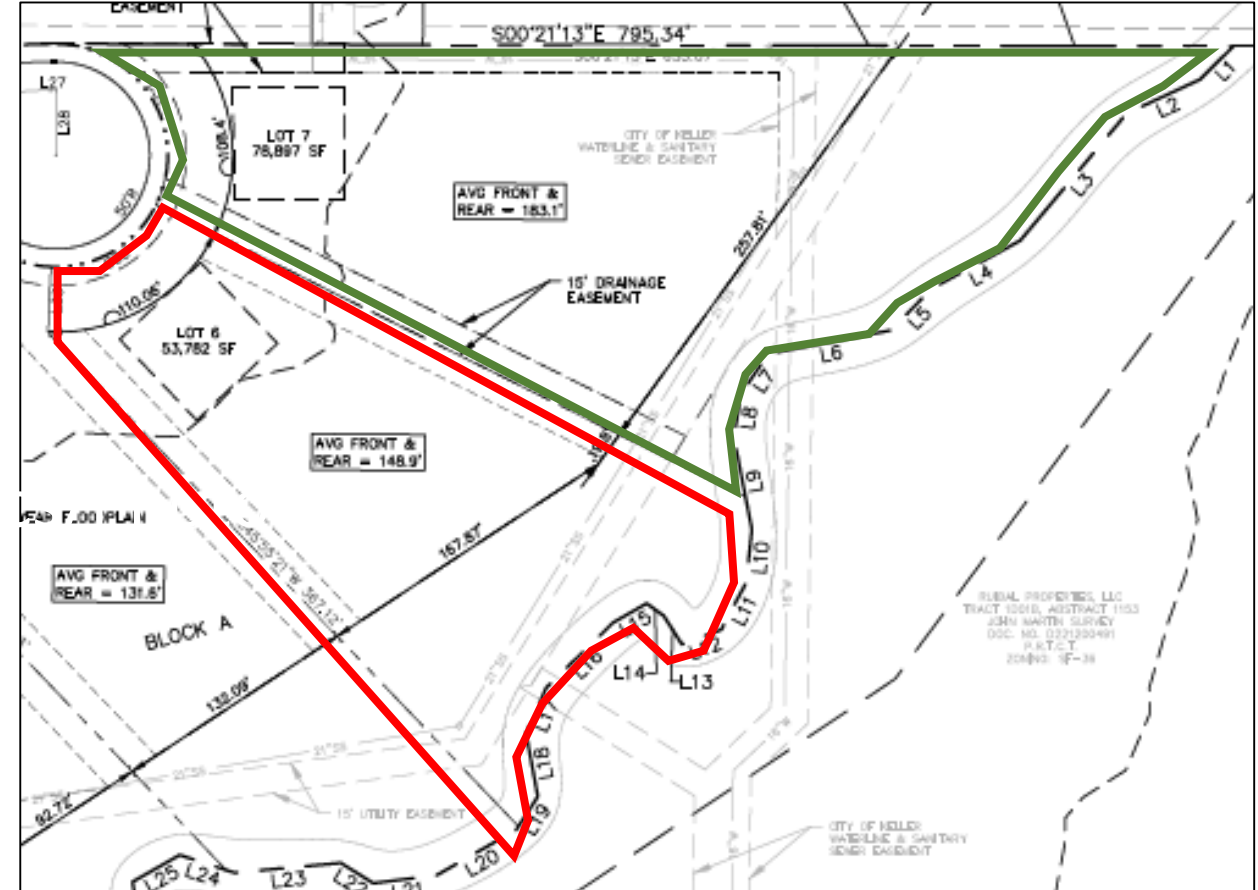
2. To allow Lots 4 and 5, Block A to each have a lot width of 130' in lieu of the required 140'



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Variations Requested Cont'd:

3. To allow Lots 6 and 7, Block A to each have a front yard setback of 35' in lieu of the required 40'
4. To allow Lot 6, Block A to have a width at the front yard setback of 110.06' in lieu of the 120'
5. To allow Lot 7, Block A to have a width at the front yard setback of 108.40' in lieu of the 120'



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Planning and Zoning Commission Recommendation:

On Sept. 27, 2022, the Commission unanimously recommended approval of the Preliminary Site Evaluation.

The PSE presented to the Commission had six variance requests: the five included in tonight's presentation, and one more related to the width of Lots 6 and 7. Following the meeting, staff and the project engineer determined the UDC method for defining lot width on irregular lots had not been applied correctly for Lots 6 and 7. When this method is used, both lots meet the minimum width requirement for the SF-36 zoning district.

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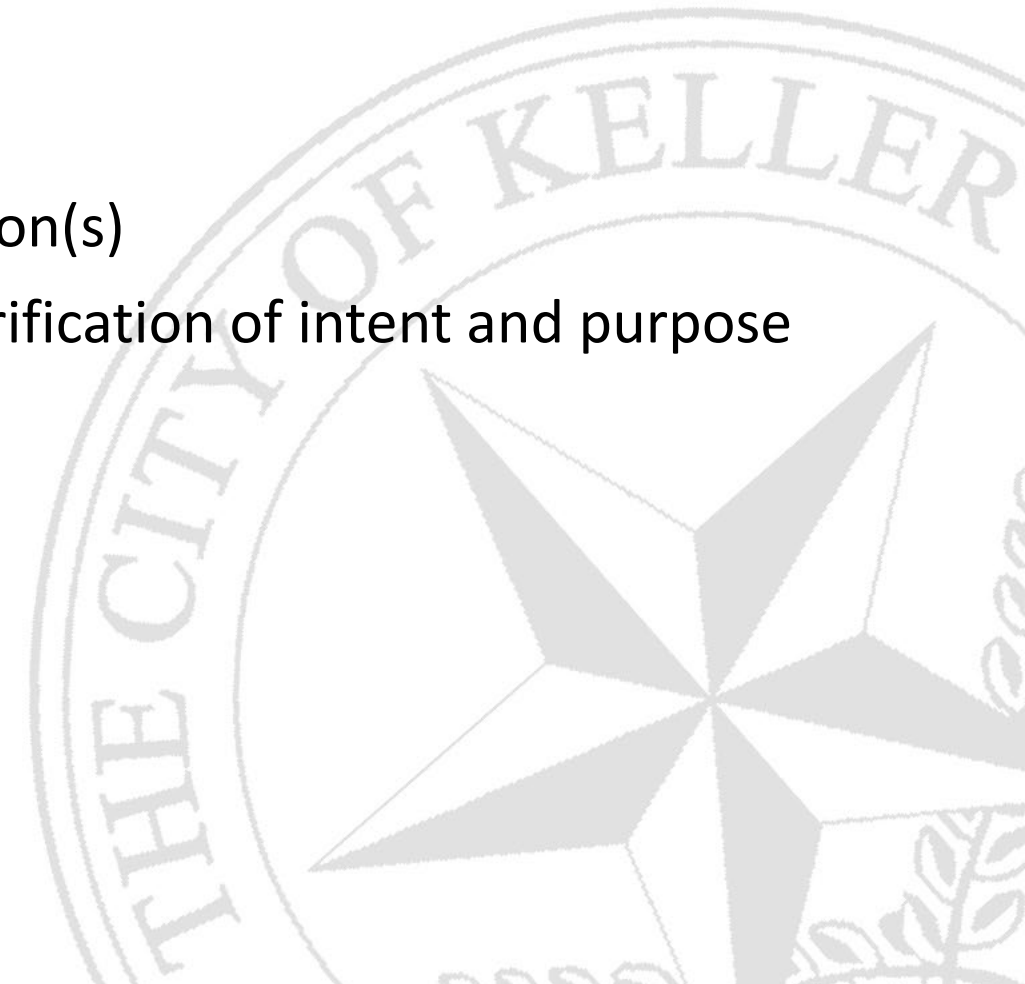
Section 2.07 (A)(2) of the UDC states that when considering a PSE with variances, the City Council shall consider the following factors:

- a. That there are special circumstances or conditions affecting the land involved such that the strict application of the provisions of this Code would deprive the applicant of the reasonable use of his land.
- b. That the granting of the variance will not be detrimental to the public health, safety or welfare, or injurious to other properties in the area.
- c. That the granting of the variance will not have the effect of preventing the orderly subdivision of other lands in the area in accordance with the provisions of this Code.
- d. That the granting of the variance will not constitute a violation of any other valid ordinance of the City of Keller.
- e. That strict compliance with the regulations, and/or that the purpose of the regulations will be served to a greater extent by the alternative proposal.

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The City Council has the following options when considering a PSE with variances:

- Approve as submitted
- Approve with modifications or additional condition(s)
- Table the agenda item to a specific date with clarification of intent and purpose
- Deny





Questions?
Katasha Smithers
817-743-4128

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