



City of Keller: Phase 2-5

OWNER/CLIENT: City of Keller	CONSTRUCTOR: Marseal Group, LLC
ARCHITECT/ENGINEER: N/A	DATE CREATED: 5/23/2022
PROJECTED START: 08/01/2022	CREATED BY: Brock Reaves
PROJECTED DURATION: 60 Days	PROJECT ADDRESS: N/A

PRIME CONTRACT

ARTICLE 1 AGREEMENT

1. This Agreement is made between OWNER/CLIENT and CONSTRUCTOR, Marseal Group LLC, (Tax identification number (TIN) 82-3186398). Owner and Constructor are collectively the "Parties."

ARTICLE 2 THE WORK

2. Constructor shall use its diligent efforts to perform the "Work," as described in the Scope of Work, in an expeditious manner consistent with the Contract Documents. Constructor shall provide all labor, materials, equipment, and services necessary to complete the Work in full accord with and reasonably inferable from the Contract Documents.

ARTICLE 3 PRICE

3. As full compensation for performance by Constructor of the Work, Owner shall pay Constructor the lump sum price referenced in the Scope of Work and detailed terms outlined in the Schedule of Values. The lump sum price, "Price," is subject to adjustment as provided in this Agreement.

ARTICLE 4 EXHIBITS

4. The following exhibits and/or documents are made part of this Agreement:
 - a. Schedule of Values
 - b. Specifications
 - c. Plans
 - i. Town Hall
 - ii. Keller Pointe
 - iii. Police Department
 - iv. Public Library
 - d. Scope of Work
 - i. Town Hall
 - ii. Keller Pointe
 - iii. Police Department
 - iv. Public Library
 - v. Clarifications
 - e. Subcontractor Bids & Insurance Estimate
 - i. Town Hall
 - ii. Keller Pointe
 - iii. Police Department
 - iv. Public Library
 - v. Insurance Estimate
 - f. Signed change orders, if applicable

ARTICLE 5 ETHICS

5. Each Party shall perform their obligations with integrity. Each shall: (a) avoid conflicts of interest; (b) promptly disclose to the other Party any conflicts that arise; and (c) warrant that it has not and shall not pay nor receive any contingent fees or gratuities to or from the other Party, including its agents, officers, and employees, subcontractors, suppliers, or others to secure preferential treatment.



ARTICLE 6 CONSTRUCTOR'S RESPONSIBILITIES

6. Constructor shall be responsible for supervision and coordination of the Work, including the construction means, methods, techniques, sequences, and procedures utilized, unless the Contract Documents give other specific instructions.
 - 6.1. Constructor shall pay all applicable taxes for the Work provided by Constructor.
 - 6.2. Owner may elect to perform work at the Worksite directly or by others retained by Owner. The Parties shall coordinate the activities of all forces at the Worksite and shall agree upon fair and reasonable schedules and operational procedures for Worksite activities. Owner shall require each separate contractor to cooperate with Constructor and to assist with the coordination of activities and the review of construction schedules and operations. Contract Price and Contract Time may be equitably adjusted in accordance with this Agreement for changes made necessary by the coordination of construction activities, and the construction schedule shall be revised accordingly.
 - 6.3. Before commencing the Work, Constructor shall examine and compare the drawings and specifications with information furnished in the Contract Documents; relevant field measurements made by Constructor; and any visible conditions at the Worksite affecting the Work.
 - 6.4. COMPLIANCE WITH LAWS Constructor shall comply with all laws at its own costs. Constructor shall be liable to Owner for all loss, cost, or expense, attributable to any acts or omissions by Constructor, its employees, subcontractors, suppliers, and agents for failure to comply with laws, including fines, penalties, or corrective measures.
 - 6.5. WARRANTY
 - 6.5.1. Constructor warrants that all materials and equipment shall be new unless otherwise specified, of good quality, in conformance with the Contract Documents, and free from defective workmanship and materials. Constructor further warrants that the Work will be free from material defects not intrinsic in the design or materials required in the Contract Documents. Constructor's warranty does not include remedies for defects or damages caused by normal wear and tear during normal usage, use for a purpose for which the Project was not intended, improper or insufficient maintenance, modifications performed by Owner or others retained by Owner, or abuse.
 - 6.5.2. If, after the Date of Substantial Completion and within the workmanship warranty term, any portion of the Work is found to be not in conformance with the Contract Documents ("Defective Work"), Owner shall promptly notify Constructor in writing. Unless Owner provides written acceptance of the condition, Constructor shall promptly correct the Defective Work at its own cost and time and bear the expense of additional services required for correction of any Defective Work for which it is responsible.
 - 6.6. SAFETY Constructor shall have overall responsibility for safety precautions and programs in the performance of the Work, except that Constructor's subcontractors shall also be responsible for the safety of persons or property in the performance of their work, and for compliance with the provisions of laws. Constructor shall prevent against injury, loss, or damage to persons or property by taking reasonable steps to protect its employees and other persons at the Worksite; materials and equipment stored at on-site or off-site locations for use in the Work; and property located at the Worksite and adjacent to Work areas, whether or not the property is part of the Work.
 - 6.7. HAZARDOUS MATERIALS A Hazardous Material is any substance or material identified now or in the future as hazardous under any federal, state, or local law or regulation, or any other substance or material which may be considered hazardous or otherwise subject to statutory or regulatory requirement governing handling, disposal, or clean-up. Constructor shall not be obligated to commence or continue work until any Hazardous Material discovered at the Worksite has been removed, or rendered or determined to be harmless by Owner as certified by an independent testing laboratory and approved by the appropriate government agency. If Constructor incurs additional costs or is delayed due to the presence or remediation of Hazardous Material, Constructor shall be entitled to an equitable adjustment in the Contract Price or the Contract Time.
 - 6.8. MATERIALS BROUGHT TO THE WORKSITE Constructor shall be responsible for the proper delivery, handling, application, storage, removal, and disposal of all materials and substances brought to the Worksite by Constructor unless otherwise indicated in the Clarifications and in accordance with the Contract Documents and used or consumed in the performance of the Work.
 - 6.9. SUBMITTALS Constructor shall submit to Owner and Design Professional for review and approval all shop drawings, samples, product data, and similar submittals required by the Contract Documents. Submittals may be submitted in electronic form. Constructor shall be responsible to Owner for the accuracy and conformity of its submittals to the Contract Documents. Constructor shall prepare and deliver its submittals to Owner and Design Professional in a manner consistent with the Schedule of the Work and in such time and sequence so as not to delay the performance of the Work or the work of Owner and others retained by Owner. Constructor submittals shall identify in writing for each submittal all changes, deviations, or substitutions from the requirements of the Contract Documents. The approval of any Constructor submittal shall not be deemed to authorize deviations, substitutions, or changes in the requirements of the Contract Documents unless a Change Order or Interim Directive specifically authorizes such deviation, substitution, or change. To the extent a change, deviation, or substitution causes an impact to the Contract Price or Contract Time, such approval shall be memorialized in a Change Order no later than seven (7) Days following approval by Owner. Neither Owner nor Design Professional shall make any change, deviation, or substitution through the submittal process without specifically identifying and authorizing such deviation to Constructor. Owner shall be responsible for review and approval of submittals with reasonable promptness to avoid causing delay. Constructor shall perform all Work strictly in accordance with approved submittals. Owner's approval does not relieve Constructor from responsibility for Defective Work resulting from errors or omissions of any kind on the approved shop drawings.
 - 6.10. CONCEALED OR UNKNOWN SITE CONDITIONS If a condition encountered at the Worksite is (a) a subsurface or other physical condition which is materially different from those indicated in the Contract Documents, or (b) an unusual and unknown physical condition which is materially different from conditions ordinarily encountered and generally recognized as inherent in the Work provided for in the Contract Documents, Constructor shall stop Work and give prompt written notice of the condition to Owner and Design Professional. Owner shall investigate and then issue an Interim Directive specifying the extent to which Owner agrees that a concealed or unknown condition exists and directing how Constructor is to proceed. Constructor shall not be required to perform any Work relating to the condition without the written mutual agreement of the Parties. Any change in the Contract Price or Contract Time as a result of the unknown condition shall be made by Change Order.
 - 6.11. CUTTING, FITTING, AND PATCHING Constructor shall perform cutting, fitting, and patching necessary to coordinate the various parts of the Work and to prepare its Work for the work of Owner or others retained by Owner.
 - 6.12. CLEANING UP Constructor shall regularly remove debris and waste materials at the Worksite resulting from the Work. Prior to discontinuing Work in an area, Constructor shall clean the area and remove all rubbish and its construction equipment, tools, machinery, waste, and surplus materials. Constructor shall minimize and confine dust and debris resulting from construction activities. At the completion of the Work, Constructor shall remove from the Worksite all construction equipment, tools, surplus materials, waste materials, and debris.

ARTICLE 7 OWNER'S RESPONSIBILITIES

7. Any information or services to be provided by Owner shall be provided in a timely manner.
 - 7.1. FINANCIAL INFORMATION Before commencing the Work and thereafter at the written request of Constructor, Owner shall provide Constructor with evidence of Project financing if requested. Evidence of such financing shall be a condition precedent to Constructor's commencing or continuing the Work. Constructor shall be notified prior to any material change in Project financing.
 - 7.2. WORKSITE INFORMATION To the extent Owner has obtained, or is required to obtain the following Worksite information, then Owner shall provide Constructor the following:
 - 7.2.1. information describing the physical characteristics of the Worksite, including surveys, Worksite evaluations, legal descriptions, data, or drawings depicting existing conditions, subsurface, and environmental studies, reports, and investigations;
 - 7.2.2. tests, inspections, and other reports dealing with environmental matters, hazardous material, and other existing conditions, including structural, mechanical, and chemical tests required by the Contract Documents or by law;



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- 7.2.3. the limits of Pollution Liability Insurance covering the Worksite held by Owner; and any other information or services requested in writing by Constructor which are required for Constructor's performance of the Work and under Owner's control.
- 7.3. MECHANICS AND CONSTRUCTION LIEN INFORMATION Within seven (7) Days after receiving Constructor's written request, Owner shall provide Constructor with the information necessary to give notice of or enforce mechanics lien rights and, where applicable, stop notices. This information shall include Owner's interest in the real property on which the Project is located and the record legal title.
- 7.4. BUILDING PERMIT, FEES, AND APPROVALS Except for those explicitly stated in the Scope of Work, Owner shall secure and pay for all other permits, approvals, easements, assessments, and fees required for the development, construction, use, or occupancy of permanent structures or for permanent changes in existing facilities, including the building permit.
- 7.5. DOCUMENTS IN ELECTRONIC FORM Owner, Design Professional, and Constructor shall clearly communicate the process by which to exchange documents and data in electronic or digital form, if agreed upon by parties.

ARTICLE 8 SUBCONTRACTS

8. Constructor agrees to bind every subcontractor and supplier (and require every subcontractor to so bind its subcontractors and suppliers) to all the provisions of this Agreement and the Contract Documents as they apply to the subcontractor's and supplier's portions of the Work.

ARTICLE 9 CONTRACT TIME

9. Substantial Completion of the Work shall be achieved as fast as reasonably possible in working with Owner schedule or as seen in the Scope of Work. Time is of the essence for obligations of the Contract Documents.

ARTICLE 10 SCHEDULE OF THE WORK

10. Before submitting its first application for payment, Constructor shall submit to Owner, and if directed, to Design Professional, a Schedule of Values which will show the milestones in which Constructor plans to begin and to complete various parts of the Work, including milestone target dates on which information and approvals are required from Owner.
- 10.1. Owner may determine the sequence in which the Work shall be performed, provided it does not unreasonably interfere with the Schedule of the Work. Owner may require Constructor to make reasonable changes in the sequence at any time during the performance of the Work in order to facilitate the performance of work by Owner or others. If Constructor subsequently incurs costs or is delayed, Constructor may seek equitable adjustment in the Contract Price and Contract Time under this Agreement.

ARTICLE 11 DELAYS AND EXTENSIONS OF TIME

11. If Constructor is delayed at any time in the commencement or progress of the Work by any cause beyond the control of Constructor, Constructor shall be entitled to an equitable extension of the Contract Time. Examples of causes beyond the control of Constructor include, but are not limited to, the following: (a) acts or omissions of Owner, Design Professional, or others; (b) changes in the Work or the sequencing of the Work ordered by Owner or arising from an Owner decision that impacts Contract Time; (c) encountering Hazardous Materials, or concealed and unknown conditions; (d) delay authorized by Owner pending dispute resolution or suspension by Owner; (e) transportation delays not reasonably foreseeable; (f) labor disputes not involving Constructor; (g) general labor disputes impacting the Project but not specifically related to the Worksite; (h) fire; (i) terrorism, (j) epidemics, (k) adverse governmental actions, (l) unavoidable accidents or circumstances; (m) adverse weather conditions not reasonably anticipated. Constructor shall process any requests for equitable extensions of Contract Time in accordance with the provisions of ARTICLE 13.
- 11.1. In addition, if Constructor incurs additional costs as a result of a delay that is caused by items (a) through (d) in §11 above, Constructor may be entitled to an equitable adjustment in the Contract Price subject to ARTICLE 13.
- 11.2. In the event delays to the Work are encountered for any reason, Constructor shall provide prompt written notice to Owner of the cause of such delays after Constructor first recognizes the delay. The Parties each agree to undertake reasonable steps to mitigate the effect of such delays.
- 11.3. NOTICE OF DELAY CLAIMS If Constructor requests an equitable extension of the Contract Time or an equitable adjustment in the Contract Price as a result of a delay, Constructor shall give Owner written notice of the claim. If Constructor causes delay in the completion of the Work, Owner shall be entitled to recover its additional costs, subject to ARTICLE 18.

ARTICLE 12 ALLOWANCES

12. All allowances stated in the Contract Documents shall be included in the Price unless otherwise stated in Clarifications. While Owner may direct the amounts of, and particular suppliers or subcontractors for, specific allowance items, if Constructor reasonably objects to a supplier or subcontractor, it shall not be required to contract with them. Owner shall select allowance items in a timely manner so as not to delay the Work. Allowances shall include the costs of materials and equipment delivered to the Worksite less applicable trade discounts and including requisite taxes, unloading and handling at the Worksite, and labor and installation, unless specifically stated otherwise. The Contract Price shall be adjusted by Change Order to reflect the actual costs when they are greater than or less than the allowances.

ARTICLE 13 CHANGES

13. Constructor may request or Owner may order changes in the Work or the timing or sequencing of performance of the Work that impacts the Contract Price or the Contract Time. All such changes in the Work that affect the Contract Time or Contract Price shall be formalized in a Change Order.
- 13.1. The Parties shall negotiate in good faith an appropriate adjustment to the Contract Price or the Contract Time and shall conclude these negotiations as expeditiously as possible. Acceptance of the Change Order and any adjustment in the Contract Price or Contract Time shall not be unreasonably withheld. Constructor shall not be obligated to perform changes in the Work without a Change Order or Interim Directive.
- 13.2. INTERIM DIRECTIVES
- 13.2.1. Owner may issue a written Interim Directive directing a change in the Work before agreeing on an adjustment to the Contract Price or the Contract Time, or directing Constructor to perform Work that Owner believes is not a change.
- 13.2.2. The Parties shall negotiate expeditiously and in good faith for appropriate adjustments, as applicable, to the Contract Price or the Contract Time arising out of an Interim Directive. As the directed work is performed, Constructor shall submit its costs for such work with its application for payment. If there is a dispute as to the cost of the Work, Owner shall pay Constructor fifty percent (50%) of its actual (incurred or committed) cost to perform the work. In such event, the Parties reserve their rights as to the disputed amount, subject to the requirements of ARTICLE 19.
- 13.2.3. When Owner and Constructor agree upon the adjustment in the Contract Price or the Contract Time, for a change in the Work directed by an Interim Directed Change, such agreement shall be the subject of a Change Order.
- 13.3. COST OR CREDIT DETERMINATION
- 13.3.1. An increase or decrease in the Contract Price or the Contract Time resulting from a change in the Work may result in a \$250 change fee and shall be determined by one or more of the following methods:



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- a. unit prices set forth in this Agreement or as subsequently agreed;
 - b. a mutually accepted, itemized lump sum; or
 - c. costs calculated on a basis agreed upon by Owner and Constructor plus 10% overhead and 10% profit.
- 13.3.2. If a cost or credit determination cannot be agreed to above, the cost of the change in the Work shall be determined by the reasonable actual expense incurred or savings realized in the performance of the Work resulting from the change. If there is a net increase in the Contract Price, Constructor's overhead and profit shall be adjusted accordingly. In case of a net decrease in the Contract Price, Constructor's overhead and profit shall not be adjusted unless ten percent (10%) or more of the Project is deleted. Constructor shall maintain a documented itemized accounting evidencing the expenses and savings.
- 13.4. UNIT PRICES If unit prices are included in the Contract Documents or are subsequently agreed to by the Parties, but the character or quantity of such unit price items as originally contemplated is so different in a proposed Change Order that the original unit prices will cause substantial inequity to Owner or Constructor, such unit prices shall be equitably adjusted.

ARTICLE 14 PAYMENT

14. Payments will be invoiced according to this contract, the Schedule of Values, Scope of Work, Work Authorizations, Change Orders, or other agreements signed by both parties.
- 14.1. SCHEDULE OF VALUES In the Exhibit B and/or Scope of Work of this Agreement, Constructor shall prepare and submit to Owner and, if directed, Design Professional, a schedule of values apportioned to the various divisions or phases of the Work.
- 14.2. PROGRESS PAYMENTS Constructor shall submit to Owner and, if directed, Design Professional an application for payment upon completion of a phase. Constructor's applications for payment shall be itemized and supported by Constructor's schedule of values based on a percentage of completion and shall include any other substantiating data as required by this Agreement. Payment applications shall include payment requests on account of properly authorized Change Orders or Interim Directives. Owner shall pay the amount due on any payment application, less any amounts as set forth below, no later than ten (10) Business Days after Constructor has submitted a complete and accurate payment application. Owner may deduct, from any progress payment, such amounts as may be retained pursuant to §14.3.
- 14.3. RETAINAGE Retainage will be calculated as a standard 5%, or the amount determined by the Schedule of Values in Exhibit B and/or the Scope of Work. Owner shall withhold no additional retainage and shall pay Constructor the full amount due upon completion of each phase. Constructor may invoice for retainage upon final completion of a designated portion or phase of the work.
- 14.4. ADJUSTMENT OF CONSTRUCTOR'S PAYMENT APPLICATION Owner may adjust or reject a payment application or nullify a previously approved payment application, in whole or in part, as may reasonably be necessary to protect Owner from loss or damage based upon the following, to the extent that Constructor is responsible for such under this Agreement:
- 14.4.1. Constructor's repeated failure to perform the Work as required by the Contract Documents;
 - 14.4.2. loss or damage arising out of or relating to this Agreement and caused by Constructor to Owner or to others retained by Owner to whom Owner may be liable;
 - 14.4.3. Constructor's failure to properly pay either Subcontractors or Suppliers following receipt of payment from Owner for that portion of the work or for supplies, provided that Owner is making payments to Constructor in accordance with the terms of this Agreement;
 - 14.4.4. rejected or Defective Work not corrected in a timely fashion;
 - 14.4.5. reasonable evidence of delay in performance of the Work such that the Work will not be completed within the Contract Time;
 - 14.4.6. reasonable evidence demonstrating that the unpaid balance of the Contract Price is insufficient to fund the cost to complete the Work; and
 - 14.4.7. uninsured third-party claims involving Constructor or reasonable evidence demonstrating that third-party claims are likely to be filed unless and until Constructor furnishes Owner with adequate security in the form of a surety bond, letter of credit, or other collateral or commitment which are sufficient to discharge such claims if established.
 - 14.4.8. No later than seven (7) Days after receipt of an application for payment, Owner shall give written notice to Constructor disapproving or nullifying it or a portion of it, specifying the reasons for the disapproval or nullification. When the above reasons for disapproving or nullifying an application for payment are removed, payment shall be made for the amounts previously withheld.
- 14.5. PAYMENT DELAY If for any reason not the fault of Constructor, Constructor does not receive a progress payment from Owner within seven (7) Days after the time such payment is due, Constructor, upon giving seven (7) Days' written notice to Owner, and without prejudice to and in addition to any other legal remedies, may stop Work until payment of the full amount owing to Constructor has been received. If Constructor incurs costs or is delayed resulting from shutdown, delay, and start-up, Constructor may seek an equitable adjustment in the Contract Price or Contract Time.
- 14.6. SUBSTANTIAL COMPLETION Substantial Completion is defined as 100% progress billing invoiced date, minus retainage and punch list. When Substantial Completion of the Work or a designated portion or phase thereof is achieved, Constructor shall prepare an invoice. Unless otherwise provided in the Invoice, warranties required by the Contract Documents shall commence on the date of the Invoice for the Work or a designated portion.
- 14.6.1. Upon acceptance by Owner of the Invoice, Owner shall pay to Constructor the remaining retainage held by Owner for the work described and completed in the Invoice.
- 14.7. FINAL COMPLETION When final completion has been achieved, Constructor shall prepare for Owner's acceptance a final application for payment stating that to the best of Constructor's knowledge, and based on Owner's inspections, the Work has reached final completion in accordance with the Contract Documents.
- 14.7.1. Final payment of the balance of the Contract Price, including any remaining retainage plus any supplements and/or change orders, shall be made to Constructor within ten (10) Business Days after Constructor has submitted to Owner a complete and accurate application for final payment and the following submissions:
 - a. an affidavit declaring any indebtedness connected with the Work to have been paid, satisfied, or to be paid with the proceeds of final payment, so as not to encumber Owner's property;
 - b. as-built drawings, manuals, copies of warranties, and all other close-out documents required by the Contract Documents;
 - c. release of any liens, conditioned on final payment being received;
 - d. consent of any surety, if applicable; and
 - e. any outstanding known and unreported accidents or injuries experienced by Constructor or its subcontractors at the Worksite.
- 14.8. Claims not reserved by Owner in writing with the making of final payment shall be waived except for claims relating to liens or similar encumbrances, warranties, Defective Work, and latent defects. Unless Constructor provides written identification of unsettled claims known to Constructor at the time of making application for final payment, acceptance of final payment constitutes a waiver of such claims.
- 14.9. LATE PAYMENT Payments due but unpaid shall bear interest from the date payment is due at a rate of ten percent per week overdue.

ARTICLE 15 INDEMNITY

- 15.1. To the fullest extent permitted by law, Constructor shall indemnify and hold harmless Owner, Owner's officers, directors, members, consultants, agents, and employees and Design Professional (the "Indemnitees") from all claims for bodily injury and property damage, other than to the Work itself and other property insured under ARTICLE 16, including reasonable attorneys' fees, costs, and expenses, that may arise from the performance of the Work but only to the extent caused by the negligent or intentionally wrongful acts or omissions of Constructor, subcontractors, suppliers, or anyone



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- employed directly or indirectly by any of them or by anyone for whose acts any of them may be liable. Constructor shall be entitled to reimbursement of any defense costs paid above Constructor's percentage of liability for the underlying claim to the extent provided in the section immediately below.
- 15.2. To the fullest extent permitted by law, Owner shall indemnify and hold harmless Constructor, its officers, directors, or members, subcontractors, suppliers, or anyone employed directly or indirectly by any of them or anyone for whose acts any of them may be liable from all claims for bodily injury and property damage, other than property insured under ARTICLE 16, including reasonable attorneys' fees, costs, and expenses, that may arise from the performance of work by Owner, Design Professional, or others retained by Owner, but only to the extent caused by the negligent or intentionally wrongful acts or omissions of Owner, Design Professional, or others retained by Owner. Owner shall be entitled to reimbursement of any defense costs paid above Owner's percentage of liability for the underlying claim to the extent provided in the section immediately above.
- 15.3. NO LIMITATION ON LIABILITY In any and all claims against the Indemnitees by any employee of Constructor, anyone directly or indirectly employed by Constructor or anyone for whose acts Constructor may be liable, the indemnification obligation shall not be limited in any way by any limitation on the amount or type of damages, compensation, or benefits payable by or for Constructor under Workers' Compensation acts, disability benefit acts, or other employment benefit acts.

ARTICLE 16 INSURANCE

16. Before commencing the Work and as a condition precedent to payment, Constructor shall procure and maintain in force Workers' Compensation Insurance, Business Automobile Liability Insurance, and Commercial General Liability Insurance (CGL). Constructor shall maintain insurance for one year after Substantial Completion, or as required by the Contract Documents. If requested, Constructor shall provide Owner with certificates of the insurance coverage required. Business Automobile Liability, and CGL policies, as required in this article, shall be written with at least the following limits of liability:
- 16.1. Business Automobile Liability Insurance \$1,000,000 per accident.
- 16.2. CGL Insurance:
- \$1,000,000 per occurrence;
 - \$2,000,000 general aggregate;
 - \$2,000,000 products/completed operations aggregate;
 - \$1,000,000 personal and advertising injury limit.
- 16.3. Business Automobile Liability, and CGL coverage required in the subsection above may be arranged under a single policy for the full limits required or by a combination of underlying policies with the balance provided by excess or umbrella liability policies. Constructor shall maintain in effect all insurance coverage required in the section immediately above with insurance companies lawfully authorized to do business in the jurisdiction in which the Project is located.

ARTICLE 17 BONDS

17. Performance and Payment Bonds are not required of Constructor unless otherwise indicated. If required, such bonds shall be issued by a surety admitted in the state in which the Project is located and must be acceptable to Owner. Owner's acceptance shall not be withheld without reasonable cause. The penal sum of the Payment Bond shall equal the penal sum of the Performance Bond.

ARTICLE 18 LIMITED MUTUAL WAIVER OF CONSEQUENTIAL DAMAGES

18. Except for (a) losses covered by insurance required by the Contract Documents, or (b) specific items of damages excluded from this waiver as mutually agreed upon by the Parties and identified below, the Parties agree to waive all claims against each other for any consequential damages that may arise out of or relate to this Agreement. This article shall also apply to the termination of this Agreement and shall survive such termination. The Parties shall require similar waivers in contracts with subcontractors and others retained for the project.

ARTICLE 19 NOTICE TO CURE AND TERMINATION

- 19.1. NOTICE TO CURE A DEFAULT If Constructor persistently fails to supply enough qualified workers, proper materials, or equipment to maintain the approved Schedule of the Work or fails to make prompt payment to its workers, Subcontractors, or Suppliers, disregards law or orders of any public authority having jurisdiction, or is otherwise guilty of a material breach of a provision of this Agreement, Constructor may be deemed in default. If Constructor fails to commence and to continue satisfactory correction of such default with diligence and promptness within fourteen (14) days after written notification, then Owner shall give Constructor a second written notice to correct the default within a seven (7) business Day period.
- 19.2. TERMINATION BY OWNER If Constructor fails to promptly commence and continue satisfactory correction of the default following receipt and expiration of second notice to default, Owner may terminate this Agreement by written notice. If Owner's costs arising out of Constructor's failure to cure, including the costs of completing the Work and reasonable attorneys' fees, exceed the unpaid Contract Price, Constructor shall be liable to Owner for such excess costs. If Owner's costs are less than the unpaid Contract Price, Owner shall pay the difference to Constructor. If Owner exercises its rights under this section, upon the request of Constructor, Owner shall furnish to Constructor a detailed accounting of the costs incurred by Owner.
- 19.2.1. Owner shall make reasonable efforts to mitigate damages arising from Constructor default and shall promptly invoice Constructor for all amounts due.
- 19.3. TERMINATION BY CONSTRUCTOR Seven (7) Days after Owner's receipt of written notice from Constructor, Constructor may terminate this Agreement if the Work has been stopped for a fourteen (14) day period through no fault of Constructor for any of the following reasons: (a) under court order or order of other governmental authorities having jurisdiction; (b) as a result of the declaration of a national emergency or other governmental act during which, through no act or fault of Constructor, materials are not available.
- 19.3.1. See §14.5
- 19.3.2. In addition, upon seven (7) Days' written notice to Owner, and an opportunity to cure within seven (7) Days, Constructor may terminate the Agreement if Owner does any of the following: (a) fails to furnish reasonable evidence that sufficient funds are available and committed for the entire cost of the Project in accordance with §7.1; (b) assigns this Agreement over Constructor's reasonable objection; (c) fails to pay Constructor in accordance with this Agreement and Constructor has stopped work in compliance with applicable notice provisions; or (d) otherwise materially breaches this Agreement.
- 19.3.3. Upon termination by Constructor pursuant to this Agreement, Constructor shall be entitled to recover from Owner payment for all Work executed and for any proven loss, cost, or expense in connection with the Work, including all demobilization costs plus reasonable overhead and profit.
- 19.4. OBLIGATIONS ARISING BEFORE TERMINATION Even after termination the provisions of this Agreement still apply to any Work performed, payments made, events occurring, costs charged or incurred, or obligations arising before the termination date.

ARTICLE 20 DISPUTE MITIGATION AND RESOLUTION

- 20.1. CLAIMS FOR ADDITIONAL COST OR TIME Except as provided in ARTICLE 11 for any claim for an increase in the Contract Price or the Contract Time, Constructor shall give Owner written notice of the claim within fourteen (14) Days after the occurrence giving rise to the claim or within fourteen



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- (14) Days after Constructor first recognizes the condition giving rise to the claim, whichever is later. Except in an emergency, notice shall be given before beginning the Work. Any change in the Contract Price or the Contract Time resulting from such claim shall be authorized by Change Order.
- 20.2. **WORK CONTINUANCE AND PAYMENT** Constructor shall continue the Work and maintain the Schedule of the Work during any dispute resolution proceedings. If Constructor continues to perform, Owner shall continue to make payments in accordance with the Agreement.
- 20.3. **DIRECT SETTLEMENT DISCUSSIONS** If a dispute arises out of or relates to this Agreement or its breach, the Parties shall endeavor to settle the dispute through direct discussions. Within five (5) Business Days, the Parties' representatives, who shall possess the necessary authority to resolve such matter and who shall record the date of first discussions shall conduct direct discussions and make a good faith effort to resolve such dispute.
- 20.4. **MEDIATION** Disputes between Owner and Constructor not resolved by direct discussion shall be submitted to mediation. The Parties shall select the mediator within fifteen (15) Days of the request for mediation. Engaging in mediation is a condition precedent to litigation.
- 20.5. (not used)

ARTICLE 21 MISCELLANEOUS

- 21.1. **EXTENT OF AGREEMENT** Except as expressly provided, this Agreement is for the exclusive benefit of the Parties and not for the benefit of any third party. This Agreement represents the entire and integrated agreement between the Parties, and supersedes all prior negotiations, representations, or agreements, either written or oral.
- 21.2. **ASSIGNMENT** Except as to the assignment of proceeds, neither Party shall assign its interest in this Agreement, in whole or in part, without the written consent of the other Party. The terms and conditions of this Agreement shall be binding upon both Parties, their partners, successors, assigns, and legal representatives.
- 21.3. **GOVERNING LAW** The law in effect at the location of the Project shall govern unless sent to Litigation in which the Governing Law will be Tarrant County, TX.
- 21.4. **NOTICE** Unless changed in writing, a Party's address indicated below shall be used when delivering notice to a physical address. Except for Agreement termination and as otherwise specified in the Contract Documents, notice is effective upon transmission by any effective means, including U.S. postal service and overnight delivery service.
- 21.5. **JOINT DRAFTING** The Parties expressly agree that this Agreement was jointly drafted, and that they both had opportunity to negotiate terms and to obtain assistance of counsel in reviewing terms before execution. This Agreement shall be construed neither against nor in favor of either Party, but shall be construed in a neutral manner.

I acknowledge that I have read and understand the above Prime Contract, as well as the attached scope of work, exhibits, and schedule of values. I understand this estimate is valid for 14 days, after which, pricing and scheduling will need to be re-evaluated. By signing below, I am acknowledging that I have the authority to sign on behalf of my organization and authorize work to commence.

IN WITNESS WHEREOF, THIS AGREEMENT AND EXHIBITS IS EXECUTED BY:

<p><u>Constructor</u> Marseal Group, LLC 208 N HWY 377 Roanoke, TX 76262 833-627-7325</p>	<p><u>Owner</u> City of Keller 1100 Bear Creek Pkwy Keller, TX 76248 817-743-4000</p>
--	--

By: _____
Name: _____
Title: _____
Date: _____

By: _____
Name: _____
Title: _____
Date: _____



INITIALS _____

CONTRACT

EXHIBIT A

SCHEDULE OF VALUES

Item	Description	Amount
Mobilization	30% due before work commences.	\$573,268.58
Substantial Completion	Town Hall – ID 68	\$145,601.59
	Keller Pointe – ID 105	\$482,757.88
	Public Library – ID 24	\$381,627.03
	Police Department – ID 23	\$232,095.42
Retainage	5% billed upon final completion after walkthrough.	\$95,544.76
	TOTAL:	\$1,910,895.26
Add-Alternate: Option 1	Johns Manville warranty repairs.	\$19,494
Add-Alternate: Option 2	Total replacement of polycarbonate awnings.	Price TBD
	Total w/ Option 1 added:	\$1,924,777.66
	Total w/ Option 2 added:	Price TBD
	Total w/ Option 1 & 2 added:	Price TBD

THIS PRICE IS VALID FOR 14 CALENDAR DAYS.

Substantial Completion is defined as: All roofing is installed and trim work has been scheduled.



INITIALS _____

CONTRACT

EXHIBIT B



INITIALS _____

CONTRACT _____



COMPLETE SOLUTION

Complete range of accessories and other roofing system components. Comprehensive technical support from concept to completion.



PROFITABLE

Fast growing market for commercial and industrial roofing projects.



TPO SIMPLIFIED

One membrane for all roof areas and applications. Wide welding window.



ECOLOGICAL

Does not contain plasticizers, halogens or heavy metals. Does not release harmful substances.



PROVEN PRODUCT

High quality formulation and consistent, durable performance.



PREMIUM QUALITY

SINCE 1996

FIRESTONE'S ULTRAPLY TPO IS A FLEXIBLE THERMOPLASTIC POLYOLEFIN (TPO) ROOFING MEMBRANE MADE FROM THE INCORPORATION OF AN ETHYLENE PROPYLENE RUBBER INTO A POLYPROPYLENE MATRIX AND PRODUCED WITH A POLYESTER WEFT-INSERTED SCRIM REINFORCEMENT.

IT COMBINES THE FLEXIBILITY OF RUBBER WITH THE HEAT WELDABILITY OF A THERMOPLASTIC INTO A MEMBRANE WITH EXCELLENT LAYFLAT CHARACTERISTICS.

WITH AN UNCHANGED FORMULATION SINCE 1996, ULTRAPLY TPO IS THE SMART CHOICE WHEN SEEKING A LIGHT COLORED, ENVIRONMENTALLY FRIENDLY ROOFING SYSTEM THAT COMBINES AESTHETICS WITH STRONG RESISTANCE TO UV RADIATION, WEATHERING AND OUTSTANDING SEAM STRENGTH.



INITIALS _____

CONTRACT



COMPLETE SOLUTION FROM A SINGLE SOURCE

The secret of a high-performance and durable roofing system is not limited to the waterproofing membrane. Firestone Building Products is therefore committed to delivering high quality, compatible products and comprehensive support at each step of the process.

Firestone's complete range of roofing accessories, including bonding adhesives, flashings and premolded accessories, etc., is designed to guarantee the best results. Other roofing system components such as PIR insulation boards, cover boards and vapor control layers are also available from Firestone. All have been optimized to work well together, which further enhances the overall system performance.

Besides using superior products, the key to a successful roofing project is a high quality installation. Firestone Building Products offers its network of contractors comprehensive technical support at every step of the way, including training programs from beginners to advanced level, on-site assistance at job start-up and roof inspections, among others.



INITIALS _____

CONTRACT

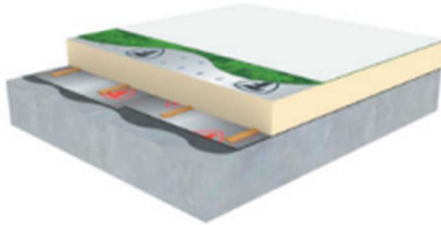
CHOOSING THE RIGHT SYSTEM

Firestone offers a variety of installation options to meet the most demanding rooftop challenges for both renovation and new build projects.



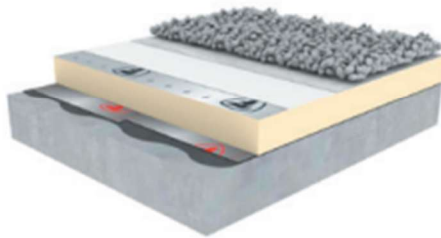
MECHANICALLY ATTACHED SYSTEM

Membrane panels are attached in the overlaps of adjoining sheets using approved plates and fasteners. The induction welding system is a non-penetrating variation of the conventional mechanically attached system, where membrane panels are welded on a grid of TPO induction welding plates.



FULLY ADHERED SYSTEM

Membrane panels are fully adhered directly to an acceptable substrate Firestone bonding adhesives.



BALLASTED SYSTEM

The membrane is loosely laid over the substrate and held in place using approved ballast.



INITIALS _____

CONTRACT

PROVEN PRODUCT

UltraPly TPO is a premium roofing membrane that is compounded using a proper balance of flexible polyolefin polymers, high quality UV, heat and ozone stabilizers, antioxidants, non-halogenated fire retardants and pigments.

The right chemical balance - the correct formulation - is key to the long-term performance of the membrane.

With an unchanged formulation since 1996, UltraPly TPO exhibits excellent lab and real-world results, even after decades of exposure in regions with high UV radiation levels.

PROFITABLE

Thermoplastic polyolefin (TPO) membranes, available in the market since the late 1990s, are one of today's fastest growing products for commercial and industrial roofing projects. But not all TPO membranes are the same.

The resilience and durability of UltraPly TPO, paired with the full support offered by Firestone every step of the way, translates into smooth, problem-free jobs and more satisfied customers.

Join Firestone's network of authorized contractors today and find out why Nobody Covers you Better than Firestone.



INITIALS _____

CONTRACT



| ECOLOGICAL

The UltraPly TPO roofing membrane has a low environmental impact. It does not contain plasticizers, halogens or heavy metals and does not release harmful substances.

The UltraPly TPO roofing system also contributes to achieving high rating levels in green building programs such as BREEAM and LEED and delivers a reliable, safe and durable solution for green, solar and blue roofs.



INITIALS _____

CONTRACT



THE FIRESTONE DIFFERENCE

WE'VE GOT YOU COVERED

Quality products, outstanding service, advanced systems, extensive list of codes and approvals, expertise... These are just a few reasons why architects, specifiers, contractors and building owners have trusted Firestone Building Products since 1980.

Part of Holcim Ltd, the world's global leader in building solutions, Firestone Building Products consistently delivers the two critical characteristics that all end-customers demand: outstanding durability and low life cycle cost.

ENVIRONMENTAL INITIATIVE

At Firestone Building Products, our environmental mission is simple: to help ensure a healthy environment for current and future generations. We are constantly striving to develop eco-friendly products and processes that pave the way for a brighter tomorrow.

Firestone

Firestone Building Products

www.firestonebpe.com

This brochure is meant only to highlight Firestone's products and specifications. Information is subject to change without notice. All products and specifications are listed in approximate weights and measurements. For complete product and detail information, please refer to the technical information posted on www.firestonebpe.com. Firestone takes responsibility for furnishing quality materials which meet Firestone's published product specifications. As neither Firestone itself nor its representatives practice architecture, Firestone offers no opinion on and expressly disclaims any responsibility for the soundness of any structure on which its products may be applied. If questions arise as to the soundness of a structure or its ability to support a planned installation properly, the owner should obtain opinions of competent structural engineers before proceeding. Firestone accepts no liability for any structural failure or for resultant damages and no Firestone Representative is authorized to vary this disclaimer.

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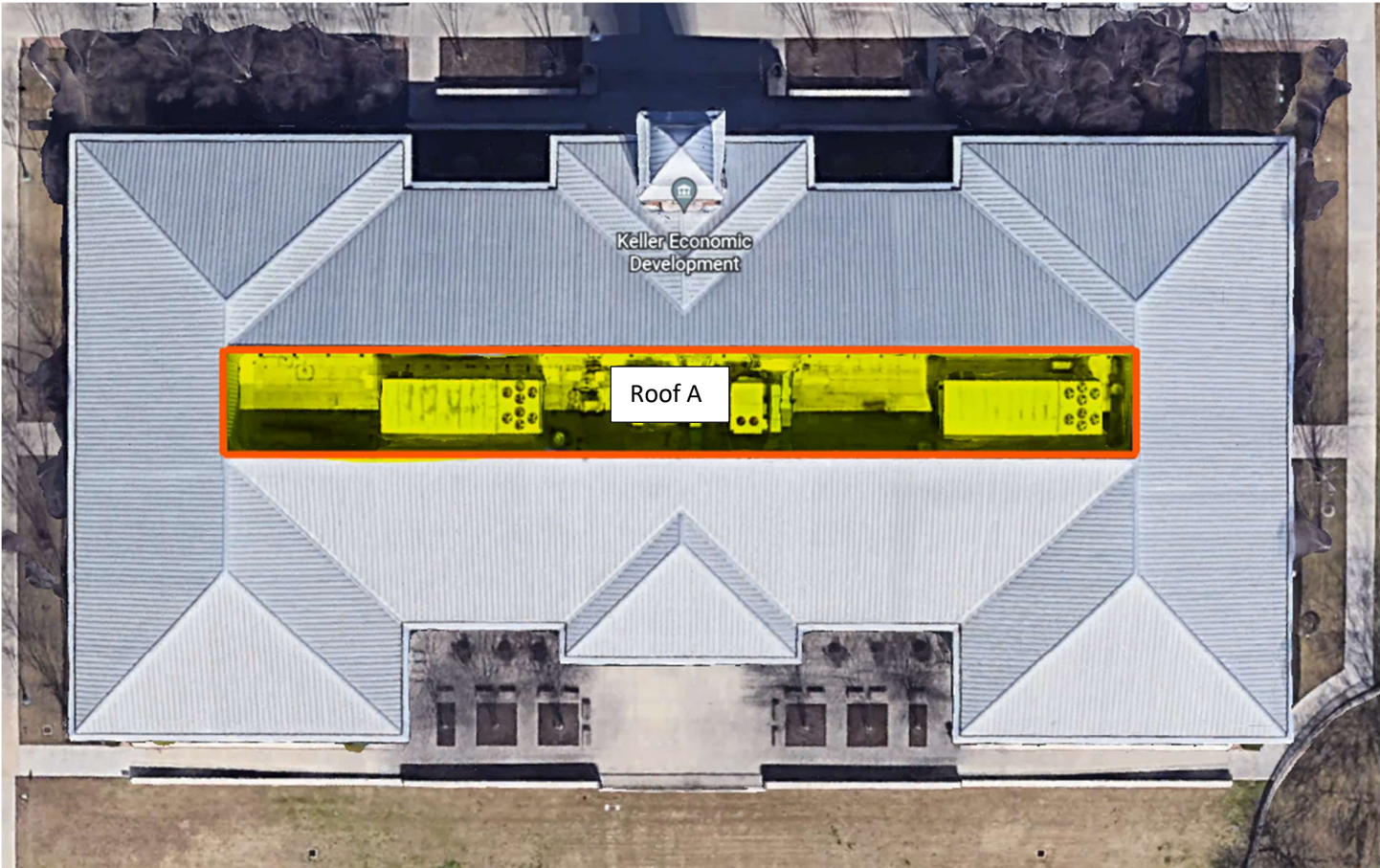
INITIALS _____

CONTRACT

EXHIBIT C – i.

Keller Town Hall
1100 Bear Creek Pkwy
Keller, TX 76248

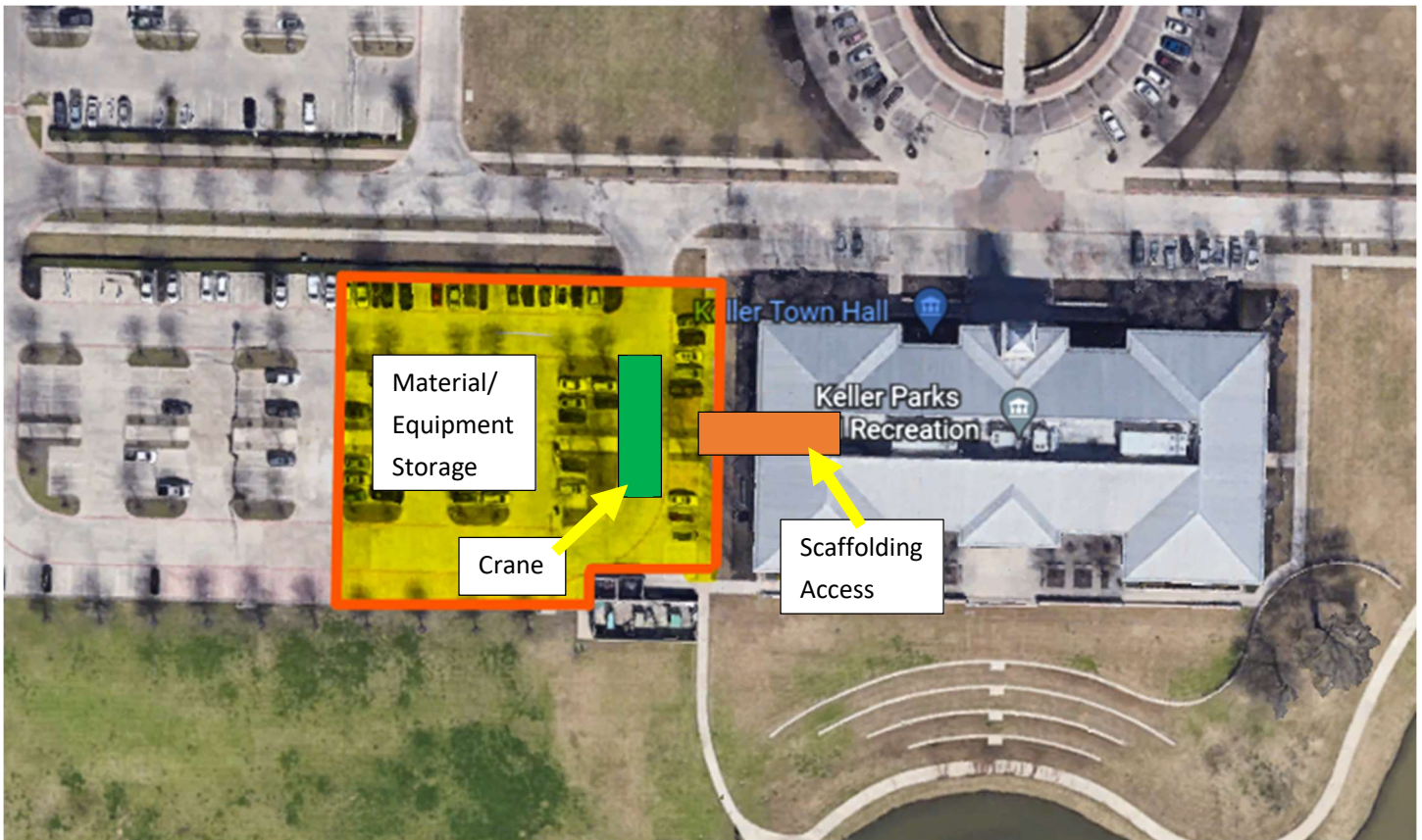
Roofs to be replaced:



INITIALS _____

EXHIBIT A

Property Staging Map:



INITIALS _____

EXHIBIT A

EXHIBIT C – ii.

Keller Pointe
405 Rufe Snow Dr
Keller, TX 76248

Roofs to be replaced:



INITIALS _____

EXHIBIT A

Property Staging Map:



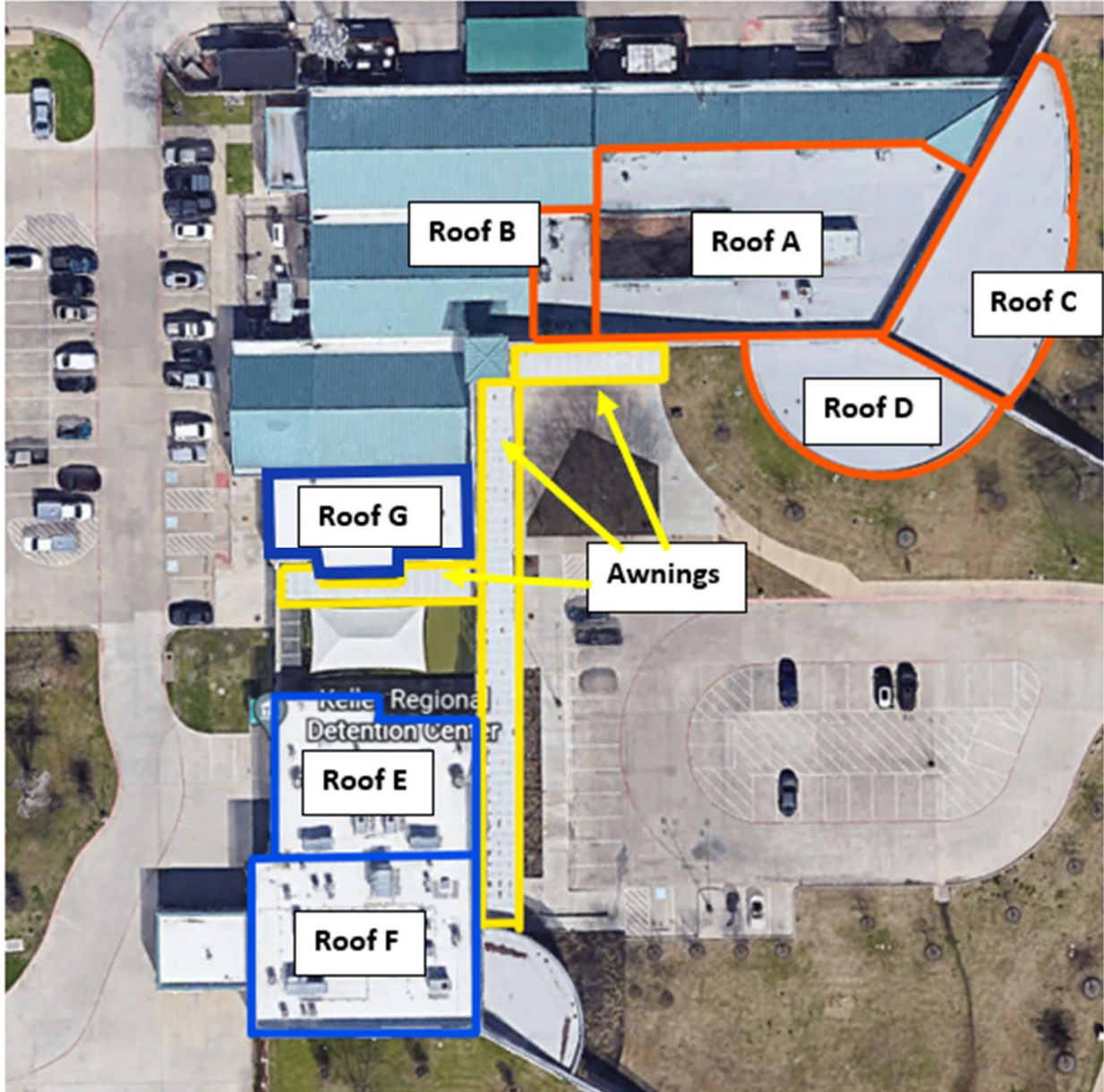
INITIALS _____

EXHIBIT A

EXHIBIT C – iii.

Keller Police Department
330 Rufe Snow Dr
Keller, TX 76248

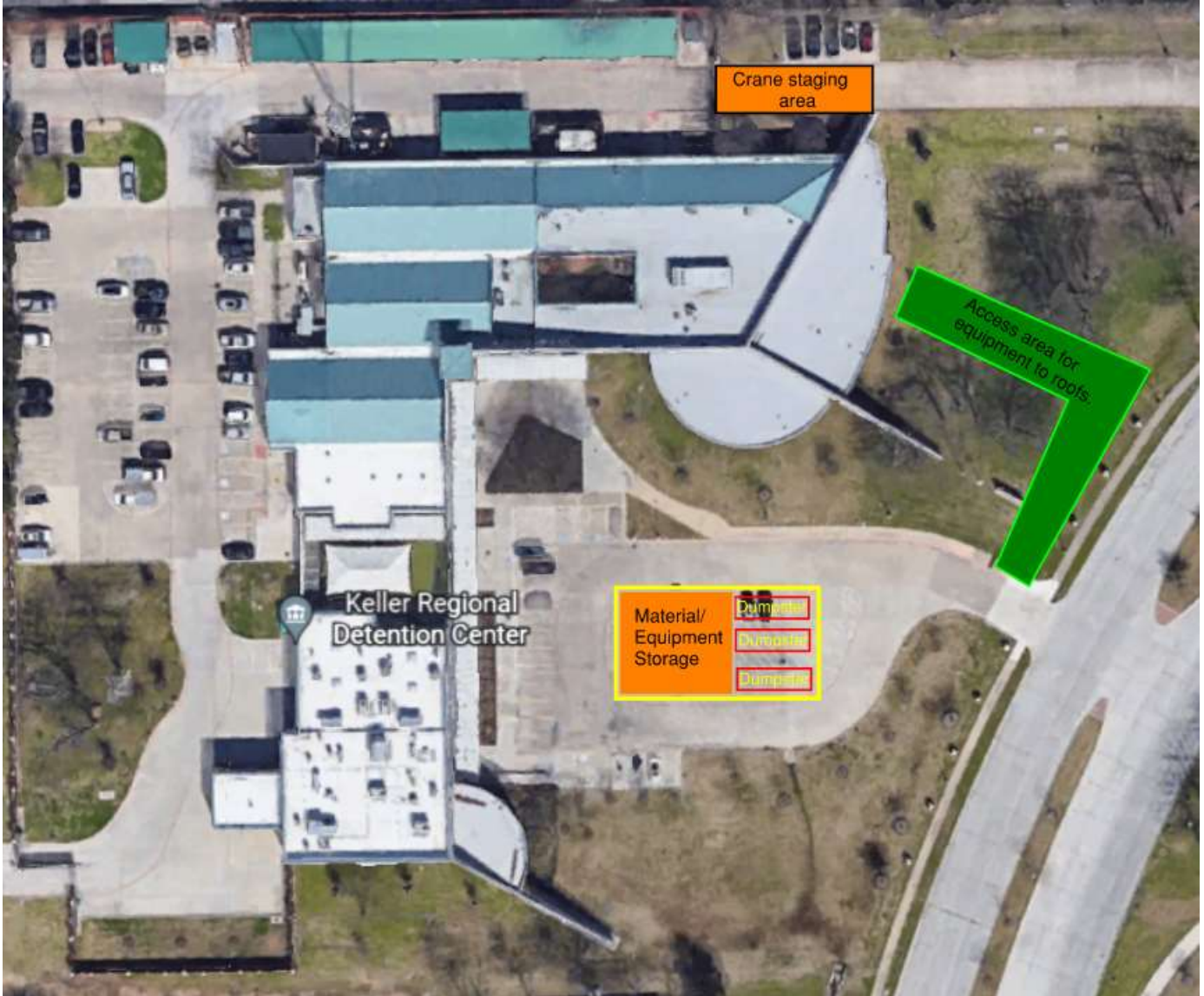
Roofs to be replaced outlined below:



INITIALS _____

EXHIBIT A

Property Staging Map:



INITIALS _____

EXHIBIT A



April 6, 2022

Guarantee Nbr: ANT117239228
Case Tracking Nbr: 00634775
Completion Date: 3/7/2014
Term: 20 Year
Squares: 142
Spec: ST6RA

Property

Keller Animal & Police Expansion
820 Rufe Snow
Keller, TX 76248

Building Owner

City of Keller
1100 Bear Creek Pkwy
Keller, TX 76248

Dear Building Owner:

Your roof system is a significant investment that, like other assets exposed to the elements, requires periodic, routine inspections, service and maintenance. Recently, Johns Manville (JM) conducted a roof inspection on the above referenced property.

Please note below the roof deficiencies/repairs. These deficiencies/repairs and any resulting impact upon the roofing system are not covered under the express terms and conditions of the JM Guarantee. As such, they are your responsibility to correct/address.

Deficiencies/repairs that are the responsibility of the Owner:

- 1: (Refer to picture 1-31) Cuts / damage to membrane caused by unknown trade.. Clean and patch with reinforced membrane..
- 2: (Refer to picture 1-32) Improper material used. Remove unapproved material and install proper materials where marked..
- 3: (Refer to picture 1-35) Improper material used. Remove unapproved material and install proper materials where marked..
- 4: (Refer to picture 1-36) Improper material used. Remove unapproved material and install proper materials where marked..
- 5: (Refer to picture 1-37) Cuts / damage to membrane caused by unknown trade.. Clean and patch with reinforced membrane..
- 6: (Refer to picture 1-38) Cuts / damage to membrane caused by unknown trade.. Clean and patch with reinforced membrane.
- 7: (Refer to picture 1-39) Cuts / damage to membrane caused by unknown trade.. Clean and patch with reinforced membrane.
- 8: (Refer to picture 1-40) Cuts / damage to membrane caused by unknown trade.. Clean and patch with reinforced membrane.
- 9: (Refer to picture 1-43) Cuts / damage to membrane caused by unknown trade.. Clean and patch with reinforced membrane.
- 10: (Refer to picture 1-44) Improper material used. Remove unapproved material and install proper materials where marked..
- 11: (Refer to picture 1-45) Cuts / damage to membrane caused by unknown trade.. Clean and patch with reinforced membrane..
- 12: (Refer to picture 1-46) Improper material used. Remove unapproved material and install proper materials where marked..

13: (Refer to picture 1-48) Improper material used. Remove unapproved material and install proper materials where marked..

You must correct these deficiencies within sixty (60) days of the date of this letter. As outlined in the JM Guarantee, any roof-related work must be performed by a JM Approved Repair Contractor. After the noted repairs have been made, please have the repair contractor sign the attached report, provide proof of repairs and send the same to Case Resolution at the address below. All completed repairs will be inspected to the full and sole satisfaction of JM.

If JM does not receive confirmation of a contractor's satisfactory completion of the noted work within sixty (60) days from this letter, then (without further notice to you) JM will change the JM Guarantee status to "Suspended".

To better facilitate this process, JM is providing the following JM Approved Repair Contractor in your area.

Phone:

Fax:

If you have or prefer a different contractor to perform the work, or have a question relating to a contractor's approval status, please contact Case Resolution.

In the event that this letter has been delivered to the wrong person, please forward to the appropriate individual.

Thank you for using Johns Manville products and services. If JM can be of any further assistance, please do not hesitate to contact us.

Owner Services | Roofing Systems Group

Johns Manville | A Berkshire Hathaway Company

W: +1-800-922-5922 option 1

Email: OwnerServices@jm.com

Website: www.jm.com

Social: @JMRoofingSystem

DISCLAIMER: Johns Manville is a manufacturer of commercial roofing products and offers this general conceptual information to you as a courtesy. This complimentary assistance is not to be used or relied upon by anyone as a substitute for professional engineering design and documentation required by building code, contract or applicable law. By accepting these comments you agree they do not constitute any representation, endorsements of, or an assumption by Johns Manville of any liability for either the adequacy of the design of this building or any other material not supplied by Johns Manville.



Site Visit Report - GSR

Guarantee Number: ANT117239228

Inspection Date: March 31, 2022
Inspected By: Anthony Rodriguez
Job Name: Keller Animal & Police Exapnsion
Primary Roof Type: TPO
Squares: 142
Case Tracking Number: 00634775

Property

Keller Animal & Police Exapnsion
820 Rufe Snow
Keller, TX 76248

Building Owner

City of Keller
1100 Bear Creek Pkwy
Keller, TX 76248

Roof Leaking: No
Contractor: ---
Claims Specialist: Meaghan Mulhern

Site Visit:

Weather Conditions: ---
Owner / Site Contact Present: No
Owner / Site Contact Name: ---
Contractor Present: No
Contractor Representative: ---
Others Present: ---
Owner Advised of Findings: No

Field Report:

Owner's Comments:

None

Recommendations / Scope of Work

Owner maintenance items noted:

- 1: (Refer to picture 1.31) Cuts / damage to membrane caused by unknown trade.. Clean and patch with reinforced membrane.
- 2: (Refer to picture 1.32) Improper material used. Remove unapproved material and install proper materials where marked.
- 3: (Refer to picture 1.35) Improper material used. Remove unapproved material and install proper materials where marked.
- 4: (Refer to picture 1.36) Improper material used. Remove unapproved material and install proper materials where marked.
- 5: (Refer to picture 1.37) Cuts / damage to membrane caused by unknown trade.. Clean and patch with reinforced membrane.
- 6: (Refer to picture 1.38) Cuts / damage to membrane caused by unknown trade.. Clean and patch with reinforced membrane
- 7: (Refer to picture 1.39) Cuts / damage to membrane caused by unknown trade.. Clean and patch with reinforced membrane
- 8: (Refer to picture 1.40) Cuts / damage to membrane caused by unknown trade.. Clean and patch with reinforced membrane
- 9: (Refer to picture 1.43) Cuts / damage to membrane caused by unknown trade.. Clean and patch with reinforced membrane
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- 11: (Refer to picture 1.45) Cuts / damage to membrane caused by unknown trade.. Clean and patch with reinforced membrane.
- 12: (Refer to picture 1.46) Improper material used. Remove unapproved material and install proper materials where marked.
- 13: (Refer to picture 1.48) Improper material used. Remove unapproved material and install proper materials where marked.

Photos taken during the inspection are attached.

Please have these issues corrected by a JM Approved Repair Contractor within sixty (60) days and send a signed copy of this report and proof of such repairs to JM Guarantee Services at the following fax number: +1 877-403-1747.

For questions related to this site visit report, please contact:

Anthony Rodriguez

Technical Representative

Johns Manville Roofing Systems

(469) 967-4947

anthony.rodriquez@jm.com

Johns Manville is a manufacturer of commercial roofing products and offers this general conceptual information to you as a courtesy. This complimentary assistance is not to be used or relied upon by anyone as a substitute for professional engineering design and documentation required by building code, contract or applicable law. By accepting these comments you agree they do not constitute any representations, endorsements of, or an assumption by Johns Manville of any liability for either the adequacy of the design of this building or any other material not supplied by Johns Manville.

Tracking Num... 7239228
 Guarantee Nu... ANT117239228
 Inspection Date: Thursday, March 31, 2022
 Inspected By: Anthony Rodriguez

***** Inspection Photographs *****

Contractor ARCADIA ROOFING
 Property Keller Animal & Police Exapnsion
 820 Rufe Snow
 Keller, TX 76248



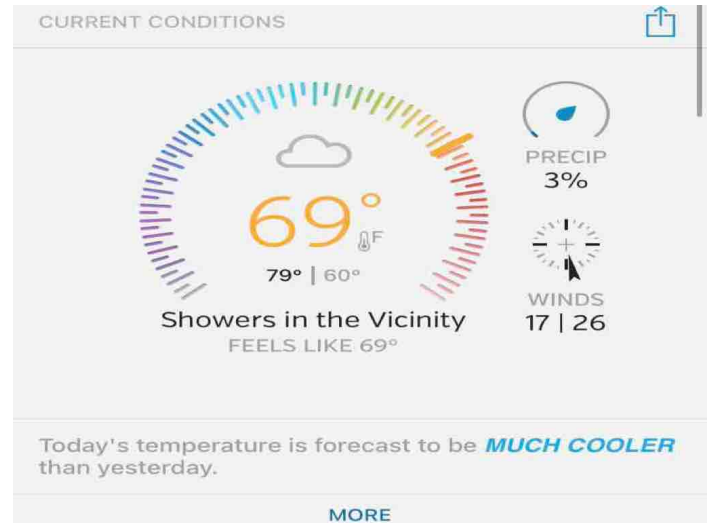
Group: 1.1 -
 Category: Building View



Group: 1.2 -
 Category: Building View



Group: 1.3 -
 Category: Address Verification



Group: 1.4 -
 Category: Weather

Tracking Numb... 7239228
Guarantee Nu... ANT117239228
Inspection Date: Thursday, March 31, 2022
Inspected By: Anthony Rodriguez

***** Inspection Photographs *****

Contractor ARCADIA ROOFING
Property Keller Animal & Police Exapnsion
820 Rufe Snow
Keller, TX 76248



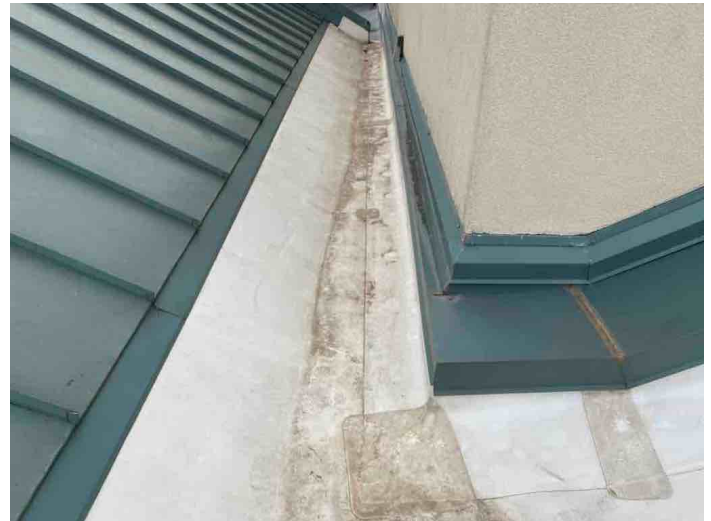
Group: 1.5 -
Category: Roof Access



Group: 1.6 -
Category: Roof Access



Group: 1.7 -
Category: Overview



Group: 1.8 -
Category: Overview



Johns Manville

Tracking Numb... 7239228
Guarantee Nu... ANT117239228
Inspection Date: Thursday, March 31, 2022
Inspected By: Anthony Rodriguez

***** Inspection Photographs *****

Contractor ARCADIA ROOFING
Property Keller Animal & Police Exapnsion
820 Rufe Snow
Keller, TX 76248



Group: 1.9 -
Category: Overview



Group: 1.10 -
Category: Overview



Group: 1.11 -
Category: Overview



Group: 1.12 -
Category: Overview

Tracking Numb... 7239228
Guarantee Nu... ANT117239228
Inspection Date: Thursday, March 31, 2022
Inspected By: Anthony Rodriguez

***** Inspection Photographs *****

Contractor ARCADIA ROOFING
Property Keller Animal & Police Exapnsion
820 Rufe Snow
Keller, TX 76248



Group: 1.13 -
Category: Overview



Group: 1.14 -
Category: Overview



Group: 1.15 -
Category: Overview



Group: 1.16 -
Category: Overview

Tracking Numb... 7239228
Guarantee Nu... ANT117239228
Inspection Date: Thursday, March 31, 2022
Inspected By: Anthony Rodriguez

***** Inspection Photographs *****

Contractor ARCADIA ROOFING
Property Keller Animal & Police Exapnsion
820 Rufe Snow
Keller, TX 76248



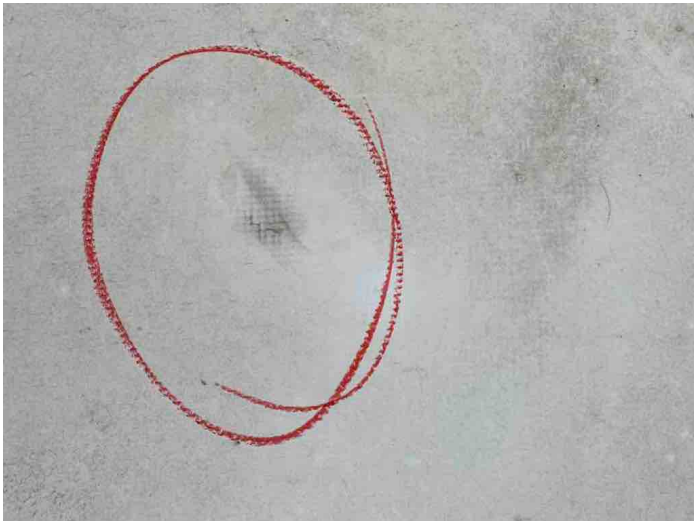
Group: 1.17 -
Category: Typical Detail

Comments: View of hail strike that did not penetrate roof membrane



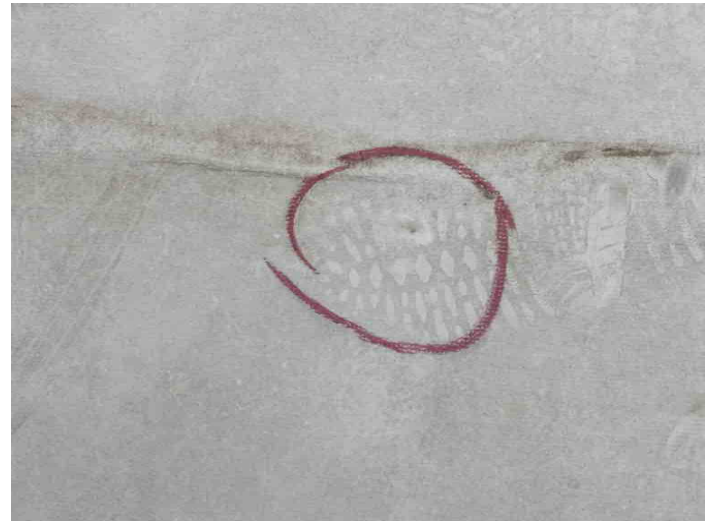
Group: 1.18 -
Category: Typical Detail

Comments: View of hail strike that did not penetrate roof membrane



Group: 1.19 -
Category: Typical Detail

Comments: View of hail strike that did not penetrate roof membrane



Group: 1.20 -
Category: Typical Detail

Comments: View of hail strike that did not penetrate roof membrane

Tracking Num... 7239228
Guarantee Nu... ANT117239228
Inspection Date: Thursday, March 31, 2022
Inspected By: Anthony Rodriguez

***** Inspection Photographs *****

Contractor ARCADIA ROOFING
Property Keller Animal & Police Exapnsion
 820 Rufe Snow
 Keller, TX 76248



Group: 1.21 -
Category: Typical Detail

Comments: View of hail strike that did not penetrate membrane



Group: 1.22 -
Category: Typical Detail

Comments: View of hail strike that did not penetrate roof membrane



Group: 1.23 -
Category: Typical Detail

Comments: View of hail strike that did not penetrate roof membrane



Group: 1.24 -
Category: Typical Detail

Comments: View of hail strike on coping

Tracking Numb... 7239228
Guarantee Nu... ANT117239228
Inspection Date: Thursday, March 31, 2022
Inspected By: Anthony Rodriguez

***** Inspection Photographs *****

Contractor ARCADIA ROOFING
Property Keller Animal & Police Exapnsion
820 Rufe Snow
Keller, TX 76248



Group: 1.25 -
Category: Typical Detail
Comments: View of hail strikes on coping



Group: 1.26 -
Category: Typical Detail
Comments: View of hail strikes on exhaust cap



Group: 1.27 -
Category: Typical Detail
Comments: View of hail strike that did not penetrate roof membrane

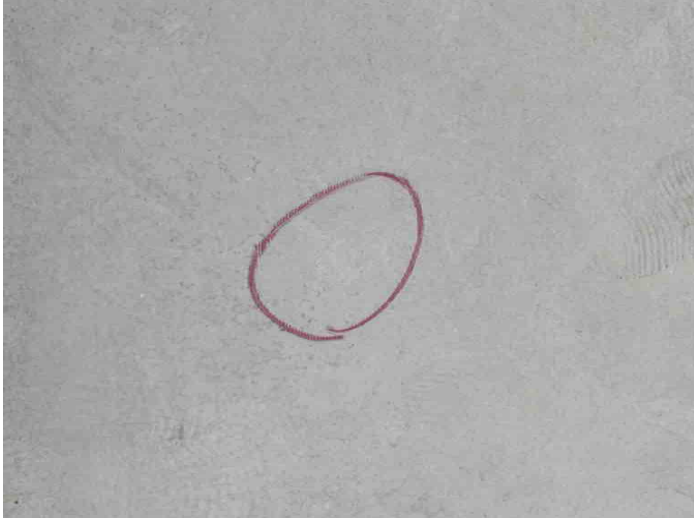


Group: 1.28 -
Category: Typical Detail
Comments: View of hail strike that did not penetrate roof membrane

Tracking Numb... 7239228
Guarantee Nu... ANT117239228
Inspection Date: Thursday, March 31, 2022
Inspected By: Anthony Rodriguez

***** Inspection Photographs *****

Contractor ARCADIA ROOFING
Property Keller Animal & Police Exapnsion
820 Rufe Snow
Keller, TX 76248



Group: 1.29 -
Category: Typical Detail

Comments: View of hail strike that did not penetrate roof membrane



Group: 1.30 -
Category: Typical Detail

Comments: View of hail strike that did not penetrate roof membrane



Group: 1.31 -
Category: Item

Issue (Owner): Cuts / damage to membrane caused by unknown trade.

Resolution (Owner): Clean and patch with reinforced membrane.



Group: 1.32 -
Category: Item

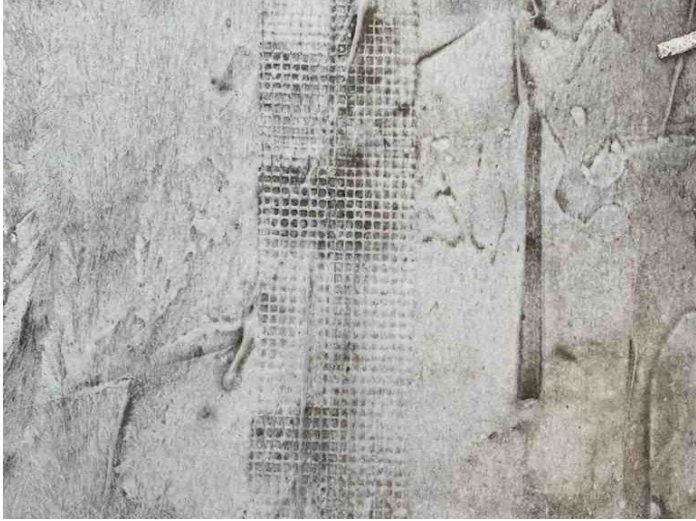
Issue (Owner): Improper material used

Resolution (Owner): Remove unapproved material and install proper materials where marked.

Tracking Numb... 7239228
Guarantee Nu... ANT117239228
Inspection Date: Thursday, March 31, 2022
Inspected By: Anthony Rodriguez

***** Inspection Photographs *****

Contractor ARCADIA ROOFING
Property Keller Animal & Police Exapnsion
 820 Rufe Snow
 Keller, TX 76248



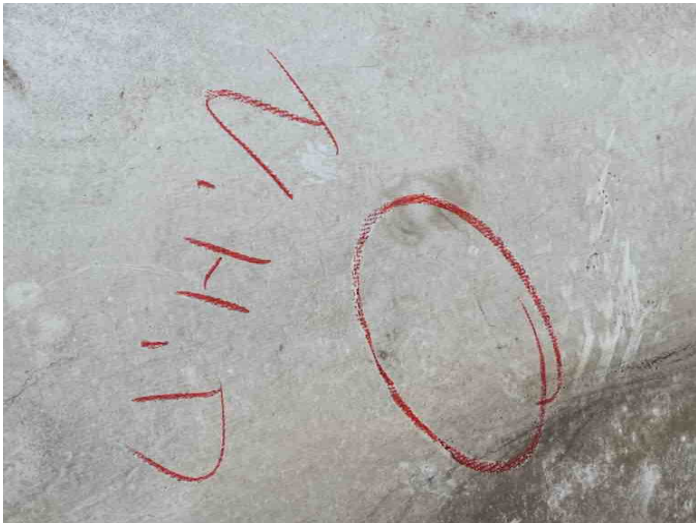
Group: 1.35 -
Category: Item

Issue (Owner): Improper material used
Resolution (Owner): Remove unapproved material and install proper materials where marked.



Group: 1.36 -
Category: Item

Issue (Owner): Improper material used
Resolution (Owner): Remove unapproved material and install proper materials where marked.



Group: 1.37 -
Category: Item

Issue (Owner): Cuts / damage to membrane caused by unknown trade.
Resolution (Owner): Clean and patch with reinforced membrane.



Group: 1.38 -
Category: Item

Issue (Owner): Cuts / damage to membrane caused by unknown trade.
Resolution (Owner): Clean and patch with reinforced membrane

Tracking Numb... 7239228
Guarantee Nu... ANT117239228
Inspection Date: Thursday, March 31, 2022
Inspected By: Anthony Rodriguez

***** Inspection Photographs *****

Contractor ARCADIA ROOFING
Property Keller Animal & Police Exapnsion
 820 Rufe Snow
 Keller, TX 76248



Group: 1.39 -
Category: Item

Issue (Owner): Cuts / damage to membrane caused by unknown trade.

Resolution (Owner): Clean and patch with reinforced membrane



Group: 1.40 -
Category: Item

Issue (Owner): Cuts / damage to membrane caused by unknown trade.

Resolution (Owner): Clean and patch with reinforced membrane



Group: 1.43 -
Category: Item

Issue (Owner): Cuts / damage to membrane caused by unknown trade.

Resolution (Owner): Clean and patch with reinforced membrane



Group: 1.44 -
Category: Item

Issue (Owner): Improper material used

Resolution (Owner): Remove unapproved material and install proper materials where marked.

Tracking Num... 7239228
Guarantee Nu... ANT117239228
Inspection Date: Thursday, March 31, 2022
Inspected By: Anthony Rodriguez

***** Inspection Photographs *****

Contractor ARCADIA ROOFING
Property Keller Animal & Police Exapnsion
 820 Rufe Snow
 Keller, TX 76248



Group: 1.45 -
Category: Item

Issue (Owner): Cuts / damage to membrane caused by unknown trade.

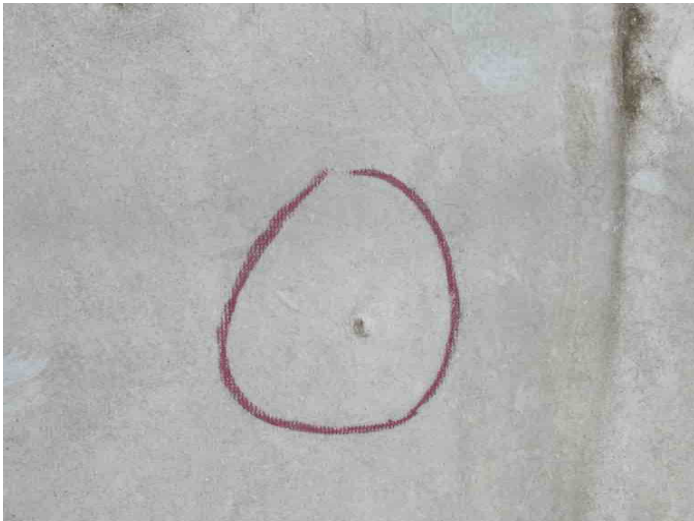
Resolution (Owner): Clean and patch with reinforced membrane.



Group: 1.46 -
Category: Item

Issue (Owner): Improper material used

Resolution (Owner): Remove unapproved material and install proper materials where marked.



Group: 1.47 -
Category: Item



Group: 1.48 -
Category: Item

Issue (Owner): Improper material used

Resolution (Owner): Remove unapproved material and install proper materials where marked.

EXHIBIT C – iv.

Keller Public Library
640 Johnson Rd
Keller, TX 76248

Roofs to be replaced are outlined below:



INITIALS _____

EXHIBIT A

Property Staging Map:



INITIALS _____

EXHIBIT A

EXHIBIT D – i.

Keller Town Hall
1100 Bear Creek Pkwy
Keller, TX 76248

SCOPE OF WORK

Marseal Group will begin the process by installing temporary barriers around the areas specified in the Property Staging Map. Equipment, dumpsters, and materials will be staged prior to any work being performed. Per the insurance estimate, Marseal Group proposes replacing Roof A in its entirety. The new roofing system will be manufactured by Firestone. This system will be fully adhered 60mil TPO and the ISO insulation will be fully adhered per manufacturer specifications. The R-Value will meet applicable city ordinances as well as meeting the 2018 IECC code. This system will be relying on the current deck slope, roof drains and scuppers for adequate drainage. A cricket system will be installed to aid in roof drainage. The roofing systems being replaced will qualify for a 20yr NDL warranty up to 90 mph winds pending successful completion of pull tests.

SCOPE OF WORK BY DIVISION

01 General Requirements

- Marseal Group will provide General Liability Insurance.
- Marseal Group will provide all necessary documentation and follow any specifications needed to achieve the 20yr NDL warranty per the manufacturer's request.

05 Metals

- The counter flashing on Roof A will be replaced.

07 Thermal & Moisture Protection

- Roof A will be replaced in its entirety.

11 Equipment

- Marseal Group will provide the necessary equipment to be able to perform the work needed.
- As outlined in Exhibit C – i., the crane will need to be staged on the West side of the building to allow materials and debris to be transported from the roof to the ground.

14-80 Scaffolding

- Marseal Group will install scaffolding to access the roof.

23 HVAC

- As specified in Exhibit E – i., all mechanical items listed in the scope will be completed.

26 Electrical

- The lightning rod protection system will be detached and reset after the roofing systems are complete.
- Marseal Group will receive a recertification from the installer once the system is reset.



INITIALS _____

EXHIBIT A

EXHIBIT D – ii.

Keller Pointe
405 Rufe Snow Dr
Keller, TX 76248

SCOPE OF WORK

Marseal Group will begin the process by installing temporary barriers around the areas specified in the Property Staging Map. Equipment, dumpsters, and materials will be staged prior to any work being performed. Per the insurance estimate, Marseal Group proposes replacing Roofs A, B, C, E, H, J, K, L, M, N, O, Y, and Z in their entirety. The new roofing system will be manufactured by Firestone. This system will be fully adhered 60mil TPO and the ISO insulation will be mechanically attached per manufacturer specifications. The R-Value will meet applicable city ordinances as well as meeting the 2018 IECC code. This system will be relying on the current deck slope, roof drains and scuppers for adequate drainage. The roofing systems being replaced will qualify for a 20yr NDL warranty up to 90 mph winds pending successful completion of pull tests.

SCOPE OF WORK BY DIVISION

01 General Requirements

- Marseal Group will provide General Liability Insurance.
- Marseal Group will provide all necessary documentation and follow any specifications needed to achieve the 20yr NDL warranty per the manufacturer's request.

05 Metals

- For all roofs being replaced, Marseal Group will install new counter flashing.

07 Thermal & Moisture Protection

- Roofs A, B, C, E, H, J, K, L, M, N, O, Y, and Z will be replaced in their entirety.

11 Equipment

- Marseal Group will provide the necessary equipment to be able to perform the work needed.
- As outlined in Exhibit C – ii., the crane will need to be staged in the specified location to perform the necessary lifting of debris and materials to complete the job.

23 HVAC

- As specified in Exhibit E – ii., all mechanical items listed in the scope will be completed.

26 Electrical

- The lightning rod protection system will be detached and reset after the roofing systems are complete.
- The current system does not cover Roof E. To obtain a new certification, Roof E must be added to the system to obtain a recertification. (Please refer to Exhibit E – ii. where you will find a proposal from Bonded Systems, Ltd., this company states this issue in the “Adders” paragraph.



INITIALS _____

EXHIBIT B

EXHIBIT D – iii.

Keller Police Department
330 Rufe Snow Dr
Keller, TX 76248

SCOPE OF WORK

Marseal Group will begin the process by installing temporary barriers around the areas specified in the Property Staging Map. Equipment, dumpsters, and materials will be staged prior to any work being performed. Per the insurance estimate, Marseal Group proposes replacing Roofs A, B, C, and D in their entirety. The new roofing system will be manufactured by Firestone. This system will be fully adhered 60mil TPO and the ISO insulation will be mechanically attached per manufacturer specifications. The R-Value will meet applicable city ordinances as well as meeting the 2018 IECC code. This system will be relying on the current deck slope, roof drains and scuppers for adequate drainage. The roofing systems being replaced will qualify for a 20yr NDL warranty up to 90 mph winds pending successful completion of pull tests.

SCOPE OF WORK BY DIVISION

01 General Requirements

- Marseal Group will provide General Liability Insurance.
- Marseal Group will provide all necessary documentation and follow any specifications needed to achieve the 20yr NDL warranty per the manufacturer's request.

05 Metals

- The counter flashing on Roofs A, B, C, and D will be replaced.
- The coping metal surrounding the outdoor atrium, located in the center of roof A, will be replaced with a like kind color and quality to match the existing.

07 Thermal & Moisture Protection

- Roofs A, B, C, and D will be replaced in their entirety.
- Any hail damage found on roofs E, F, and G will be repaired with a Johns Manville approved material.

Add-Alternate: Option 1

- Marseal Group will perform any necessary modifications as specified by Johns Manville to restore roofs E, F and G to maintain the warranty provided by the manufacturer. (Scope of work will be based upon Johns Manville inspection report dated 04/06/2022. Please refer to Exhibit C – iii.)

10-73 Awnings

- The polycarbonate awning panels that sustained hail damage will be replaced with like kind quality panels.
 - *The new panels will be a different color when compared to the existing due to weathering. Repairs made will be easily distinguishable to the general public.*

Add-Alternate: Option 2

- To achieve uniform appearance, Marseal Group proposes to remove and replace the polycarbonate awnings in their entirety. This will bring the awning back to the appearance of pre-loss condition. They will be of like



INITIALS _____

EXHIBIT B

kind quality and color. During this time, the work will impede foot traffic to the main entrances into the building. Temporary barriers to provide a safe walkway will be installed per OSHA guidelines.

11 Equipment

- Marseal Group will provide the necessary equipment to be able to perform the work needed.
- As outlined in Exhibit C – iii., the crane will need to be staged on the north side of the building to allow materials and debris to be transported from the roof to the ground.

23 HVAC

- As specified in Exhibit E – iii., all mechanical items listed in the subcontractor quote will be completed.



INITIALS _____

EXHIBIT B

EXHIBIT D – iv.

Keller Public Library
640 Johnson Rd
Keller, TX 76248

SCOPE OF WORK

Marseal Group will begin the process by installing temporary barriers around the areas specified in the Property Staging Map. Equipment, dumpsters, and materials will be staged prior to any work being performed. Per the insurance estimate, Marseal Group proposes replacing Roof A in its entirety. The new roofing system will be manufactured by Firestone. This system will be fully adhered 60mil TPO and the ISO insulation will be mechanically attached per manufacturer specifications. The R-Value will meet applicable city ordinances as well as meeting the 2018 IECC code. This system will be relying on the current deck slope, roof drains and scuppers for adequate drainage. The roofing systems being replaced will qualify for a 20yr NDL warranty up to 90 mph winds pending successful completion of pull tests.

SCOPE OF WORK BY DIVISION

01 General Requirements

- Marseal Group will provide General Liability Insurance.
- Marseal Group will provide all necessary documentation and follow any specifications needed to achieve the 20yr NDL warranty per the manufacturer's request.

05 Metals

- The counter flashing on Roof A will be replaced.

07 Thermal & Moisture Protection

- Roofs A be replaced in its entirety.

08 Openings

- The skylights will be deleted and decked over. The roofing system will be installed over this decking.

11 Equipment

- Marseal Group will provide the necessary equipment to be able to perform the work needed.

23 HVAC

- As specified in Exhibit E – iv., all mechanical items listed in the scope will be completed.



Exhibit D – v.

TIME

- Marseal Group is requesting 60 working days to complete this scope of work

INCLUSIONS

- Includes all labor and materials necessary to complete the scope of work outlined in this proposal except items specifically excluded. Any change that may impact scope, timing, or sequencing outside of this proposal will necessitate a change order and/or work authorization and will not be completed until a signed change order/work authorization is received.
- General Liability Insurance
- A 20 year No Dollar Limit warranty through the manufacturer.
- 2 year workmanship warranty covering improper installation.

EXCLUSIONS

- Any other roof repairs not specifically outlined above
- Abatement of any kind, unless approved by insurance supplement
- Architectural Drawings
- Unless otherwise stated above permits, approvals, easements, assessments, bonds, and fees required for the development, construction, use, or occupancy of permanent structures or for permanent changes in existing facilities, including building permits.
- Any items the building owner wishes to complete outside of the included scope will necessitate a signed change order.
- During the normal course of reconstruction, Marseal Group is not responsible for any damages that might occur to the landscaping or underground utilities. This includes but is not limited to, irrigation systems, sewage, water, internet, gas, and electrical lines. Due to limited accessibility, there is a likely chance that one or more of these might be affected.

RISKS & ASSUMPTIONS

- Marseal Group will have all construction areas taped off and marked to ensure that others are safe for the duration of the project. It is expected that no one other than a team member of Marseal Group goes beyond any marked off area.
- While construction is taking place the noise level from equipment, tools, and crew working may be higher than normal and should be expected.
- Temporary repairs are understood to be a short-term action to mitigate further damage. Temporary repairs are not warrantable.
- Marseal Group will need unobstructed access to the grounds from dawn to dusk Monday through Saturday to complete the project in a timely manner, unless an alternate schedule is agreed to inwriting.
- Any information or services to be provided by Owner shall be provided in a timely manner including information describing the physical characteristics of the Worksite, including surveys, Worksite evaluations, legal descriptions, data, or drawings depicting existing conditions, subsurface, and environmental studies, reports, and investigations; tests, inspections, and other reports dealing with environmental matters, hazardous material, and other existing conditions, including structural, mechanical, and chemical tests required by the Contract Documents or by law or which are required for Contractor's performance of the Work and under Owner's control.
- Before commencing the Work and thereafter at the written request of Contractor, Owner shall provide Contractor with evidence of Project financing if requested. Evidence of such financing shall be a condition precedent to Contractor's commencing or continuing the Work.



INITIALS _____

EXHIBIT B

- Marseal Group takes pride in leaving a job site as we found it. There is always a chance of wear and tear to surfaces from normal construction activity such as erecting scaffolding, equipment operation, and walking. Marseal Group cannot be held liable for wear and tear.
- Properties that have structural issues will need a professional evaluation prior to work commencing.
- Unknown conditions may exist underneath existing roofing and wall systems. Upon removal of these surfaces, conditions below the surface will be exposed. This may include damaged, rotted, rusted, poorly installed, or otherwise deteriorated building materials such as decking, studs, joists, underlayment, or any other material in use. These conditions have the potential to cause interior damage if materials fail while crew is removing and/or working on the exterior. If any deficient conditions are discovered, Marseal will notify the client immediately to discuss the options and determine the best path forward.
- Fireproofing insulation may be disturbed around roof deck and pipe fittings, as this repair is completed. There are no provisions for this included in this proposal.
- Marseal Group will make sure to only remove what can be replaced in that same day. Marseal Group will utilize tie-in methods to connect the new roofing system to the existing system, ensuring that the roof continues to protect against any rainfall that might occur.
- If applicable, decking that is found to be rotten or not suitable as a nailing surface, will be replaced and billed to the customer, this includes labor and material. All damaged decking will be photo documented before and after it is replaced. Existing decking cannot be properly inspected until roof is removed.
- Marseal Group may be operating heavy equipment on the parking lot during this project. Although we take precautions such as laying plywood for outriggers and checking all areas before operating on them. We cannot be held liable for voids, soft spots, inadequate sub-base, or improperly installed concrete/blacktop that cannot be seen from initial inspections. Marseal Group is not responsible for any damages to the parking lot surface.
- In order for the 20 year NDL warranty to be honored by the manufacturer, it is the responsibility of the client to perform regular maintenance on the roof system. This required maintenance is not included in this agreement and Marseal Group is not responsible for any denied warranty claim if required maintenance is not completed.
- The tectum deck located above the indoor pool on the Keller Pointe property, will need to complete a successful auger bit pull test to qualify for the system we are proposing. Should the deck fail this pull test, a change order will be necessary to complete repairs to the deck so the system can qualify for a roof replacement warranted by Firestone.



INITIALS _____

EXHIBIT B

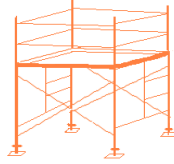
EXHIBIT E – i.

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INITIALS _____

EXHIBIT B



SALES * ERECTION & DISMANTLING SERVICES * RENTAL * ENGINEERING SERVICES

Budgetary Proposal

Quote Number:	5822-29-6031	Date:	May 13, 2022
CUSTOMER BILLING INFORMATION		PROJECT INFORMATION	
Customer:	Marseal Group	Job Name:	Keller City Hall
Address:	208 North US Hwy 377	Job Address:	1100 Bear Creek Parkway
City, State, Zip:	Roanoke, TX 75007	City, State, Zip:	Keller, TX 76248
Office Name:	Dan Miller	Jobsite Contact:	Dan Miller
Office Phone:	817-627-7606	Cell Phone:	817-727-9393
Salesperson:	Jeremy Scott	Email:	dmiller@marsealgroup.com

Description/Scope of Work

BETCO is pleased to present **Marseal Group** with the following budgetary proposal for your scaffolding needs for the project located at the above address. BETCO proposes to rent, erect, and dismantle scaffolding in accordance with the following Scope of Work. All scaffolding will be erected to meet or exceed all OSHA requirements.

Please note that any changes to the designs, specifications, material or labor required outside of this original Scope of Work will require a signed Change Order prior to the commencement of work by BETCO.

SCOPE OF WORK: BETCO proposes to erect, rent, and dismantle 7' wide x 14' long x 43' tall Ring system stair tower on the West side of the building. The stair tower will also have a 42" wide x 40' long crossover leading to a 7' wide x 14' long x 13'6" tall stair tower in the center of the roof by the chillers. The crossover on the roof will have a layer of 1/2" foam and scaffold boards between the flutes of the standing seam roof to evenly distribute the weight back down to the roof joists. BETCO will also install a 7' wide x 49' long x 9' tall overhead protection on the North side of the building with top protection only while roof work is taking place. The stair tower will be anchored into the brick mortar joints in approximately eight (8) locations. Marseal Group will be responsible for fixing/repairing all anchor points. The stair tower landings and crossover will be rated for 25 PSF and the overhead protection will be rated for 150 PSF. **A jobsite visit must be conducted prior to commencement of work. Any changes to the scope, access to erection site, or site requirements may result in an increase in pricing. If there is scope missing from this proposal, it is the customer's responsibility to notify BETCO prior to accepting the bid. BETCO will not perform work outside the scope of work without a change order.**

Material Rental (Per 28 day rental period)	\$2,500.00
Labor	\$22,275.00
Freight (Round Trip)	\$600.00
Consumables	\$750.00
Subtotal	\$26,125.00
Tax (8.25%)	\$2,155.31
TOTAL	\$28,280.31
Each additional day (Includes Sales Tax)	\$96.65

*****Estimated Scaffold Erection 6 – 8 - Business Day(s)*****

*****Estimated Scaffold Dismantle 4 – 6 - Business Day(s)*****

This proposal is contingent upon negotiation of a mutually acceptable sub-contract between Contractor and Sub-Contractor. There will be a 28 day minimum rental for this material. Rental charges thereafter will be prorated 1/28th of the total rental charge. Equipment and labor is subject to availability at the time of order.

This proposal and any subsequent contract price for the work or project covered by this proposal shall be subject to time and cost adjustment for any delay or price increase arising out of or relating to the effects of the recent Coronavirus (COVID-19) outbreak.

BETCO must be provided 3 – 5 business days written notice prior to mobilizing for material procurement and manpower scheduling.

Proposal is based on the following Special Conditions

- Labor Rates and amounts are based on normal work hours. Labor performed after normal hours, weekends, or holidays will be at increased rates.
- Customer will provide a staging area suitable for BETCO to offload equipment within 75 feet of elevation where scaffold is being erected. The same requirement will apply to dismantling and removal of the equipment.
- If a staging area is not available there may be additional labor costs associated with the distribution of equipment.
- Customer will provide a “dedicated access” as required for moving equipment from the staging area, i.e., lane closure, driveway, hallway, elevator, etc. for safety purposes.
- Parking (and any associated costs) for BETCO employees will be provided onsite or as nearby as possible by customer.
- This will be a secured site, contracted/arranged at customer’s expense.
- Customer is responsible for any associated additional expense generated by engineer if stamped drawing is requested.
- Dismantles performed by customer will result in shortage charges if all equipment is not returned.
- Equipment being returned based on Customer Dismantles shall be staged or bundled for pickup or additional charges will apply for piece by piece loading.

EXCLUSIONS

- City, sidewalk and lane closure permits
 - Engineering
 - Weekly and monthly inspections
 - Forklift/Moffett
 - Debris Netting/pedestrian overhead protection
 - Drug testing/Background checks
 - Re-shoring
 - Any required lighting for work area
 - Site specific orientation (OCIP, ROCIP Program)
 - Barricades/vehicular traffic lane closures/Traffic Control
 - Permitting
-
- Additional Freight Charges: Will be determined at time of order.
 - Daily inspections performed by BETCO Monday - Friday from 7:30 AM - 3:30 PM: \$300.00 per inspection.
 - Daily inspections performed by BETCO on weekends or after hours: \$400.00 per inspection.
 - BETCO's minimum charge for an Engineered Stamped Drawing: \$1,500.00 (if required).
 - Budget Quotes expire in 60 of days, unless extended in writing.

Thank you for the opportunity to present Proposal **5822-29-6031** for your scaffolding needs.

Jeremy Scott
Cell Ph.: 817-825-2951
Email: Jeremy.scott@scaffold.com

****ATTENTION****

The above referenced quote does not include any labor or associated costs for the removal of scaffolding or planking, re-enforcing planking or for re-erecting of any scaffold system referenced above due to a tropical depression OR named tropical storm/hurricane. Any labor for tropical storm preparations will be billed to the Customer (once authorized) on a Time & Materials basis.

BETCO TERMS & CONDITIONS APPLY FOR: **SCAFFOLD EQUIPMENT**

GENERAL TERMS AND CONDITIONS

- **Payment terms are NET 30 days after receipt of invoice.**
- **Any permits or services needed such as; sidewalk permits, electrical re-routing, etc. are the responsibility of others and must be addressed before construction can begin.**
- **An authorized representative of the customer is required to be on site during the erection, dismantle and removal of equipment from the site.**
- **BETCO Scaffolds will construct all scaffolds to either meet or exceed OSHA standards. (Article 1926.451 Subpart L) Any screening or netting that may be required by OSHA due to the type of work being performed, is the responsibility of those needing it, or can be provided and installed by BETCO Scaffolds at an additional cost. Any safety standards above OSHA or BETCO Scaffolds that may be contractor or job site specific are not included unless otherwise stated.**
- **BETCO Scaffolds labor pricing is calculated at Straight Time rates unless otherwise stated. (Mon-Fri 7:00 AM to 3:30 PM with a 30 minute break included no weekends or holidays) and based on direct access for crews and trucks for the erection, dismantle and removal of equipment.**
- **BETCO Scaffolds labor pricing is bid on a single erection and single dismantle phase with free and clear access to the site where the scaffold is to be constructed.**
- **Any work performed that is not deemed to be during the designated Straight Time period for the job, will be documented and signed by both a representative of BETCO Scaffolds and the Customer and charged at Overtime or Double Time rates as applicable.**
- **Customer is responsible for filling/patching holes from anchoring points or wall ties upon dismantle if/where required.**
- **Any deviation from the scope of work will be documented and signed by both a representative of BETCO Scaffolds and the customer prior to deviations being performed. The customer will be charged for the changes at Time & Material rates unless otherwise agreed upon. (Time & Material rates are available upon request.)**
- **All labor quotes are for an agreed upon time frame and any delays or work shutdown due to others will be documented and signed by both a representative of BETCO Scaffolds and the customer and charged at Time & Material rates.**
- **Any repair, change, or maintenance to the scaffold after the scaffold is complete will be charged at Time & Material rates unless otherwise stated. Any call out for labor will be a minimum 4-hour charge.**
- **Although BETCO Scaffolds will use the utmost care during construction and dismantle, we will not be responsible for damage to any structures, surfaces, landscaping, etc. that have not been adequately protected by the customer.**
- **Any changes made to the scaffold that are not performed by BETCO Scaffolds will nullify our legal liability.**



Corporate office:
122 Leesley Lane • Argyle, Texas 76226
www.bondedlp.com



Toll Free: 800-950-7933 Fax: 940-455-2225

QUOTE - E112340-07A FTW

Date **05/19/2022** Expires **06/18/2022**
Project **City of Keller**
Keller, TX 76248

Ref Specs **UL/LPI/NFPA Standards**
Ref Drawings **Onsite Inspection**
Estimate Total **\$5,240.00**

Name **Town Hall**

Scope of proposal

1) Price includes removing and reinstalling the existing mid-roof mounted lightning protection equipment at the modified roof only and tying to the existing downleads and grounds. Price is based on the existing parapet mounted lightning protection equipment remaining in place during reroof and does not include removing or reinstalling the parapet mounted equipment. Price includes furnishing new materials necessary along with reusing all existing salvageable material. Removal of the existing system by other trades could result in additional cost. Price is based on Bonded retaining the materials removed from the project. Price is based on the existing downleads and grounds being undamaged for the system to be complete.

2) Price is based on utilizing aluminum components on all aluminum, galvalume, and metal surfaces, (i.e. metal parapet coping, metal roofs, etc.), to avoid corrosion due to dissimilar metals. Copper components will be utilized for other portions of the system.

3) Upon completion we will provide the Lightning Protection Institute (LPI) Inspection and Master Installation Certification.

NOTE: Price is based on current commodity market prices.

Exclusions

1) Price is based on adhering directly to the roof membrane and does not include furnishing or installing any special pads, pavers, membrane strips, etc. under the lightning protection roof conductors. If required by the roof manufacturer (25) locations are required.

2) Lift is not included. If required for installation or safety practices a change order will be submitted for approval.

Bonded Lightning Protection Systems standard terms and conditions of sale apply and are incorporated by reference as part of this quotation and any work resulting from this quotation. If submittals are provided, Bonded will invoice for work performed. Should you need a copy, please call 800-950-7933 or visit our website (www.bondedlp.com).

TO ACCEPT QUOTATION, SIGN BELOW AND RETURN BY EMAIL OR FAX TO 940-455-2225

Brittany Warner

Bonded Lightning Protection Systems

Signed: _____ Date: _____
Print name: _____
Company: _____

TDIndustries is licensed and regulated by the
Texas Department of Licensing and Regulation
P.O. Box 12157
Austin, TX 78711
1-800-803-9202 or 512-463-6599
www.license.state.tx.us



Texas State Board of Plumbing
P.O. Box 4200
Austin, TX 78765

Company:	Marseal Group	Building Name:	Keller Town Hall
Bill to Address:	208 N Hwy. 377 Roanoke, TX 76262	Building Address:	1100 Bear Creek Parkway Keller, TX 76248
Contact:	Brock Reaves	Job Name:	Exhaust Fans/ Condensing Units
Phone:	940-210-7099	Date:	May 11, 2022
Email:	breaves@marsealgroup.com	Proposal No:	

TDIndustries, Inc. is very pleased to have the opportunity to provide pricing for the above referenced property. Please find listed below the scope of work that will be performed.

Scope of Work:

Replace 2 exhaust fans and disconnect/ reconnect 1 condensing unit

EF 1 Loren Cook m#180C5B s# 055S654868000007010801
EF 2 No data plate 1/2" hp 1725 RPM 115v motor

- LOTO electrical and disconnect
- Replace exhaust fan (using customer supplied crane)
- Reconnect electrical and confirm proper operation
- CU Trane m# 2TTA0036A4000AA s#3322TTH3F
- Pump down system and recover any remaining refrigerant
- Disconnect electrical and refrigerant piping (seal piping)
- Relocate condensing unit on roof temporarily
- Reinstall existing condensing unit replace the liquid line drier
- Pressure check with nitrogen and pull vacuum on system
- Open valves and add recovered refrigerant
- Confirm proper operation
- Clean up site and remove debris

Notes:

- This proposal does not include after-hours labor
- Additional repairs will be quoted separately

Total Price for Labor and Materials (Excluding Sales Tax) -----	\$7,945.00
Add option: Provide 115 ton Crane -----	\$3,400.00

* Net due upon receipt of invoice. Remit to P.O. Box 300008, Dallas, TX 75303-0008

Thank you very much for the opportunity to provide pricing for the work listed above. Please contact me at the numbers listed below if you have any questions or need further information.

Respectfully submitted,

Ki Bartlett

Account Manager III

TDIndustries

Ki.Bartlett@TDIndustries.com

O: 817-306-6530 | C: 817-401-9751

Accepted by

Date

Clarifications

- Following our core value to “Fiercely Protect”, our employees are empowered to stop work at any time where they deem the safety of themselves or anyone else is in jeopardy. We will immediately seek to resolve any concerns by engaging with our customer and safety department to elevate the issue which will allow work to resume.
- This proposal is based on performing work during normal working hours and at normal wage rates paid by TDIndustries, Inc.
- Price is based on the assumption that the structure is of sufficient strength that all piping, duct and equipment can be supported from it.
- Proposal is inclusive of all permits and inspections as required by local and state agencies. Where work is being performed under a General Contractor, we will validate under Contractors Building Code permit.
- All pricing is based on award of contract and work commence not later than 60 days from the date of this proposal with pricing subject to review after 30 days from the date of proposal.
- TDIndustries, Inc. assumes no responsibility for existing services / conditions, their quality and/or performance.
- Existing valves must close and hold.
- TDIndustries, Inc. assumes no responsibility for condition of utilities or parking lots/roadways above or below grade.
- TDIndustries disclaims any responsibility for incorrect data contained in the plan, specs and/or engineering data.
- Proposal is based on use of building elevators.
- Delays Caused By Coronavirus Concerns. Notwithstanding any other provision of this Agreement, any delay caused by good faith actions taken by Owner, Design-Builder, or federal, state or local government agencies in an effort to thwart, limit, prevent or treat coronavirus shall be excused. This excuse shall also apply to a shortage of materials or labor as a result of the coronavirus threat.

Exclusions:

- Sheetrock or concrete cutting, removal or patching of any nature.
- Cleaning or painting of existing grilles.
- Ceiling removal or replacement.
- Concrete work of any nature.
- Cutting or patching of drywall or block walls.
- Cutting or patching of existing pavement for incoming services.
- Smoke dampers or smoke ventilation other than stair pressurization.
- Insulation of existing un-insulated ductwork.
- Modifications of existing ductwork and piping due to conflict with new lighting fixtures or new structural/architectural modifications.
- Repairs or modifications of existing mechanical equipment or systems.
- Roof cutting and patching unless specified by owner
- Roofing work.
- Cutting roof deck.
- Leveling roof curbs.
- Gas piping.
- Any pre-existing conditions (gas pressure, electrical, structural).
- Any hot water problems that exist outside the scope of the boiler room (mixing).
- Additional work required to meet OSHA or ADA standards.

Any additional work not listed in the scope above will require written authorization by the customer before TDIndustries, Inc. can proceed.



LIMITED WARRANTY

1	EQUIPMENT, GOODS, MATERIAL PURCHASED AND INSTALLED BY TDINDUSTRIES: TDIndustries, Inc. shall use its best efforts to obtain from each manufacturer, in accordance with the manufacturer's warranty (copies of which will be furnished upon request) or customary practice, the repair or replacement of equipment, goods, or material that are defective in material or workmanship. The foregoing shall constitute the exclusive remedy of the customer and sole obligation of TDIndustries, Inc. THERE ARE NO WARRANTIES, EITHER WRITTEN OR ORAL, IMPLIED OR STATUTORY RELATING TO THE EQUIPMENT, GOODS, OR MATERIAL, PROVIDED WHICH EXTEND BEYOND THAT DESCRIBED IN THIS PARAGRAPH. NO IMPLIED STATUTORY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE SHALL APPLY.
2	Workmanship - Repair Installation - TDIndustries, Inc. warrants its workmanship to be free from defects for a period of 12-months from the date of completion of the above equipment, goods, and material. Sewer and Drain Cleaning - TDIndustries, Inc. warrants its workmanship for sewer and drain cleaning for a period of 24 hours from the date of completion. Any foreign material retrieved from sewer or drain will discharge warranty and incur additional costs for clearing stoppage.
3	This proposal is submitted for customer's consideration with the understanding that it must be approved by TDIndustries, Inc. after its acceptance by the customer and is not binding upon TDIndustries, Inc. until so approved in writing.
4	Your acceptance of this proposal is expressly limited to the terms of this document. Any additional or different terms or conditions set forth in your purchase order or in any similar such communication are hereby objected to by TDIndustries, Inc. and shall not be binding nor effective unless assented to in writing by an authorized representative of TDIndustries, Inc. Any order or any statement of intent to proceed with installation or any direction to proceed with installation or acceptance of this proposal or payment in full or part for any of the work or equipment furnished shall constitute customer's assent to the terms and conditions of this proposal.
	THIS PROPOSAL IS EXPRESSLY CONDITIONED UPON THE TERMS AND CONDITIONS CONTAINED OR REFERRED TO HEREIN, INCLUDING THOSE CONTAINED IN ANY ATTACHMENT HERETO.

STANDARD TERMS AND CONDITIONS

	THIS PROPOSAL IS EXPRESSLY CONDITIONED UPON THE TERMS AND CONDITIONS CONTAINED OR REFERRED TO HEREIN, INCLUDING THOSE CONTAINED IN ANY ATTACHMENT HERETO.
1	TDIndustries, Inc. liability or any claim for loss or damage arising out of this contract or from the performance or breach thereof or connected with the supplying of any labor, equipment, goods or material hereunder, or their sale, resale, operation or use, whether based on contract, warranty, tort (including negligence) or other grounds, shall not exceed the price allowable to such labor, equipment, goods or material, or part thereof involved in the claim. TDIndustries, Inc. shall not, under any circumstances, be liable for any labor charges without the prior written consent of TDIndustries, Inc. TDIndustries, Inc. shall not, in any event, be liable, whether as a result of breach of contract, warranty, tort (including negligence) or other grounds, for special, consequential, incidental or penal damages including, but not limited to, loss of profits, revenues, loss of the product or any associated product, cost of capital, cost of substitute products, facilities or services, downtime costs or claims of the Customer for such damages. If TDIndustries, Inc. furnishes Customer with advice or other assistance which concerns labor, equipment, goods, or material furnished hereunder, or any systems or equipment in which of such equipment, goods, or material may be installed, and which is not pursuant to this contract, the furnishing of such advice or assistance will not subject TDIndustries, Inc. to any liability, whether based on contract, warranty, tort (including negligence) or other grounds.
2	If TDIndustries, Inc. encounters asbestos, polychlorinated Biphenyl (PCB) or other hazardous substances on the site, TDIndustries, Inc. will stop work and report the condition to the owner or owners' representative. TDIndustries, Inc. will not resume work in the affected area until the asbestos, PCB's or other hazardous substances have been removed or otherwise controlled so that it does not pose a health or safety threat.
3	Any installation dates given in advance are estimated. Installation will be subject to prior orders with TDIndustries, Inc. TDIndustries, Inc. shall not be liable for failure to perform or delay in performance hereunder resulting from fire, labor difficulties, delays in usual sources of supply, major changes in economic conditions, or, without limitation by the foregoing, any cause beyond TDIndustries, Inc. reasonable control.
4	On arrival of any equipment, goods and material at the shipping address specified on the reverse side hereof, Customer shall assume all risk or loss or damage to such equipment, goods, or material.
5	In the event Customer requires TDIndustries, Inc. to delay shipment or completion of the work under this proposal, payment pursuant to this proposal shall not be withheld or delayed on such account. TDIndustries, Inc. shall have the right to deliver any portion of the equipment, goods or material to be furnished hereunder and to bill Customer therefore, and Customer agrees to pay for the same in accordance with terms of the payment hereof upon notification that such shipment is ready for delivery, notwithstanding the fact that Customer may be unable to receive or provide suitable storage space for any such partial delivery. In such event, such portion of the equipment, TDIndustries, Inc. may store goods or material ready for shipment at Customer's risk and expense.
6	The amount of any past, present or future occupation, sales, use, service, excise or other similar tax which TDIndustries, Inc. shall be liable for, either on its own behalf or on behalf of Customer, or otherwise, with respect to any equipment, goods, material or service covered by this proposal, shall be in addition to the prices set forth herein and shall be paid by Customer.
7	If the equipment, goods or material furnished hereunder requires the use of water or steam, recirculated or otherwise, TDIndustries, Inc. shall not be liable for the effect of its physical or chemical properties upon said equipment, goods or material.
8	All skilled or common labor which may be furnished by the Customer shall be considered and treated as Customer's own employees, and Customer agrees to fully protect and indemnify TDIndustries, Inc. against all claims for accidents or injuries to such employees in the course of the work, or to any person or persons through the negligence of such employees.
9	No oral representations are binding upon TDIndustries, Inc. unless reduced to writing and signed by an authorized representative of TDIndustries, Inc. All changes to this contract must be in writing.

Revised 05-09-2008

2601 Northern Cross Blvd, Suite 201, Fort Worth, TX 76137, Phone 817-306-6500, Fax 817-306-6512
License # HVAC TACLA17611C – Lyn Freeman, Plumbing M-19925 David Hollowell, Electrical TECL17889 DFW



Davis Motor Crane Service, Inc.
 972-438-1122
 1212 N. Loop 12
 Irving, TX
www.daviscrane.com

EQUIPMENT RENTAL ESTIMATE

Quote #:	191717-2
Quote Date:	5/11/2022
Job Date:	5/23/2022
Expires:	7/10/2022
PO #:	

Customer Information	Customer Contact Information	Job Site
Marseal Group Texas	Contact: Brock Reaves Phone: 940-210-7099 Email: breaves@marsealgroup.com Company Contact Information Rep: BRADFORD, ALAN Phone: 214-251-7099 Email: alan@daviscraneservice.com	Keller Town Hall 1100 Bear Creek Pkwy Keller, Texas Job looked at by:

Scope of Work: Work as directed by customer fly roofing material to and from roof skip pan

*****PRICING ESTIMATE TO BE USED FOR CUSTOMER'S BID PURPOSES ONLY – THIS IS NOT AN INVOICE*****

Description	Rate	Total
MOBILIZATION IN		
TRAVEL TO SITE & RIG UP CRANE		\$3,450.50
240 TON WORKING RATE \$ 567.00 PER HOUR. ANY OVERTIME WILL BE AN EXTRA \$ 90.00 PER HR.		
	\$567.00	
240 TON ALL TERRAIN CRANE	(OT) \$90.00	
OILER	\$0.00	
MOBILIZATION OUT		
RIG DOWN CRANE & TRAVEL FROM SITE		\$3,250.50
ADDITIONAL COSTS		
LIFT PLAN PER PLAN	\$350.00	
Lifting Devices Skip Pan Per Day	\$150.00	
State of Texas (8.25%)		

Distance From: 124	Height: 30	Distance In: 61	Weight (lbs.): 4000	Radius: 185	Lift Comments:
Boom Length: 221	Jib Length: 0	Jib Offset: 0	Counterweights: 159000	# of Pieces: 20	

Customer To Provide: clear area to rig up and down

Ground Conditions: parking lot

Jobsite Access:

Power Lines: No

Additional Info:

****DISCLAIMER:**

***Temporary 5% Fuel Surcharge Added To All Powered Equipment At Invoicing.**

*JHA's are required to be filled out by Davis Motor Crane Service, Inc.'s operators with the customer signature before the job starts.

*Overtime consists of before 8am, after 4:30pm Monday thru Friday, and all-day weekends.

* Davis Motor Crane Service, Inc. will not be responsible for any damage to concrete, asphalt, driveways, parking areas, grass, underground utilities or structures.

*All Equipment is billed portal to portal.

*All quotes are subject to an hourly minimum.

*Credit Card Convenience Fee of 3% will be applied to all invoices paid with a credit card

*This is a quote not a contract price and is subject to change if job conditions change.

*This quote will expire 60 days from date of quote.



Davis Motor Crane Service, Inc.
 972-438-1122
 1212 N. Loop 12
 Irving, TX
www.daviscrane.com

EQUIPMENT RENTAL ESTIMATE

Quote #:	191717-2
Quote Date:	5/11/2022
Job Date:	5/23/2022
Expires:	7/10/2022
PO #:	

Customer Information	Customer Contact Information	Job Site
Marseal Group Texas	Contact: Brock Reaves Phone: 940-210-7099 Email: breaves@marsealgroup.com Company Contact Information Rep: BRADFORD, ALAN Phone: 214-251-7099 Email: alan@daviscraneservice.com	Keller Town Hall 1100 Bear Creek Pkwy Keller, Texas Job looked at by:

If you should require any additional information, please contact me at the above phone number or email.



PLEASE SIGN IN ACCEPTANCE OF THIS ESTIMATE			
	BRADFORD, ALAN		5/17/2022
			Date Signed
Company Representative ("Lessor")	Printed Name	Authorized Customer Representative	Printed Name

EXHIBIT E – ii.

Intentionally left blank.



INITIALS _____
EXHIBIT B



Corporate office:
122 Leesley Lane • Argyle, Texas 76226
www.bondedlp.com



Toll Free: 800-950-7933 Fax: 940-455-2225

QUOTE - E112340-08B FTW

Date **05/19/2022** Expires **06/18/2022**
Project **City of Keller**
Keller, TX 76248

Ref Specs **UL/LPI/NFPA Standards**
Ref Drawings **Onsite Inspection**
Estimate Total **\$16,020.00**

Name **Keller Pointe**

Scope of proposal

- 1) Price includes removing and reinstalling the existing roof circuit lightning protection system for Keller Pointe and tying to existing downleads and grounds. Price includes furnishing new materials necessary along with reusing all existing salvageable material. Removal of the existing system by other trades could result in additional cost. Price is based on Bonded retaining the materials removed from the project. Price is based on the existing downleads and grounds being undamaged for the system to be complete.
- 2) Price is based on utilizing aluminum components. Copper components will be utilized for other portions of the system.
- 3) Upon completion we will provide the Lightning Protection Institute (LPI) Inspection and Master Installation Certification.

NOTE: Price includes removal and reinstallation of lightning protection components for midroof areas and metal parapet copings only at roofs: 429, 1015, 1100, 2154, 11670, 12724, & Roof "E". Price does not include removal of conductors from cast stone coping walls or other roofs not mentioned.

NOTE: Price is based on current commodity market prices.

Exclusions

- 1) Electrical Contractor to furnish and install (40') of 1 1/4" PVC conduit and (40') of pullstring/jetline for concealment of new downleads for Roof "E".
- 2) Price is based on adhering directly to the roof membrane and does not include furnishing or installing any special pads, pavers, membrane strips, etc. under the lightning protection roof conductors. If required by the roof manufacturer (300) locations are required.

Bonded Lightning Protection Systems standard terms and conditions of sale apply and are incorporated by reference as part of this quotation and any work resulting from this quotation. If submittals are provided, Bonded will invoice for work performed. Should you need a copy, please call 800-950-7933 or visit our website (www.bondedlp.com).

TO ACCEPT QUOTATION, SIGN BELOW AND RETURN BY EMAIL OR FAX TO 940-455-2225

Brittany Warner

Bonded Lightning Protection Systems

Signed: _____ Date: _____
Print name: _____
Company: _____

TDIndustries is licensed and regulated by the
Texas Department of Licensing and Regulation
P.O. Box 12157
Austin, TX 78711
1-800-803-9202 or 512-463-6599
www.license.state.tx.us



Texas State Board of Plumbing
P.O. Box 4200
Austin, TX 78765

Company:	Marseal Group	Building Name:	Keller Pointe
Bill to Address:	208 N Hwy. 377 Roanoke, TX 76262	Building Address:	405 Rufe Snow Dr. Keller, TX 76248
Contact:	Brock Reaves	Job Name:	Exhaust Fans/Insulation revised
Phone:	940-210-7099	Date:	May 20, 2022
Email:	breaves@marsealgroup.com	Proposal No:	

TDIndustries, Inc. is very pleased to have the opportunity to provide pricing for the above referenced property. Please find listed below the scope of work that will be performed.

Scope of Work:

Replace 3 exhaust fans, Repair and replace insulation on duct work

EF 1 m# NA
GEF 4A Flo Aire m# BDCR15 s# 225719
GEF 5A Flo Aire m# NA

- LOTO electrical and disconnect
- Replace exhaust fan (using customer supplied crane)
- Reconnect electrical and confirm proper operation
- Clean up site and remove debris

Reinsulate the duct work insulation on the 2 Trane RTU's (Supply and Return)

- Replace the duct insulation using the same material as existing

Replace the insulation for the supply duct on the RTU serving the swimming pool

- Replace duct insulation using the same material as existing
- **Add Option A:** Replace insulation w/ 2" FSK insulation and aluminum jacket

Notes:

- This proposal does not include after-hours labor
- Additional repairs will be quoted separately

Total Price for Labor and Materials (Excluding Sales Tax) ----- \$63,017.00 Add Option A: \$3,800.00

* Net due upon receipt of invoice. Remit to P.O. Box 300008, Dallas, TX 75303-0008

Thank you very much for the opportunity to provide pricing for the work listed above. Please contact me at the numbers listed below if you have any questions or need further information.

Respectfully submitted,

Ki Bartlett

Account Manager III

TDIndustries

Ki.Bartlett@TDIndustries.com

O: 817-306-6530 | C: 817-401-9751

Accepted by

Date

Clarifications

- Following our core value to “Fiercely Protect”, our employees are empowered to stop work at any time where they deem the safety of themselves or anyone else is in jeopardy. We will immediately seek to resolve any concerns by engaging with our customer and safety department to elevate the issue which will allow work to resume.
- This proposal is based on performing work during normal working hours and at normal wage rates paid by TDIndustries, Inc.
- Price is based on the assumption that the structure is of sufficient strength that all piping, duct and equipment can be supported from it.
- Proposal is inclusive of all permits and inspections as required by local and state agencies. Where work is being performed under a General Contractor, we will validate under Contractors Building Code permit.
- All pricing is based on award of contract and work commence not later than 60 days from the date of this proposal with pricing subject to review after 30 days from the date of proposal.
- TDIndustries, Inc. assumes no responsibility for existing services / conditions, their quality and/or performance. Existing valves must close and hold.
- TDIndustries, Inc. assumes no responsibility for condition of utilities or parking lots/roadways above or below grade.
- TDIndustries disclaims any responsibility for incorrect data contained in the plan, specs and/or engineering data.
- Proposal is based on use of building elevators.
- Delays Caused By Coronavirus Concerns. Notwithstanding any other provision of this Agreement, any delay caused by good faith actions taken by Owner, Design-Builder, or federal, state or local government agencies in an effort to thwart, limit, prevent or treat coronavirus shall be excused. This excuse shall also apply to a shortage of materials or labor as a result of the coronavirus threat.

Exclusions:

- Sheetrock or concrete cutting, removal or patching of any nature.
- Cleaning or painting of existing grilles.
- Ceiling removal or replacement.
- Concrete work of any nature.
- Cutting or patching of drywall or block walls.
- Cutting or patching of existing pavement for incoming services.
- Smoke dampers or smoke ventilation other than stair pressurization.
- Insulation of existing un-insulated ductwork.
- Modifications of existing ductwork and piping due to conflict with new lighting fixtures or new structural/architectural modifications.
- Repairs or modifications of existing mechanical equipment or systems.
- Roof cutting and patching unless specified by owner
- Roofing work.
- Cutting roof deck.
- Leveling roof curbs.
- Any pre-existing conditions (gas pressure, electrical, structural).
- Any hot water problems that exist outside the scope of the boiler room (mixing).
- Additional work required to meet OSHA or ADA standards.

Any additional work not listed in the scope above will require written authorization by the customer before TDIndustries, Inc. can proceed.



LIMITED WARRANTY

1	EQUIPMENT, GOODS, MATERIAL PURCHASED AND INSTALLED BY TDINDUSTRIES: TDIndustries, Inc. shall use its best efforts to obtain from each manufacturer, in accordance with the manufacturer's warranty (copies of which will be furnished upon request) or customary practice, the repair or replacement of equipment, goods, or material that are defective in material or workmanship. The foregoing shall constitute the exclusive remedy of the customer and sole obligation of TDIndustries, Inc. THERE ARE NO WARRANTIES, EITHER WRITTEN OR ORAL, IMPLIED OR STATUTORY RELATING TO THE EQUIPMENT, GOODS, OR MATERIAL, PROVIDED WHICH EXTEND BEYOND THAT DESCRIBED IN THIS PARAGRAPH. NO IMPLIED STATUTORY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE SHALL APPLY.
2	Workmanship - Repair Installation - TDIndustries, Inc. warrants its workmanship to be free from defects for a period of 12-months from the date of completion of the above equipment, goods, and material. Sewer and Drain Cleaning - TDIndustries, Inc. warrants its workmanship for sewer and drain cleaning for a period of 24 hours from the date of completion. Any foreign material retrieved from sewer or drain will discharge warranty and incur additional costs for clearing stoppage.
3	This proposal is submitted for customer's consideration with the understanding that it must be approved by TDIndustries, Inc. after its acceptance by the customer and is not binding upon TDIndustries, Inc. until so approved in writing.
4	Your acceptance of this proposal is expressly limited to the terms of this document. Any additional or different terms or conditions set forth in your purchase order or in any similar such communication are hereby objected to by TDIndustries, Inc. and shall not be binding nor effective unless assented to in writing by an authorized representative of TDIndustries, Inc. Any order or any statement of intent to proceed with installation or any direction to proceed with installation or acceptance of this proposal or payment in full or part for any of the work or equipment furnished shall constitute customer's assent to the terms and conditions of this proposal.
	THIS PROPOSAL IS EXPRESSLY CONDITIONED UPON THE TERMS AND CONDITIONS CONTAINED OR REFERRED TO HEREIN, INCLUDING THOSE CONTAINED IN ANY ATTACHMENT HERETO.

STANDARD TERMS AND CONDITIONS

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2	If TDIndustries, Inc. encounters asbestos, polychlorinated Biphenyl (PCB) or other hazardous substances on the site, TDIndustries, Inc. will stop work and report the condition to the owner or owners' representative. TDIndustries, Inc. will not resume work in the affected area until the asbestos, PCB's or other hazardous substances have been removed or otherwise controlled so that it does not pose a health or safety threat.
3	Any installation dates given in advance are estimated. Installation will be subject to prior orders with TDIndustries, Inc. TDIndustries, Inc. shall not be liable for failure to perform or delay in performance hereunder resulting from fire, labor difficulties, delays in usual sources of supply, major changes in economic conditions, or, without limitation by the foregoing, any cause beyond TDIndustries, Inc. reasonable control.
4	On arrival of any equipment, goods and material at the shipping address specified on the reverse side hereof, Customer shall assume all risk or loss or damage to such equipment, goods, or material.
5	In the event Customer requires TDIndustries, Inc. to delay shipment or completion of the work under this proposal, payment pursuant to this proposal shall not be withheld or delayed on such account. TDIndustries, Inc. shall have the right to deliver any portion of the equipment, goods or material to be furnished hereunder and to bill Customer therefore, and Customer agrees to pay for the same in accordance with terms of the payment hereof upon notification that such shipment is ready for delivery, notwithstanding the fact that Customer may be unable to receive or provide suitable storage space for any such partial delivery. In such event, such portion of the equipment, TDIndustries, Inc. may store goods or material ready for shipment at Customer's risk and expense.
6	The amount of any past, present or future occupation, sales, use, service, excise or other similar tax which TDIndustries, Inc. shall be liable for, either on its own behalf or on behalf of Customer, or otherwise, with respect to any equipment, goods, material or service covered by this proposal, shall be in addition to the prices set forth herein and shall be paid by Customer.
7	If the equipment, goods or material furnished hereunder requires the use of water or steam, recirculated or otherwise, TDIndustries, Inc. shall not be liable for the effect of its physical or chemical properties upon said equipment, goods or material.
8	All skilled or common labor which may be furnished by the Customer shall be considered and treated as Customer's own employees, and Customer agrees to fully protect and indemnify TDIndustries, Inc. against all claims for accidents or injuries to such employees in the course of the work, or to any person or persons through the negligence of such employees.
9	No oral representations are binding upon TDIndustries, Inc. unless reduced to writing and signed by an authorized representative of TDIndustries, Inc. All changes to this contract must be in writing.

Revised 05-09-2008

2601 Northern Cross Blvd, Suite 201, Fort Worth, TX 76137, Phone 817-306-6500, Fax 817-306-6512
License # HVAC TACLA17611C – Lyn Freeman, Plumbing M-19925 David Hollowell, Electrical TECL17889 DFW



Davis Motor Crane Service, Inc.
 972-438-1122
 1212 N. Loop 12
 Irving, TX
www.daviscrane.com

EQUIPMENT RENTAL ESTIMATE

Quote #:	191716-1
Quote Date:	5/11/2022
Job Date:	5/23/2022
Expires:	7/10/2022
PO #:	

Customer Information	Customer Contact Information	Job Site
Marseal Group Texas	Contact: Brock Reaves Phone: 940-210-7099 Email: breaves@marsealgroup.com Company Contact Information Rep: BRADFORD, ALAN Phone: 214-251-7099 Email: alan@daviscraneservice.com	Keller Point 405 Rufsnow Dr. Keller, Texas Job looked at by:

Scope of Work: Work as directed by customer fly roofing material to and from roof

*****PRICING ESTIMATE TO BE USED FOR CUSTOMER'S BID PURPOSES ONLY – THIS IS NOT AN INVOICE*****

Description	Rate	Total
MOBILIZATION IN		
TRAVEL TO SITE & RIG UP CRANE		\$3,450.50
240 TON WORKING RATE \$ 567.00 PER HOUR. ANY OVERTIME WILL BE AN EXTRA \$ 90.00 PER HR.		
	\$567.00	
240 TON ALL TERRAIN CRANE	(OT) \$90.00	
OILER	\$0.00	
MOBILIZATION OUT		
RIG DOWN CRANE & TRAVEL FROM SITE		\$3,385.50
ADDITIONAL COSTS		
LIFT PLAN PER PLAN	\$350.00	
Lifting Devices Skip Pan Per Day	\$150.00	
State of Texas (8.25%)		

Distance From: 69	Height: 30	Distance In: 112	Weight (lbs.): 8000	Radius: 181	Lift Comments:
Boom Length: 206	Jib Length: 0	Jib Offset: 0	Counterweights: 159000	# of Pieces: 20	

Customer To Provide: clear area to rig up and down

Ground Conditions: parking lot

Jobsite Access:

Power Lines: No

Additional Info:

****DISCLAIMER:**

***Temporary 5% Fuel Surcharge Added To All Powered Equipment At Invoicing.**

*JHA's are required to be filled out by Davis Motor Crane Service, Inc.'s operators with the customer signature before the job starts.

*Overtime consists of before 8am, after 4:30pm Monday thru Friday, and all-day weekends.

* Davis Motor Crane Service, Inc. will not be responsible for any damage to concrete, asphalt, driveways, parking areas, grass, underground utilities or structures.

*All Equipment is billed portal to portal.

*All quotes are subject to an hourly minimum.

*Credit Card Convenience Fee of 3% will be applied to all invoices paid with a credit card

*This is a quote not a contract price and is subject to change if job conditions change.

*This quote will expire 60 days from date of quote.

If you should require any additional information, please contact me at the above phone number or email.



Davis Motor Crane Service, Inc.
 972-438-1122
 1212 N. Loop 12
 Irving, TX
www.daviscrane.com

EQUIPMENT RENTAL ESTIMATE

Quote #:	191716-1
Quote Date:	5/11/2022
Job Date:	5/23/2022
Expires:	7/10/2022
PO #:	

Customer Information	Customer Contact Information	Job Site
Marseal Group Texas	Contact: Brock Reaves Phone: 940-210-7099 Email: breaves@marsealgroup.com Company Contact Information Rep: BRADFORD, ALAN Phone: 214-251-7099 Email: alan@daviscraneservice.com	Keller Point 405 Rufsnow Dr. Keller, Texas Job looked at by:



PLEASE SIGN IN ACCEPTANCE OF THIS ESTIMATE			
	BRADFORD, ALAN		5/17/2022
			Date Signed
Company Representative ("Lessor")	Printed Name	Authorized Customer Representative	Printed Name

EXHIBIT E – iii.

Intentionally left blank.



INITIALS _____

EXHIBIT B



Texas State Board of Plumbing
 P.O. Box 4200
 Austin, TX 78765

Company:	Marseal Group	Building Name:	Keller Police Station
Bill to	208 N Hwy. 377	Building	330 Rufe Snow Dr.
Address:	Roanoke, TX 76262	Address:	Keller, TX 76248
Contact:	Brock Reaves	Job Name:	Exhaust Fans/RTU/Splits
Phone:	940-210-7099	Date:	May 11, 2022
Email:	breaves@marsealgroup.com	Proposal No:	

TDIndustries, Inc. is very pleased to have the opportunity to provide pricing for the above referenced property. Please find listed below the scope of work that will be performed.

Scope of Work:

Replace 4 exhaust fans, Disconnect, Raise & Reconnect 2 exhaust fans

- EF 1 Loren Cook m# 100ACE 100C2B s# 088S786915-00/0000701
- EF 8 Loren Cook m# 150ACWH 150WH2B s# 088S786915-00/0005101
- EF 9J Twin City m# DCRU-093BE
- EF 3 Loren Cook m# 120ACE 120C2B s# 0883785915-00/0002301
- EF 4 Loren Cook m# 90 CPF CP9D11 s# 088S786915-01/0000701
- EF 7 Loren Cook m# 60 CPV 60CPV s# 088S786915-01/0002501

- LOTO electrical and disconnect
- Replace exhaust fan
- Raise EF 4 & EF 7
- Reconnect electrical and confirm proper operation
- Clean up site and remove debris

Disconnect, Raise & Reconnect 6 HVAC condensing units

- CU 9 Mitsubishi m# PUY-A36NHA4 s# 18U03981D
- CRAC 1CU Trane m# 2TTB2024A1000AA s# 4235UMU4F
- CRAC 2CU Trane m# 4TTR4018L1000AB s# 18155X7AAF
- CU NA Trane m# 4TTR4048L1000AA s# 1627364Y3F
- CU N5 Trane m# 4TTR4042L1000AA s# 20272JGT3F
- CU 1 Trane m# 2TTA120A400FA s# 4261UAPAD

- Pump down system and recover any remaining refrigerant
- Disconnect electrical and refrigerant piping (seal piping)
- Relocate condensing unit on roof temporarily
- Reinstall existing condensing unit replace the liquid line drier
- Pressure check with nitrogen and pull vacuum on system
- Open valves and add recovered refrigerant
- Confirm proper operation
- Clean up site and remove debris

Raise RTU with curb extension

- RTU 1 Trane m# SXHFC7540656C9BD9001A0C00G000000T0Y8600 s# C04C02149

- Disconnect and remove the RTU from the roof using a 275 ton crane
- Install curb extension
- Reinstall RTU and reconnect

Notes:

This proposal does not include after-hours labor
 Additional repairs will be quoted separately

Total Price for Labor and Materials (Excluding Sales Tax) -----	\$51,655.00
--	--------------------

* Net due upon receipt of invoice. Remit to P.O. Box 300008, Dallas, TX 75303-0008

Thank you very much for the opportunity to provide pricing for the work listed above. Please contact me at the numbers listed below if you have any questions or need further information.

Respectfully submitted,

Ki Bartlett

Account Manager III

TDIndustries

Ki.Bartlett@TDIndustries.com

O: 817-306-6530 | C: 817-401-9751

 Accepted by

 Date

Clarifications

- Following our core value to “Fiercely Protect”, our employees are empowered to stop work at any time where they deem the safety of themselves or anyone else is in jeopardy. We will immediately seek to resolve any concerns by engaging with our customer and safety department to elevate the issue which will allow work to resume.
- This proposal is based on performing work during normal working hours and at normal wage rates paid by TDIndustries, Inc.
- Price is based on the assumption that the structure is of sufficient strength that all piping, duct and equipment can be supported from it.
- Proposal is inclusive of all permits and inspections as required by local and state agencies. Where work is being performed under a General Contractor, we will validate under Contractors Building Code permit.
- All pricing is based on award of contract and work commence not later than 60 days from the date of this proposal with pricing subject to review after 30 days from the date of proposal.
- TDIndustries, Inc. assumes no responsibility for existing services / conditions, their quality and/or performance.
- Existing valves must close and hold.
- TDIndustries, Inc. assumes no responsibility for condition of utilities or parking lots/roadways above or below grade.
- TDIndustries disclaims any responsibility for incorrect data contained in the plan, specs and/or engineering data.
- Proposal is based on use of building elevators.
- Delays Caused By Coronavirus Concerns. Notwithstanding any other provision of this Agreement, any delay caused by good faith actions taken by Owner, Design-Builder, or federal, state or local government agencies in an effort to thwart, limit, prevent or treat coronavirus shall be excused. This excuse shall also apply to a shortage of materials or labor as a result of the coronavirus threat.

Exclusions:

- Sheetrock or concrete cutting, removal or patching of any nature.
- Cleaning or painting of existing grilles.
- Ceiling removal or replacement.
- Concrete work of any nature.
- Cutting or patching of drywall or block walls.
- Cutting or patching of existing pavement for incoming services.
- Smoke dampers or smoke ventilation other than stair pressurization.
- Insulation of existing un-insulated ductwork.
- Modifications of existing ductwork and piping due to conflict with new lighting fixtures or new structural/architectural modifications.
- Repairs or modifications of existing mechanical equipment or systems.
- Roof cutting and patching unless specified by owner
- Roofing work.
- Cutting roof deck.
- Leveling roof curbs.
- Any pre-existing conditions (gas pressure, electrical, structural).
- Any hot water problems that exist outside the scope of the boiler room (mixing).
- Additional work required to meet OSHA or ADA standards.

Any additional work not listed in the scope above will require written authorization by the customer before TDIndustries, Inc. can proceed.



LIMITED WARRANTY

1	EQUIPMENT, GOODS, MATERIAL PURCHASED AND INSTALLED BY TDINDUSTRIES: TDIndustries, Inc. shall use its best efforts to obtain from each manufacturer, in accordance with the manufacturer's warranty (copies of which will be furnished upon request) or customary practice, the repair or replacement of equipment, goods, or material that are defective in material or workmanship. The foregoing shall constitute the exclusive remedy of the customer and sole obligation of TDIndustries, Inc. THERE ARE NO WARRANTIES, EITHER WRITTEN OR ORAL, IMPLIED OR STATUTORY RELATING TO THE EQUIPMENT, GOODS, OR MATERIAL, PROVIDED WHICH EXTEND BEYOND THAT DESCRIBED IN THIS PARAGRAPH. NO IMPLIED STATUTORY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE SHALL APPLY.
2	Workmanship - Repair Installation - TDIndustries, Inc. warrants its workmanship to be free from defects for a period of 12-months from the date of completion of the above equipment, goods, and material. Sewer and Drain Cleaning - TDIndustries, Inc. warrants its workmanship for sewer and drain cleaning for a period of 24 hours from the date of completion. Any foreign material retrieved from sewer or drain will discharge warranty and incur additional costs for clearing stoppage.
3	This proposal is submitted for customer's consideration with the understanding that it must be approved by TDIndustries, Inc. after its acceptance by the customer and is not binding upon TDIndustries, Inc. until so approved in writing.
4	Your acceptance of this proposal is expressly limited to the terms of this document. Any additional or different terms or conditions set forth in your purchase order or in any similar such communication are hereby objected to by TDIndustries, Inc. and shall not be binding nor effective unless assented to in writing by an authorized representative of TDIndustries, Inc. Any order or any statement of intent to proceed with installation or any direction to proceed with installation or acceptance of this proposal or payment in full or part for any of the work or equipment furnished shall constitute customer's assent to the terms and conditions of this proposal.
	THIS PROPOSAL IS EXPRESSLY CONDITIONED UPON THE TERMS AND CONDITIONS CONTAINED OR REFERRED TO HEREIN, INCLUDING THOSE CONTAINED IN ANY ATTACHMENT HERETO.

STANDARD TERMS AND CONDITIONS

	THIS PROPOSAL IS EXPRESSLY CONDITIONED UPON THE TERMS AND CONDITIONS CONTAINED OR REFERRED TO HEREIN, INCLUDING THOSE CONTAINED IN ANY ATTACHMENT HERETO.
1	TDIndustries, Inc. liability or any claim for loss or damage arising out of this contract or from the performance or breach thereof or connected with the supplying of any labor, equipment, goods or material hereunder, or their sale, resale, operation or use, whether based on contract, warranty, tort (including negligence) or other grounds, shall not exceed the price allowable to such labor, equipment, goods or material, or part thereof involved in the claim. TDIndustries, Inc. shall not, under any circumstances, be liable for any labor charges without the prior written consent of TDIndustries, Inc. TDIndustries, Inc. shall not, in any event, be liable, whether as a result of breach of contract, warranty, tort (including negligence) or other grounds, for special, consequential, incidental or penal damages including, but not limited to, loss of profits, revenues, loss of the product or any associated product, cost of capital, cost of substitute products, facilities or services, downtime costs or claims of the Customer for such damages. If TDIndustries, Inc. furnishes Customer with advice or other assistance which concerns labor, equipment, goods, or material furnished hereunder, or any systems or equipment in which of such equipment, goods, or material may be installed, and which is not pursuant to this contract, the furnishing of such advice or assistance will not subject TDIndustries, Inc. to any liability, whether based on contract, warranty, tort (including negligence) or other grounds.
2	If TDIndustries, Inc. encounters asbestos, polychlorinated Biphenyl (PCB) or other hazardous substances on the site, TDIndustries, Inc. will stop work and report the condition to the owner or owners' representative. TDIndustries, Inc. will not resume work in the affected area until the asbestos, PCB's or other hazardous substances have been removed or otherwise controlled so that it does not pose a health or safety threat.
3	Any installation dates given in advance are estimated. Installation will be subject to prior orders with TDIndustries, Inc. TDIndustries, Inc. shall not be liable for failure to perform or delay in performance hereunder resulting from fire, labor difficulties, delays in usual sources of supply, major changes in economic conditions, or, without limitation by the foregoing, any cause beyond TDIndustries, Inc. reasonable control.
4	On arrival of any equipment, goods and material at the shipping address specified on the reverse side hereof, Customer shall assume all risk or loss or damage to such equipment, goods, or material.
5	In the event Customer requires TDIndustries, Inc. to delay shipment or completion of the work under this proposal, payment pursuant to this proposal shall not be withheld or delayed on such account. TDIndustries, Inc. shall have the right to deliver any portion of the equipment, goods or material to be furnished hereunder and to bill Customer therefore, and Customer agrees to pay for the same in accordance with terms of the payment hereof upon notification that such shipment is ready for delivery, notwithstanding the fact that Customer may be unable to receive or provide suitable storage space for any such partial delivery. In such event, such portion of the equipment, TDIndustries, Inc. may store goods or material ready for shipment at Customer's risk and expense.
6	The amount of any past, present or future occupation, sales, use, service, excise or other similar tax which TDIndustries, Inc. shall be liable for, either on its own behalf or on behalf of Customer, or otherwise, with respect to any equipment, goods, material or service covered by this proposal, shall be in addition to the prices set forth herein and shall be paid by Customer.
7	If the equipment, goods or material furnished hereunder requires the use of water or steam, recirculated or otherwise, TDIndustries, Inc. shall not be liable for the effect of its physical or chemical properties upon said equipment, goods or material.
8	All skilled or common labor which may be furnished by the Customer shall be considered and treated as Customer's own employees, and Customer agrees to fully protect and indemnify TDIndustries, Inc. against all claims for accidents or injuries to such employees in the course of the work, or to any person or persons through the negligence of such employees.
9	No oral representations are binding upon TDIndustries, Inc. unless reduced to writing and signed by an authorized representative of TDIndustries, Inc. All changes to this contract must be in writing.

Revised 05-09-2008

2601 Northern Cross Blvd, Suite 201, Fort Worth, TX 76137, Phone 817-306-6500, Fax 817-306-6512

License # HVAC TACLA17611C – Lyn Freeman, Plumbing M-19925 David Hollowell, Electrical TECL17889 DFW



Davis Motor Crane Service, Inc.
 972-438-1122
 1212 N. Loop 12
 Irving, TX
www.daviscrane.com

EQUIPMENT RENTAL ESTIMATE

Quote #:	192834-1
Quote Date:	5/20/2022
Job Date:	6/6/2022
Expires:	7/19/2022
PO #:	

Customer Information	Customer Contact Information	Job Site
Marseal Group Texas	Contact: Brock Reaves Phone: 940-210-7099 Email: breaves@marsealgroup.com Company Contact Information Rep: BRADFORD, ALAN Phone: 214-251-7099 Email: alan@daviscraneservice.com	Police Department Keller, Texas Job looked at by:

Scope of Work: Work as directed by customer fly roofing material

*****PRICING ESTIMATE TO BE USED FOR CUSTOMER'S BID PURPOSES ONLY – THIS IS NOT AN INVOICE*****

Description	Rate
75 TON TRUCK CRANE W/OPERATOR RATE PER HR. W/ 4 HR. MIN.	\$322.00
	(OT) \$90.00
OILER	\$0.00
HIGHWAY PERMIT	\$100.00
ADDITIONAL COSTS	
LIFT PLANS PER PLAN	\$350.00
Lifting Devices skip pan per day	\$150.00
State of Texas (8.25%)	

Distance From:	Height:	Distance In:	Weight (lbs.): 4000	Radius: 80	Lift Comments: Call In
Boom Length: 127	Jib Length: 0	Jib Offset: 0	Counterweights: 18400	# of Pieces:	

Customer To Provide: clear area to rig up and down

Ground Conditions: parking lot

Jobsite Access:

Power Lines: No

Additional Info:

****DISCLAIMER:**

***Temporary 5% Fuel Surcharge Added To All Powered Equipment At Invoicing.**

*JHA's are required to be filled out by Davis Motor Crane Service, Inc.'s operators with the customer signature before the job starts.

*Overtime consists of before 8am, after 4:30pm Monday thru Friday, and all-day weekends.

* Davis Motor Crane Service, Inc. will not be responsible for any damage to concrete, asphalt, driveways, parking areas, grass, underground utilities or structures.

*All Equipment is billed portal to portal.

*All quotes are subject to an hourly minimum.

*Credit Card Convenience Fee of 3% will be applied to all invoices paid with a credit card

*This is a quote not a contract price and is subject to change if job conditions change.

*This quote will expire 60 days from date of quote.

If you should require any additional information, please contact me at the above phone number or email.





Davis Motor Crane Service, Inc.
 972-438-1122
 1212 N. Loop 12
 Irving, TX
www.daviscrane.com

EQUIPMENT RENTAL ESTIMATE

Quote #:	192834-1
Quote Date:	5/20/2022
Job Date:	6/6/2022
Expires:	7/19/2022
PO #:	

Customer Information	Customer Contact Information	Job Site
Marseal Group Texas	Contact: Brock Reaves Phone: 940-210-7099 Email: breaves@marsealgroup.com Company Contact Information Rep: BRADFORD, ALAN Phone: 214-251-7099 Email: alan@daviscraneservice.com	Police Department Keller, Texas Job looked at by:

PLEASE SIGN IN ACCEPTANCE OF THIS ESTIMATE			
	BRADFORD, ALAN		5/23/2022
			Date Signed
Company Representative ("Lessor")	Printed Name	Authorized Customer Representative	Printed Name



QUOTATION

May 19, 2022

Marseal Group
Attn: Brock Reaves
Via: Email

RE: **City of Keller Police Department 330 Rufe Snow**

We propose to furnish labor and materials to perform the following work at the above referenced building:

Scope of Work:

- **Quote 1: Roof A**
 - Material and labor to repair any hail damage found on the TPO roof surface: \$2,775.00
- **Quote 2: Roof B**
 - Material and labor to repair any hail damage found on the TPO roof surface: \$4,625.00
- **Quote 3: Roof A & B**
 - Material and labor to remove and replace any repairs that have been made that are not Johns Manville material: \$16,245.00
- **Quote 4: Skylights**
 - 2 Skylights: \$1,750.00

*Excludes: Tax

****BECAUSE OF MANUFACTURER PRICING VOLATILITY AND PRODUCT AVAILABILITY, ALL PRICING AND DELIVERY DATES ARE SUBJECT TO CHANGE WITHOUT NOTICE.****

**Respectfully Submitted,
Jorge L. Bazan, Sr.**

2824 N. Beach Street ■ Fort Worth, TX 76111 ■ (817)831-4253 ■ Fax (817)831-4254
HISTORICALLY UNDERUTILIZED BUSINESS (HUB) VENDOR #006928

EXHIBIT E – iv.

Intentionally left blank.



INITIALS _____
EXHIBIT B

TDIndustries is licensed and regulated by the
Texas Department of Licensing and Regulation
P.O. Box 12157
Austin, TX 78711
1-800-803-9202 or 512-463-6599
www.license.state.tx.us



Texas State Board of Plumbing
P.O. Box 4200
Austin, TX 78765

Company:	Marseal Group	Building Name:	Keller Public Library
Bill to Address:	208 N Hwy. 377 Roanoke, TX 76262	Building Address:	640 Johnson Rd Keller, TX 76248
Contact:	Brock Reaves	Job Name:	Exhaust Fans/Gas Lines
Phone:	940-210-7099	Date:	May 11, 2022
Email:	breaves@marsealgroup.com	Proposal No:	

TDIndustries, Inc. is very pleased to have the opportunity to provide pricing for the above referenced property. Please find listed below the scope of work that will be performed.

Scope of Work:

Replace 3 exhaust fans, 3 Relief Hoods, Disconnect and Reconnect the gas lines and condensate lines

- EF 1 Greenheck m# 6B-081-6-X s# 11870302 0909
- EF 2 Greenheck m# 6B-091-6-X s# 11870303 0909
- EF 5 Greenheck m# 6B-091-6-X s# 11870305 0909
- RH 1 Greenheck m# GRS-42 s# 11870306
- RH 2 Greenheck m# GRS-42 s# 11870307
- RH 3 Greenheck m# GRS-42 s# 11870308

- LOTO electrical and disconnect
- Replace exhaust fan (using customer supplied crane)
- Reconnect electrical and confirm proper operation
- Clean up site and remove debris

Demo gas lines and condensate lines and reinstall once roof is complete

- LOTO gas line main
- Mark up and cut gas lines and condensate lines in sections
- Move lines to one section of the roof
- Reinstall using mega press and propress once roof is complete in area
- Provide new roller pipe support
- Pressure check and put back in operation

Notes:

- This proposal does not include after-hours labor
- Additional repairs will be quoted separately

Total Price for Labor and Materials (Excluding Sales Tax) -----	\$51,980.00
Add option: Provide Crane -----	\$ 1,100.00

* Net due upon receipt of invoice. Remit to P.O. Box 300008, Dallas, TX 75303-0008

Thank you very much for the opportunity to provide pricing for the work listed above. Please contact me at the numbers listed below if you have any questions or need further information.

Respectfully submitted,

Ki Bartlett

Account Manager III

TDIndustries

Ki.Bartlett@TDIndustries.com

O: 817-306-6530 | C: 817-401-9751

Accepted by

Date

Clarifications

- Following our core value to “Fiercely Protect”, our employees are empowered to stop work at any time where they deem the safety of themselves or anyone else is in jeopardy. We will immediately seek to resolve any concerns by engaging with our customer and safety department to elevate the issue which will allow work to resume.
- This proposal is based on performing work during normal working hours and at normal wage rates paid by TDIndustries, Inc.
- Price is based on the assumption that the structure is of sufficient strength that all piping, duct and equipment can be supported from it.
- Proposal is inclusive of all permits and inspections as required by local and state agencies. Where work is being performed under a General Contractor, we will validate under Contractors Building Code permit.
- All pricing is based on award of contract and work commence not later than 60 days from the date of this proposal with pricing subject to review after 30 days from the date of proposal.
- TDIndustries, Inc. assumes no responsibility for existing services / conditions, their quality and/or performance. Existing valves must close and hold.
- TDIndustries, Inc. assumes no responsibility for condition of utilities or parking lots/roadways above or below grade.
- TDIndustries disclaims any responsibility for incorrect data contained in the plan, specs and/or engineering data.
- Proposal is based on use of building elevators.
- Delays Caused By Coronavirus Concerns. Notwithstanding any other provision of this Agreement, any delay caused by good faith actions taken by Owner, Design-Builder, or federal, state or local government agencies in an effort to thwart, limit, prevent or treat coronavirus shall be excused. This excuse shall also apply to a shortage of materials or labor as a result of the coronavirus threat.

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- Concrete work of any nature.
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- Smoke dampers or smoke ventilation other than stair pressurization.
- Insulation of existing un-insulated ductwork.
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- Repairs or modifications of existing mechanical equipment or systems.
- Roof cutting and patching unless specified by owner
- Roofing work.
- Cutting roof deck.
- Leveling roof curbs.
- Any pre-existing conditions (gas pressure, electrical, structural).
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LIMITED WARRANTY

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3	Any installation dates given in advance are estimated. Installation will be subject to prior orders with TDIndustries, Inc. TDIndustries, Inc. shall not be liable for failure to perform or delay in performance hereunder resulting from fire, labor difficulties, delays in usual sources of supply, major changes in economic conditions, or, without limitation by the foregoing, any cause beyond TDIndustries, Inc. reasonable control.
4	On arrival of any equipment, goods and material at the shipping address specified on the reverse side hereof, Customer shall assume all risk or loss or damage to such equipment, goods, or material.
5	In the event Customer requires TDIndustries, Inc. to delay shipment or completion of the work under this proposal, payment pursuant to this proposal shall not be withheld or delayed on such account. TDIndustries, Inc. shall have the right to deliver any portion of the equipment, goods or material to be furnished hereunder and to bill Customer therefore, and Customer agrees to pay for the same in accordance with terms of the payment hereof upon notification that such shipment is ready for delivery, notwithstanding the fact that Customer may be unable to receive or provide suitable storage space for any such partial delivery. In such event, such portion of the equipment, TDIndustries, Inc. may store goods or material ready for shipment at Customer's risk and expense.
6	The amount of any past, present or future occupation, sales, use, service, excise or other similar tax which TDIndustries, Inc. shall be liable for, either on its own behalf or on behalf of Customer, or otherwise, with respect to any equipment, goods, material or service covered by this proposal, shall be in addition to the prices set forth herein and shall be paid by Customer.
7	If the equipment, goods or material furnished hereunder requires the use of water or steam, recirculated or otherwise, TDIndustries, Inc. shall not be liable for the effect of its physical or chemical properties upon said equipment, goods or material.
8	All skilled or common labor which may be furnished by the Customer shall be considered and treated as Customer's own employees, and Customer agrees to fully protect and indemnify TDIndustries, Inc. against all claims for accidents or injuries to such employees in the course of the work, or to any person or persons through the negligence of such employees.
9	No oral representations are binding upon TDIndustries, Inc. unless reduced to writing and signed by an authorized representative of TDIndustries, Inc. All changes to this contract must be in writing.

Revised 05-09-2008

2601 Northern Cross Blvd, Suite 201, Fort Worth, TX 76137, Phone 817-306-6500, Fax 817-306-6512
License # HVAC TACLA17611C – Lyn Freeman, Plumbing M-19925 David Hollowell, Electrical TECL17889 DFW

EXHIBIT E – v.

Insurance Estimate dated 05/23/2022.



INITIALS _____

EXHIBIT B

Insured: City Of Keller
Property: Various Locations
Keller, TX 76244

Claim Number: PR142925

Policy Number: PR142925

Type of Loss: Hail

Date Contacted: 4/30/2021 12:00 AM
Date of Loss: 4/28/2021 12:00 AM
Date Inspected: 5/5/2021 12:00 AM
Date Est. Completed: 3/28/2022 12:01 PM
Date Received: 4/29/2021 12:00 AM
Date Entered: 3/25/2022 12:29 PM

Price List: TXDF8X_MAY21
Restoration/Service/Remodel
Estimate: COKELLER_5_9UPDATE

This estimate revision is for building ID 23 Police Station; ID 24 Public Library; ID 28 Senior Center; ID 68 City Hall; ID 105 Keller Pointe; ID 264 Jail

DISCLAIMER APPLICABLE TO ALL XACTIMATE REPORTS

We provide lump sum estimates as market rate offers that guarantee a price on a given scope. Therefore, while Xactimate may be a useful tool to estimate what the breakdown of a cost-plus pricing model may look like, we do not use a cost-plus pricing model. Our estimates are for lump sum only. Xactimate estimates are not the same as getting bids from other quality contractors and do not include or account for the added costs or considerations of expenses incurred by a disaster recovery contractor or the guaranteed pricing present in our offer. Our company has not itemized various general and specific costs that our company has spent to date or will spend, such as travel, local or remote and emergency staging of personnel and materials, all of which are included in our lump sum price. Our actual cost of work may differ from this Xactimate estimate. Our actual unit costs, overhead and/or profit realized may be higher or lower depending upon the actual market, but as this is a lump sum contract, we guarantee the final price on the specified scope. This Xactimate estimate is not an offer by our company on individual line items. It is a bid and offer on for a lump sum price only for the items of work identified. If your company or our customer authorizes us to perform this job for the total lump sum of our estimate, we consider this a binding bilateral obligation and we take the risk to guarantee work and pricing on the scope provided. Our lump sum price is only applicable for the scope set forth in this estimate, and if the scope of work changes, we reserve the right to supplement.

TORTIOUS INTERFERENCE WITH A CONTRACT: All insurers are also put on notice by our Legal Department that we have a contract with our client for the repair of the property. We understand that it may benefit an insurer to have our client terminate (breach) its contract with our company in favor of someone who may agree to perform work that is either reduced in scope or price compared to our contract with our client. We reserve the right to bring legal action against any person or company we believe in good faith has tortiously interfered with that contract.

COKELLER_5_9UPDATE
CITY_OF_KELLER1- ID: 6 - Fire Station #2 (737 Kell

ID: 6 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Measurements obtained from Eagleview.						
1. Tear off, haul and dispose of comp. shingles - Laminated	63.67 SQ	53.28	0.00	0.00	678.46	4,070.80
2. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	0.00	0.00	0.00	0.00
3. R&R Drip edge	658.00 LF	0.30	2.45	0.00	361.90	2,171.40
4. Roofing felt - synthetic underlayment	63.67 SQ	0.00	40.10	0.00	510.64	3,063.81
5. Laminated - comp. shingle rfg. - w/out felt	70.33 SQ	0.00	217.64	0.00	3,061.32	18,367.94
6. Ridge cap - Standard profile - composition shingles	219.00 LF	0.00	5.32	0.00	233.02	1,398.10
7. R&R Flashing - pipe jack	7.00 EA	6.53	44.82	0.00	71.88	431.33
8. R&R Flashing - pipe jack - lead	1.00 EA	6.53	77.26	0.00	16.76	100.55
9. Prime & paint roof jack	8.00 EA	0.00	34.94	0.00	55.90	335.42
10. R&R Roof vent - turtle type - Metal	9.00 EA	8.33	57.44	0.00	118.40	710.33
11. R&R Rain cap - 8"	1.00 EA	4.64	44.40	0.00	9.80	58.84
12. R&R Gravity roof ventilator - 18"	<u>EA</u>	<u>8.33</u>	<u>292.76</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
This is an incorrect line item. Bid for HVAC power vents enclosed.						
13. Roofer - per hour	6.00 HR	0.00	122.01	0.00	146.42	878.48
Additional labor allowance to manipulate step/counter flashing						
14. Heat, Vent, & Air Conditioning (Bid Item)	1.00 EA	0.00	9,800.00	0.00	1,960.00	11,760.00
Bid from TDindustries to replace TML Xactimate line item for gravity roof vents.						
15. Commercial Supervision / Project Management - per hour	16.00 HR	0.00	68.19	0.00	218.20	1,309.24
16. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	1,767.04	0.00	353.40	2,120.44
TIPS FEE is 2%						
17. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	2,864.18	0.00	572.84	3,437.02
Payment and Performance bonds 2.4%						
18. Temporary toilet (per month)	1.00 MO	0.00	203.61	0.00	40.72	244.33
Totals: ID: 6 - Roof				0.00	8,409.66	50,458.03

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
19. R&R Sectional overhead door, 14' x 14' - insulated	EA	79.06	2,461.17	0.00	0.00	0.00
Roll up doors are not residential.						
20. R&R Window screen, 10 - 16 SF	3.00 EA	3.51	45.38	0.00	29.32	175.99
21. Doors (Bid Item)	2.00 EA	0.00	17,792.00	0.00	7,116.80	42,700.80
Bid for like kind and quality door.						
22. Doors (Bid Item)	1.00 EA	0.00	125.00	0.00	25.00	150.00
FCD Rental expense from Family Christian Door \$250/2 = \$125						
Totals: Front Elevation				0.00	7,171.12	43,026.79

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Right Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Rear Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
23. R&R Window screen, 10 - 16 SF	3.00 EA	3.51	45.38	0.00	29.32	175.99
Totals: Left Elevation				0.00	29.32	175.99

Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
24. Tandem axle dump trailer - per load - including dump fees	1.00 EA	207.31	0.00	0.00	41.46	248.77

CONTINUED - Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
allows for non roofing related debris						
Totals: Debris Removal				0.00	41.46	248.77
Total: CITY_OF_KELLER1- ID: 6 - Fire Station #2 (737 Kell				0.00	15,651.56	93,909.58

ID: 11 - Comfort Station (400 Bear Creek Park Rd)

ID: 11 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
Totals: ID: 11 - Roof				0.00	0.00	0.00

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Front Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Rear Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Left Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
COKELLER_5_9UPDATE						

CONTINUED - Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
<hr/>						
Totals: Right Elevation				0.00	0.00	0.00

ID: 14 - Comfort Station (640 Johnson Rd)

ID: 14 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
<hr/>						
Totals: ID: 14 - Roof				0.00	0.00	0.00

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
<hr/>						
Totals: Front Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
<hr/>						
Totals: Rear Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
<hr/>						
Totals: Left Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
<hr/>						

CONTINUED - Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Totals: Right Elevation				0.00	0.00	0.00

ID: 16 - Book Store (137 Taylor St)

Membrane Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
25. R&R Single ply membrane - Fully adhered system - 60 mil	4.75 SQ	69.14	450.95	0.00	494.08	2,964.51
26. R&R Insulation - ISO board, 2"	4.75 SQ	37.52	258.45	0.00	281.16	1,687.02
27. R&R Drip edge - PVC/TPO clad metal	66.71 LF	0.30	4.43	0.00	63.10	378.64
28. R&R Pipe jack flashing - PVC/TPO	3.00 EA	7.33	67.52	0.00	44.92	269.47
29. Temporary Repairs (Bid Item)	1.00 EA	0.00	2,945.31	0.00	0.00	2,945.31
Emergency temporary repair necessary to patch holes in roof. Membrane material and ISO were not available due to Covid supply chain supply issues at date of storm even. A coating was the only option to stop the leaking.						
Totals: Membrane Roof				0.00	883.26	8,244.95

Composition Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
30. Tear off, haul and dispose of comp. shingles - 3 tab	7.00 SQ	51.48	0.00	0.00	72.08	432.44
31. R&R Drip edge	71.92 LF	0.30	2.45	0.00	39.56	237.34
32. Roofing felt - 15 lb.	7.00 SQ	0.00	30.34	0.00	42.48	254.86
33. 3 tab - 25 yr. - comp. shingle roofing - w/out felt	8.33 SQ	0.00	207.16	0.00	345.12	2,070.76
34. R&R Roof vent - turtle type - Metal	2.00 EA	8.33	57.44	0.00	26.32	157.86
Totals: Composition Roof				0.00	525.56	3,153.26

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Front Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Rear Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Left Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Right Elevation				0.00	0.00	0.00

Interior

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
35. R&R Fluorescent - four tube - 4' - fixture w/lens	1.00 EA	12.92	141.45	0.00	30.88	185.25
Totals: Interior				0.00	30.88	185.25
Total: ID: 16 - Book Store (137 Taylor St)				0.00	1,439.70	11,583.46

ID: 22 - Playground Equipment (640 Johnson Rd)

ID: 22 - Comp Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
36. Tear off, haul and dispose of comp. shingles - Laminated	4.70 SQ	53.28	0.00	0.00	50.08	300.50
37. R&R Drip edge	76.00 LF	0.30	2.45	0.00	41.80	250.80
38. Roofing felt - 30 lb.	4.70 SQ	0.00	34.95	0.00	32.86	197.13
39. Laminated - comp. shingle rfg. - w/out felt	5.67 SQ	0.00	217.64	0.00	246.80	1,480.82

CONTINUED - ID: 22 - Comp Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
40. Ridge cap - Standard profile - composition shingles	62.38 LF	0.00	5.32	0.00	66.38	398.24
41. Commercial Supervision / Project Management - per hour	4.00 HR	0.00	68.19	0.00	54.56	327.32
42. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	60.71	0.00	12.14	72.85
TIPS FEE is 2%						
43. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	243.25	0.00	48.66	291.91
Payment and Performance bonds 2.4%						
44. Temporary toilet (per month)	0.33 MO	0.00	203.61	0.00	13.44	80.63
Toilet expense split between ID's 22, 59, & 287						
Totals: ID: 22 - Comp Roof				0.00	566.72	3,400.20
Total: ID: 22 - Playground Equipment (640 Johnson Rd)				0.00	566.72	3,400.20

ID: 23 - Police Station & Animal Control(330 Rufe)

ID: 23 Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Measurements obtained from Eagleview						
Totals: ID: 23 Roof				0.00	0.00	0.00

Metal Roof System

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
Totals: Metal Roof System				0.00	0.00	0.00

TPO Membrane

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
45. Material Only Single ply membrane - Fully adhered system - 60 mil	<u>SQ</u>	<u>0.00</u>	<u>180.71</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
46. Roofer - per hour	<u>HR</u>	<u>0.00</u>	<u>122.01</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>

CONTINUED - TPO Membrane

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Labor and materials for repairs to scattered hail damage						
47. Roofing (Bid Item)	1.00 EA	0.00	2,775.00	0.00	555.00	3,330.00
Bid to repair hail damages to roof. Repairs completed by a JM certified installer, so warranty will remain valid with manufacturer.						
Totals: TPO Membrane				0.00	555.00	3,330.00

Modified Bitumen

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Measurements obtained from Eagleview.						
48. R&R Modified bitumen roof	167.00 SQ	47.48	388.78	0.00	14,571.10	87,426.52
49. R&R Flash parapet wall only - bitumen	747.00 LF	1.85	13.10	0.00	2,233.54	13,401.19
50. R&R Insulation - ISO board, 3"	167.00 SQ	37.52	342.41	0.00	12,689.66	76,137.97
51. Roof drain cover - Detach & reset	EA	0.00	47.45	0.00	0.00	0.00
52. R&R Aluminum termination bar / flashing for membrane roofs	930.00 LF	0.55	2.65	0.00	595.20	3,571.20
608 LF under counter flashing and 322LF under perimeter aluminum cap flashing.						
53. R&R Counterflashing - Apron flashing	842.00 LF	0.55	9.43	0.00	1,680.64	10,083.80
installed over termination bar						
54. R&R Cap flashing - large	225.00 LF	0.55	25.26	0.00	1,161.46	6,968.71
55. R&R Roof vent - turtle type - Metal	1.00 EA	8.33	57.44	0.00	13.14	78.91
Mechanical						
56. Central air - condenser repair - fan guard	4.00 EA	0.00	188.06	0.00	150.44	902.68
57. Comb and straighten a/c condenser fins - w/out trip charge	1.00 EA	0.00	71.90	0.00	14.38	86.28
58. R&R Gravity roof ventilator - 18"	EA	8.33	292.76	0.00	0.00	0.00
This item is not a correct line item for rooftop HVAC exhaust vents. This has been included in the bid from TD Industries.						
60. R&R Roof drain - cast iron - 2" to 6" outlet	16.00 EA	39.75	484.65	0.00	1,678.08	10,068.48
61. Heat, Vent, & Air Conditioning (Bid Item)	1.00 EA	0.00	51,655.00	0.00	10,331.00	61,986.00
Totals: Modified Bitumen				0.00	45,118.64	270,711.74

Storage Addition

CONTINUED - Storage Addition

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
62. R&R Rubber roofing - Mechanically attached - 45 mil	SQ	69.14	389.98	0.00	0.00	0.00
This building is not part of the city portfolio.						
63. R&R Fiberboard - 1"	SF	0.42	1.18	0.00	0.00	0.00
Totals: Storage Addition				0.00	0.00	0.00

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
<u>64. Reglaze 1/4" polycarbonate - single pane</u>	<u>SF</u>	<u>0.00</u>	<u>12.75</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
replacement above front walkway.						
65. Glass, Glazing, & Storefronts (Bid Item)	1.00 EA	0.00	0.00	0.00	0.00	0.00
Bid to replace damaged panels.						
Totals: Front Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Right Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Rear Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Left Elevation				0.00	0.00	0.00

Miscellaneous

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
66. Boom or spider lift - 50'-60' reach (per week)	<u>WK</u>	<u>0.00</u>	<u>1,302.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
67. Temporary toilet (per month)	1.00 MO	0.00	203.61	0.00	40.72	244.33
68. Telehandler/forklift (per month) - no operator	1.00 MO	0.00	5,870.78	0.00	1,174.16	7,044.94
69. Temporary fencing - 1-4 months (per month)	600.00 LF	0.00	1.76	0.00	211.20	1,267.20
70. Dumpster load - Approx. 40 yards, 7-8 tons of debris	10.00 EA	641.00	0.00	0.00	1,282.00	7,692.00
71. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	6,682.07	0.00	1,336.42	8,018.49
TIPS FEE is 2%						
72. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	9,699.07	0.00	1,939.82	11,638.89
Payment and Performance bonds 2.4%						
73. Commercial Supervision / Project Management - per hour	210.00 HR	0.00	68.19	0.00	2,863.98	17,183.88
Project will run 3 weeks, 6 days a week. 12 hours a day.						
74. Heavy Equipment (Bid Item)	1.00 EA	0.00	19,532.00	0.00	3,906.40	23,438.40
Bid for crane to access roofs. 7 eight hours work days.						
Totals: Miscellaneous				0.00	12,754.70	76,528.13
Total: ID: 23 - Police Station & Animal Control(330 Rufe)				0.00	58,428.34	350,569.87

ID: 24 - Public Library (640 Johnson Rd)

ID: 24 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Measurements obtained from Eagleview						
75. R&R Single ply membrane - Fully adhered system - 60 mil	207.99 SQ	69.14	450.95	0.00	21,634.70	129,808.22
76. R&R Insulation - ISO board, 3"	<u>SQ</u>	<u>37.52</u>	<u>342.41</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
77. R&R Aluminum termination bar / flashing for membrane roofs	835.00 LF	0.55	2.65	0.00	534.42	3,206.42
78. R&R Flash parapet wall only - PVC/TPO	835.00 LF	1.85	14.47	0.00	2,725.46	16,352.66
79. R&R Drip edge - PVC/TPO clad metal	154.00 LF	0.30	4.43	0.00	145.68	874.10
80. R&R Curb flashing - PVC/TPO	210.00 LF	1.74	18.24	0.00	839.16	5,034.96
81. Reglaze skylight - 10 to 15 SF	<u>EA</u>	<u>0.00</u>	<u>224.87</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>

CONTINUED - ID: 24 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Reglazing a skylight is simply weather sealing it. This does not fix a broken skylight						
82. Roof drain cover - Detach & reset	<u>EA</u>	<u>0.00</u>	<u>47.45</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
Drains need to be completely removed to remove all roofing systems. New drains will need to be installed as these drains have been previously sealed to an asphaltic roofing system.						
83. Roofing - walkway boards	250.00 SF	0.00	4.04	0.00	202.00	1,212.00
84. Cast iron pipe (no hub) - Detach & reset	606.00 LF	0.00	59.00	0.00	7,150.80	42,904.80
Mechanical						
85. Central air - condenser repair - fan guard	13.00 EA	0.00	188.06	0.00	488.96	2,933.74
86. R&R Gravity roof ventilator - 18"	<u>EA</u>	<u>8.33</u>	<u>292.76</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
Bid from TD Industries for power vents.						
87. R&R Exhaust cap - through roof - 6" to 8"	2.00 EA	8.33	83.73	0.00	36.84	220.96
88. Comb and straighten a/c condenser fins - w/out trip charge	1.00 EA	0.00	71.90	0.00	14.38	86.28
89. R&R Exterior outlet or switch cover	4.00 EA	0.58	9.37	0.00	7.96	47.76
90. R&R Sheathing - fiberglass gypsum panel - 1/2"	20,800.00 SF	0.53	1.61	0.00	8,902.40	53,414.40
91. Remove Modified bitumen roof	208.00 SQ	47.48	0.00	0.00	1,975.16	11,851.00
92. R&R Insulation - polystyrene board, 1"	208.00 SQ	37.52	177.75	0.00	8,955.24	53,731.40
93. R&R Insulation - ISO board, 1 1/2"	208.00 SQ	37.52	216.03	0.00	10,547.68	63,286.08
94. R&R Insulation - ISO board, 2"	208.00 SQ	37.52	258.45	0.00	12,312.36	73,874.12
95. R&R Skylight - double dome fixed, 12.6 - 15.5 sf	4.00 EA	27.93	519.98	0.00	438.32	2,629.96
96. R&R Roof drain - cast iron - 2" to 6" outlet	15.00 EA	39.75	484.65	0.00	1,573.22	9,439.22
97. Heat, Vent, & Air Conditioning (Bid Item)	1.00 EA	0.00	53,080.00	0.00	10,616.00	63,696.00
TDI bid to replace line 86 of Xactimate.						
Totals: ID: 24 - Roof				0.00	89,100.74	534,604.08

Miscellaneous

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
98. Boom or spider lift - 50'-60' reach (per week)	<u>WK</u>	<u>0.00</u>	<u>1,302.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
99. Temporary toilet (per month)	1.00 MO	0.00	203.61	0.00	40.72	244.33

CONTINUED - Miscellaneous

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
100. Telehandler/forklift (per month) - no operator	1.00 MO	0.00	5,870.78	0.00	1,174.16	7,044.94
Price adjusted to reflect actual rental rate						
101. Temporary fencing - 1-4 months (per month)	400.00 LF	0.00	1.76	0.00	140.80	844.80
102. Dumpster load - Approx. 40 yards, 7-8 tons of debris	1.00 EA	641.00	0.00	0.00	128.20	769.20
103. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	11,482.96	0.00	2,296.60	13,779.56
TIPS FEE is 2%						
104. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	10,539.77	0.00	2,107.96	12,647.73
Payment and Performance bonds 2.4%						
105. Commercial Supervision / Project Management - per hour	210.00 HR	0.00	68.19	0.00	2,863.98	17,183.88
Project will run 3 weeks, 6 days a week. 12 hours a day.						
Totals: Miscellaneous				0.00	8,752.42	52,514.44
Total: ID: 24 - Public Library (640 Johnson Rd)				0.00	97,853.16	587,118.52

ID: 28 - Senior Citizens (660 Johnson Rd)

ID: 28 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
106. R&R Power attic vent cover only - plastic	2.00 EA	11.59	80.42	0.00	36.80	220.82
107. R&R Roof vent - turtle type - Metal	1.00 EA	8.33	57.44	0.00	13.14	78.91
108. R&R Rain cap - 4" to 5"	4.00 EA	4.64	32.76	0.00	29.92	179.52
Totals: ID: 28 - Roof				0.00	79.86	479.25

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
109. Reglaze double-pane thermal window unit, 1 - 9 sf	EA	0.00	136.63	0.00	0.00	0.00
110. Window Reglazing & Repair (Bid Item)	1.00 EA	0.00	0.00	0.00	0.00	0.00
Window replacement will be a bid item.						

CONTINUED - Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
111. Commercial Supervision / Project Management - per hour	5.00 HR	0.00	68.19	0.00	68.20	409.15
112. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	0.00	0.00	0.00	0.00
TIPS FEE is 2%						
113. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	0.00	0.00	0.00	0.00
Payment and Performance bonds 2.4%						
Totals: Front Elevation				0.00	68.20	409.15
Total: ID: 28 - Senior Citizens (660 Johnson Rd)				0.00	148.06	888.40

ID: 53 - Pavilions (640 Johnson Rd))

ID: 53 - Roof 1

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
Totals: ID: 53 - Roof 1				0.00	0.00	0.00

Roof 2

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
Totals: Roof 2				0.00	0.00	0.00

ID: 56 - Comfort Station/Concession(265 Dolden Tr

ID: 56 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
Totals: ID: 56 - Roof				0.00	0.00	0.00

Front Elevation

CONTINUED - Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Front Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Rear Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Right Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Left Elevation				0.00	0.00	0.00

ID: 57 - Comfort Station/Concession(265 Golden Tr

ID: 57 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
Totals: ID: 57 - Roof				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
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CONTINUED - Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Right Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Rear Elevation				0.00	0.00	0.00

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Front Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Left Elevation				0.00	0.00	0.00

ID: 58 - Pavilion (265 Golden Triangle Blvd)

ID: 58 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
Totals: ID: 58 - Roof				0.00	0.00	0.00

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
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CONTINUED - Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Front Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Rear Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Right Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Left Elevation				0.00	0.00	0.00

ID: 59 - Playground Equipment (265 Golden Triangle)

ID: 59 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
114. Remove Ridge cap - metal roofing	52.53 LF	3.13	0.00	0.00	32.88	197.30
115. Install Ridge cap - metal roofing	52.53 LF	0.00	3.30	0.00	34.68	208.03
116. R&R Deck planking - cedar (per SF)	166.62 SF	1.85	7.81	0.00	321.92	1,931.47
117. Boom lift - 30'-45' reach (per day)	3.00 DA	0.00	384.00	0.00	230.40	1,382.40
Required for access to roofs.						
118. Stain/finish deck	166.62 SF	0.00	0.95	0.00	31.66	189.95

Stain topside and underneath to match.

CONTINUED - ID: 59 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
119. Mask the surface area per square foot - plastic and tape - 4 mil Cover playground equipment prior to staining.	334.00 SF	0.00	0.26	0.00	17.36	104.20
120. Commercial Supervision / Project Management - per hour	16.00 HR	0.00	68.19	0.00	218.20	1,309.24
121. Temporary toilet (per month) Toilet expense split between ID's 22, 59, & 287	0.33 MO	0.00	203.61	0.00	13.44	80.63
122. Taxes, insurance, permits & fees (Bid Item) TIPS FEE is 2%	1.00 EA	0.00	115.82	0.00	23.16	138.98
123. Taxes, insurance, permits & fees (Bid Item) Payment and Performance bonds 2.4%	1.00 EA	0.00	321.30	0.00	64.26	385.56
Totals: ID: 59 - Roof				0.00	987.96	5,927.76

Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
124. Haul debris - per pickup truck load - including dump fees	1.00 EA	139.74	0.00	0.00	27.94	167.68
Totals: Debris Removal				0.00	27.94	167.68

Total: ID: 59 - Playground Equipment (265 Golden Triangle) **0.00 1,015.90 6,095.44**

ID: 68 - Town Center (1100 Bear Creek Pkwy

ID: 68 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
Totals: ID: 68 - Roof				0.00	0.00	0.00

Modified Bitumen System

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Measurements obtained from Eagleview.						
125. R&R Modified bitumen roof	47.61 SQ	47.48	388.78	0.00	4,154.06	24,924.40

CONTINUED - Modified Bitumen System

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
126. R&R Flash parapet wall only - bitumen	454.00 LF	1.85	13.10	0.00	1,357.46	8,144.76
<u>127. R&R Insulation - ISO board, 3"</u>	<u>SQ</u>	<u>37.52</u>	<u>342.41</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
Roof at its lowest point is 5" of perlite.						
128. Roof drain cover - Detach & reset	EA	0.00	47.45	0.00	0.00	0.00
129. R&R Aluminum termination bar / flashing for membrane roofs	454.00 LF	0.55	2.65	0.00	290.56	1,743.36
608 LF under counter flashing and 322LF under perimeter aluminum cap flashing.						
130. Central air - condenser repair - fan guard	4.00 EA	0.00	188.06	0.00	150.44	902.68
131. Comb and straighten a/c condenser fins - w/out trip charge	1.00 EA	0.00	71.90	0.00	14.38	86.28
<u>132. R&R Gravity roof ventilator - 18"</u>	<u>EA</u>	<u>8.33</u>	<u>292.76</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
133. R&R Flashing - pipe jack - lead	10.00 EA	6.53	77.26	0.00	167.58	1,005.48
134. R&R Rain cap - 8"	4.00 EA	4.64	44.40	0.00	39.24	235.40
135. Cast iron pipe (no hub) - Detach & reset	185.00 LF	0.00	59.00	0.00	2,183.00	13,098.00
Mechanical						
136. R&R Air conditioning security cage	3.00 EA	11.59	309.70	0.00	192.78	1,156.65
137. Remove Additional charge for high roof (2 stories or greater)	47.61 SQ	4.90	0.00	0.00	46.66	279.95
138. Additional charge for high roof (2 stories or greater)	47.61 SQ	0.00	19.14	0.00	182.26	1,093.52
139. R&R Counterflashing - Apron flashing	450.00 LF	0.55	9.43	0.00	898.20	5,389.20
Modbit is currently attached behind wall panels. The only options are to remove the wall panels in their entirety to remove and replace roof, or to create a new termination under wall panels by flashing under panels.						
140. R&R Pitch pan / pocket - up to 6" x 6" x 4" - galvanized	21.00 EA	23.18	103.44	0.00	531.80	3,190.82
141. Electrical - Special Systems (Bid Item)	1.00 EA	0.00	2,900.00	0.00	580.00	3,480.00
Bid for lightening protection system.						
142. R&R Roof drain - cast iron - 2" to 6" outlet	6.00 EA	39.75	484.65	0.00	629.28	3,775.68
143. R&R Insulation - perlite board, 2"	95.22 SQ	37.52	263.09	0.00	5,724.82	34,348.90
Core is 5" deep at the lowest and 12" deep at the thickest part of the roof.						
144. R&R Insulation - ISO board, 4"	47.61 SQ	37.52	437.50	0.00	4,523.14	27,138.85
tapered ISO system slopes from 5" perlite top 12" at peak above 4" perlite. We averaged it at 4" total.						
145. Heat, Vent, & Air Conditioning (Bid Item)	1.00 EA	0.00	11,345.00	0.00	2,269.00	13,614.00

Bid from TDindustries to replace TML Xactimate line item for gravity roof vents. Line item to replace Xactimate line132

CONTINUED - Modified Bitumen System

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
146. Scaffolding (Bid Item)	1.00 EA	0.00	28,280.31	0.00	5,656.06	33,936.37
Scaffolding required to access roof.						
Totals: Modified Bitumen System				0.00	29,590.72	177,544.30

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Front Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Rear Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Left Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Right Elevation				0.00	0.00	0.00

Miscellaneous

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
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CONTINUED - Miscellaneous

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
147. Crane and operator - 14 ton capacity - 65' extension boom 8 hour days for 10 business days	80.00 HR	0.00	137.00	0.00	2,192.00	13,152.00
148. Dumpster load - Approx. 40 yards, 7-8 tons of debris	3.00 EA	641.00	0.00	0.00	384.60	2,307.60
149. Commercial Supervision / Project Management - per hour	156.00 HR	0.00	68.19	0.00	2,127.52	12,765.16
Job is scheduled to take 10 days with a crane on site and 3 days to complete all finishing work without crane.						
150. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	4,261.17	0.00	852.24	5,113.41
TIPS FEE is 2%						
151. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	4,858.92	0.00	971.78	5,830.70
Payment and Performance bonds 2.4%						
152. Temporary toilet (per month)	1.00 MO	0.00	203.61	0.00	40.72	244.33
153. Telehandler/forklift (per month) - no operator	1.00 MO	0.00	5,870.78	0.00	1,174.16	7,044.94
Totals: Miscellaneous				0.00	7,743.02	46,458.14
Total: ID: 68 - Town Center (1100 Bear Creek Pkwy				0.00	37,333.74	224,002.44

ID: 71 - Maintenance Facility (265 Golden Triangle

ID: 71 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
Totals: ID: 71 - Roof				0.00	0.00	0.00

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Front Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
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CONTINUED - Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Rear Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Left Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Right Elevation				0.00	0.00	0.00

ID: 92 - Comfort Station/Concession #1 (265 Golden

ID: 92 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
Totals: ID: 92 - Roof				0.00	0.00	0.00

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Front Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
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CONTINUED - Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
<hr/>						
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Totals: Rear Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
<hr/>						
<hr/>						
Totals: Left Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
<hr/>						
<hr/>						
Totals: Right Elevation				0.00	0.00	0.00

ID: 93 - Comfort Station/Concession #2(265 Golden

ID: 93 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
<hr/>						
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Totals: ID: 93 - Roof				0.00	0.00	0.00

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
<hr/>						
<hr/>						
Totals: Front Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
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CONTINUED - Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Rear Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Left Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Right Elevation				0.00	0.00	0.00

ID: 96 - Shop/Crew Building (151 bear Creek Pkwy

ID: 96 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
154. Tear off, haul and dispose of comp. shingles - Laminated	39.80 SQ	53.28	0.00	0.00	424.10	2,544.64
155. R&R Drip edge	300.00 LF	0.30	2.45	0.00	165.00	990.00
156. Laminated - comp. shingle rfg. - w/out felt	46.00 SQ	0.00	217.64	0.00	2,002.28	12,013.72
157. Ridge cap - Standard profile - composition shingles	178.99 LF	0.00	5.32	0.00	190.44	1,142.67
158. R&R Flashing - pipe jack - lead	1.00 EA	6.53	77.26	0.00	16.76	100.55
159. R&R Rain cap - 8"	4.00 EA	4.64	44.40	0.00	39.24	235.40
160. Roofing felt - 15 lb.	39.80 SQ	0.00	30.34	0.00	241.50	1,449.03
161. Ice & water barrier	3,980.00 SF	0.00	1.54	0.00	1,225.84	7,355.04
162. Commercial Supervision / Project Management - per hour	8.00 HR	0.00	68.19	0.00	109.10	654.62
163. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	593.14	0.00	118.62	711.76

TIPS FEE is 2%

CONTINUED - ID: 96 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
164. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	1,061.06	0.00	212.22	1,273.28
Payment and Performance bonds 2.4%						
165. Temporary toilet (per month)	1.00 MO	0.00	203.61	0.00	40.72	244.33
Totals: ID: 96 - Roof				0.00	4,785.82	28,715.04

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
166. R&R Gutter guard/screen	118.00 LF	0.35	3.37	0.00	87.80	526.76
167. Gutter / downspout - Detach & reset	118.00 LF	0.00	4.41	0.00	104.08	624.46
Totals: Front Elevation				0.00	191.88	1,151.22

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
168. R&R Gutter guard/screen	32.00 LF	0.35	3.37	0.00	23.80	142.84
169. Gutter / downspout - Detach & reset	32.00 LF	0.00	4.41	0.00	28.22	169.34
Totals: Right Elevation				0.00	52.02	312.18

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
170. R&R Gutter guard/screen	118.00 LF	0.35	3.37	0.00	87.80	526.76
171. Gutter / downspout - Detach & reset	118.00 LF	0.00	4.41	0.00	104.08	624.46
Totals: Rear Elevation				0.00	191.88	1,151.22

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
172. R&R Gutter guard/screen	32.00 LF	0.35	3.37	0.00	23.80	142.84

CONTINUED - Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
173. Gutter / downspout - Detach & reset	32.00 LF	0.00	4.41	0.00	28.22	169.34
Totals: Left Elevation				0.00	52.02	312.18
Total: ID: 96 - Shop/Crew Building (151 bear Creek Pkwy)				0.00	5,273.62	31,641.84

ID: 97 - Administration Building (151 Bear Creek P

ID: 97 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Measurements obtained from Eagleview						
174. Tear off, haul and dispose of comp. shingles - Laminated	198.56 SQ	53.28	0.00	0.00	2,115.86	12,695.14
175. R&R Drip edge	983.00 LF	0.30	2.45	0.00	540.66	3,243.91
176. Laminated - comp. shingle rfg. - w/out felt	228.67 SQ	0.00	217.64	0.00	9,953.54	59,721.28
177. R&R Flashing - pipe jack - lead	6.00 EA	6.53	77.26	0.00	100.56	603.30
178. R&R Rain cap - 8"	4.00 EA	4.64	44.40	0.00	39.24	235.40
179. Ridge cap - Standard profile - composition shingles	1,175.00 LF	0.00	5.32	0.00	1,250.20	7,501.20
180. Roofing felt - 15 lb.	198.56 SQ	0.00	30.34	0.00	1,204.86	7,229.17
181. Ice & water barrier	19,856.00 SF	0.00	1.54	0.00	6,115.64	36,693.88
182. Commercial Supervision / Project Management - per hour	32.00 HR	0.00	68.19	0.00	436.42	2,618.50
183. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	2,803.62	0.00	560.72	3,364.34
TIPS FEE is 2%						
184. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	3,968.65	0.00	793.74	4,762.39
Payment and Performance bonds 2.4%						
185. Temporary toilet (per month)	0.20 MO	0.00	203.61	0.00	8.14	48.86
Expense split between ID's 96, 97, 98, 99, 101						
Totals: ID: 97 - Roof				0.00	23,119.58	138,717.37

Exterior

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
186. R&R Gutter guard/screen	983.00 LF	0.35	3.37	0.00	731.36	4,388.12

CONTINUED - Exterior

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
187. Gutter / downspout - Detach & reset	983.00 LF	0.00	4.41	0.00	867.00	5,202.03
Totals: Exterior				0.00	1,598.36	9,590.15
Total: ID: 97 - Administration Building (151 Bear Creek P				0.00	24,717.94	148,307.52

ID: 98 - Cold Vehicle Storage (151 Bear Creek Pkwy

ID: 98 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
188. Tear off, haul and dispose of comp. shingles - Laminated	108.03 SQ	53.28	0.00	0.00	1,151.16	6,907.00
189. R&R Drip edge	584.26 LF	0.30	2.45	0.00	321.34	1,928.06
190. Laminated - comp. shingle rfg. - w/out felt	124.33 SQ	0.00	217.64	0.00	5,411.84	32,471.02
191. Ridge cap - Standard profile - composition shingles	523.53 LF	0.00	5.32	0.00	557.04	3,342.22
192. R&R Flashing - pipe jack - lead	4.00 EA	6.53	77.26	0.00	67.02	402.18
193. R&R Rain cap - 8"	7.00 EA	4.64	44.40	0.00	68.66	411.94
194. Roofing felt - 15 lb.	108.03 SQ	0.00	30.34	0.00	655.52	3,933.15
195. Ice & water barrier	10,803.00 SF	0.00	1.54	0.00	3,327.32	19,963.94
196. Commercial Supervision / Project Management - per hour	16.00 HR	0.00	68.19	0.00	218.20	1,309.24
197. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	1,518.74	0.00	303.74	1,822.48
TIPS FEE is 2%						
198. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	2,482.79	0.00	496.56	2,979.35
Payment and Performance bonds 2.4%						
199. Temporary toilet (per month)	0.20 MO	0.00	203.61	0.00	8.14	48.86
Expense split between ID's 96, 97, 98, 99, 101						
Totals: ID: 98 - Roof				0.00	12,586.54	75,519.44

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
200. R&R Gutter guard/screen	213.00 LF	0.35	3.37	0.00	158.48	950.84

CONTINUED - Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
201. Gutter / downspout - Detach & reset	213.00 LF	0.00	4.41	0.00	187.86	1,127.19
Totals: Front Elevation				0.00	346.34	2,078.03

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
202. R&R Gutter guard/screen	52.00 LF	0.35	3.37	0.00	38.68	232.12
203. Gutter / downspout - Detach & reset	52.00 LF	0.00	4.41	0.00	45.86	275.18
Totals: Right Elevation				0.00	84.54	507.30

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
204. R&R Gutter guard/screen	217.00 LF	0.35	3.37	0.00	161.46	968.70
205. Gutter / downspout - Detach & reset	217.00 LF	0.00	4.41	0.00	191.40	1,148.37
Totals: Rear Elevation				0.00	352.86	2,117.07

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
206. R&R Gutter guard/screen	53.00 LF	0.35	3.37	0.00	39.44	236.60
207. Gutter / downspout - Detach & reset	53.00 LF	0.00	4.41	0.00	46.74	280.47
Totals: Left Elevation				0.00	86.18	517.07

Total: ID: 98 - Cold Vehicle Storage (151 Bear Creek Pkwy) **0.00 13,456.46 80,738.91**

ID: 99 - Warehouse (151 Bear Creek Pkwy)

ID: 99 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
208. Tear off, haul and dispose of comp. shingles - Laminated	50.09 SQ	53.28	0.00	0.00	533.76	3,202.56

CONTINUED - ID: 99 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
209. R&R Drip edge	276.00 LF	0.30	2.45	0.00	151.80	910.80
210. Laminated - comp. shingle rfg. - w/out felt	57.67 SQ	0.00	217.64	0.00	2,510.26	15,061.56
211. Ridge cap - Standard profile - composition shingles	197.79 LF	0.00	5.32	0.00	210.44	1,262.68
212. R&R Flashing - pipe jack - lead	1.00 EA	6.53	77.26	0.00	16.76	100.55
213. R&R Rain cap - 8"	4.00 EA	4.64	44.40	0.00	39.24	235.40
214. Remove Additional charge for high roof (2 stories or greater)	50.09 SQ	4.90	0.00	0.00	49.08	294.52
215. Additional charge for high roof (2 stories or greater)	50.09 SQ	0.00	19.14	0.00	191.74	1,150.46
216. Roofing felt - 15 lb.	50.09 SQ	0.00	30.34	0.00	303.94	1,823.67
217. Ice & water barrier	5,009.00 SF	0.00	1.54	0.00	1,542.78	9,256.64
218. Commercial Supervision / Project Management - per hour	8.00 HR	0.00	68.19	0.00	109.10	654.62
219. Insulation (Bid Item)	1.00 EA	0.00	0.00	0.00	0.00	0.00
Insulation blew out. Bid to re-tuck insulation will be required.						
220. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	733.90	0.00	146.78	880.68
TIPS FEE is 2%						
This line item amount will increase based on insulation bid						
221. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	1,277.27	0.00	255.46	1,532.73
Payment and Performance bonds 2.4%						
This line item amount will change based on Insulation bid item						
222. Temporary toilet (per month)	0.20 MO	0.00	203.61	0.00	8.14	48.86
Expense split between ID's 96, 97, 98, 99, 101						
Totals: ID: 99 - Roof				0.00	6,069.28	36,415.73

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
223. R&R Gutter guard/screen	66.00 LF	0.35	3.37	0.00	49.10	294.62
224. Gutter / downspout - Detach & reset	66.00 LF	0.00	4.41	0.00	58.22	349.28
Totals: Front Elevation				0.00	107.32	643.90

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
225. R&R Gutter guard/screen	72.00 LF	0.35	3.37	0.00	53.56	321.40
226. Gutter / downspout - Detach & reset	72.00 LF	0.00	4.41	0.00	63.50	381.02
Totals: Rear Elevation				0.00	117.06	702.42

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
227. R&R Gutter guard/screen	66.00 LF	0.35	3.37	0.00	49.10	294.62
228. Gutter / downspout - Detach & reset	66.00 LF	0.00	4.41	0.00	58.22	349.28
Totals: Right Elevation				0.00	107.32	643.90

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
229. R&R Gutter guard/screen	72.00 LF	0.35	3.37	0.00	53.56	321.40
230. Gutter / downspout - Detach & reset	72.00 LF	0.00	4.41	0.00	63.50	381.02
Totals: Left Elevation				0.00	117.06	702.42
Total: ID: 99 - Warehouse (151 Bear Creek Pkwy)				0.00	6,518.04	39,108.37

ID: 101 - Fuel Island (151 Bear Creek Pkwy)**ID: 101 - Roof**

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
231. Tear off, haul and dispose of comp. shingles - Laminated	41.39 SQ	53.28	0.00	0.00	441.06	2,646.32
232. R&R Drip edge	256.00 LF	0.30	2.45	0.00	140.80	844.80
233. Laminated - comp. shingle rfg. - w/out felt	47.67 SQ	0.00	217.64	0.00	2,074.98	12,449.88
234. Ridge cap - Standard profile - composition shingles	174.20 LF	0.00	5.32	0.00	185.34	1,112.08
235. R&R Flashing - pipe jack - lead	1.00 EA	6.53	77.26	0.00	16.76	100.55
236. R&R Flashing - pipe jack - split boot	2.00 EA	7.33	80.89	0.00	35.30	211.74

CONTINUED - ID: 101 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
237. Remove Additional charge for high roof (2 stories or greater)	41.39 SQ	4.90	0.00	0.00	40.56	243.37
238. Additional charge for high roof (2 stories or greater)	41.39 SQ	0.00	19.14	0.00	158.44	950.64
239. Roofing felt - 15 lb.	33.71 SQ	0.00	30.34	0.00	204.56	1,227.32
240. Ice & water barrier	768.00 SF	0.00	1.54	0.00	236.54	1,419.26
241. Commercial Supervision / Project Management - per hour	8.00 HR	0.00	68.19	0.00	109.10	654.62
242. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	488.14	0.00	97.62	585.76
TIPS FEE is 2%						
243. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	899.78	0.00	179.96	1,079.74
Payment and Performance bonds 2.4%						
244. Temporary toilet (per month)	0.20 MO	0.00	203.61	0.00	8.14	48.86
Expense split between ID's 96, 97, 98, 99, 101						
Totals: ID: 101 - Roof				0.00	3,929.16	23,574.94

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
245. R&R Gutter guard/screen	51.00 LF	0.35	3.37	0.00	37.96	227.68
246. Gutter / downspout - Detach & reset	51.00 LF	0.00	4.41	0.00	44.98	269.89
Totals: Front Elevation				0.00	82.94	497.57

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
247. Gutter / downspout - Detach & reset	77.00 LF	0.00	4.41	0.00	67.92	407.49
248. R&R Gutter guard/screen	77.00 LF	0.35	3.37	0.00	57.30	343.74
Totals: Right Elevation				0.00	125.22	751.23

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
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CONTINUED - Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
249. R&R Gutter guard/screen	51.00 LF	0.35	3.37	0.00	37.96	227.68
250. Gutter / downspout - Detach & reset	51.00 LF	0.00	4.41	0.00	44.98	269.89
Totals: Rear Elevation				0.00	82.94	497.57

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
251. Gutter / downspout - Detach & reset	77.00 LF	0.00	4.41	0.00	67.92	407.49
252. R&R Gutter guard/screen	77.00 LF	0.35	3.37	0.00	57.30	343.74
Totals: Left Elevation				0.00	125.22	751.23
Total: ID: 101 - Fuel Island (151 Bear Creek Pkwy)				0.00	4,345.48	26,072.54

ID: 105 - Keller Pointe Aquatic (405 Rufe Snow Dr)

ID: 105 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Measurements obtained from Eagleview.						
Totals: ID: 105 - Roof				0.00	0.00	0.00

TPO Membrane

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
253. R&R Single ply membrane - Fully adhered system - 60 mil	308.91 SQ	69.14	450.95	0.00	32,132.20	192,793.20
Actual square count is 308.91 per SkyMeasure.						
254. R&R Insulation - ISO board, 3"	308.91 SQ	37.52	342.41	0.00	23,472.84	140,837.01
255. R&R Aluminum termination bar / flashing for membrane roofs	1,210.00 LF	0.55	2.65	0.00	774.40	4,646.40
256. R&R Flash parapet wall only - PVC/TPO	1,210.00 LF	1.85	14.47	0.00	3,949.44	23,696.64
257. R&R Drip edge - PVC/TPO clad metal	202.00 LF	0.30	4.43	0.00	191.10	1,146.56
258. R&R Curb flashing - PVC/TPO	128.00 LF	1.74	18.24	0.00	511.48	3,068.92
259. R&R Cap flashing - large	189.00 LF	0.55	25.26	0.00	975.62	5,853.71

CONTINUED - TPO Membrane

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
260. Roof drain cover - Detach & reset	EA	0.00	47.45	0.00	0.00	0.00
Entire drain needs removed and replaced when replacing roof, not just the cover.						
262. R&R Roof drain - cast iron - 2" to 6" outlet	10.00 EA	39.75	484.65	0.00	1,048.80	6,292.80
263. R&R Counterflashing - Apron flashing	1,210.00 LF	0.55	9.43	0.00	2,415.16	14,490.96
Totals: TPO Membrane				0.00	65,471.04	392,826.20

Modified Bitumen

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
264. R&R Modified bitumen roof	131.10 SQ	47.48	388.78	0.00	11,438.74	68,632.43
265. R&R Flash parapet wall only - bitumen	475.00 LF	1.85	13.10	0.00	1,420.26	8,521.51
266. R&R Insulation - ISO board, 3"	127.24 SQ	37.52	342.41	0.00	9,668.46	58,010.75
267. Roof drain cover - Detach & reset	4.00 EA	0.00	47.45	0.00	37.96	227.76
268. R&R Aluminum termination bar / flashing for membrane roofs	475.00 LF	0.55	2.65	0.00	304.02	1,824.02
608 LF under counter flashing and 322LF under perimeter aluminum cap flashing.						
269. Lightning protection system - Detach & reset	EA	0.00	384.40	0.00	0.00	0.00
Lighting protection is a bid item listed under ID105 Miscellaneous						
271. R&R Roof drain - cast iron - 2" to 6" outlet	10.00 EA	39.75	484.65	0.00	1,048.80	6,292.80
272. R&R Counterflashing - Apron flashing	475.00 LF	0.55	9.43	0.00	948.12	5,688.62
Totals: Modified Bitumen				0.00	24,866.36	149,197.89

Mechanical

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
273. R&R Rigid fiberglass duct insulation board - foil faced	SF	0.75	6.44	0.00	0.00	0.00
274. Paint surfaces with elastomeric covering paint*	SF	0.00	0.98	0.00	0.00	0.00
275. Central air - condenser repair - fan guard	11.00 EA	0.00	188.06	0.00	413.74	2,482.40
276. R&R Gravity roof ventilator - 18"	EA	8.33	292.76	0.00	0.00	0.00
277. R&R Rain cap - 8"	4.00 EA	4.64	44.40	0.00	39.24	235.40

CONTINUED - Mechanical

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
278. R&R Air conditioning security cage - High grade	2.00 EA	11.59	469.70	0.00	192.52	1,155.10
279. Heat, Vent, & Air Conditioning (Bid Item)	1.00 EA	0.00	46,975.00	0.00	9,395.00	56,370.00
TD industries bid						
Totals: Mechanical				0.00	10,040.50	60,242.90

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Front Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Rear Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Right Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Left Elevation				0.00	0.00	0.00

Miscellaneous

CONTINUED - Miscellaneous

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
280. Telehandler/forklift (per month) - no operator	2.00 MO	0.00	5,870.78	0.00	2,348.32	14,089.88
2 telehandlers will be necessary to expedite repairs. 1 will be dedicated to removing trash to dumpsters, and the other is for loading materials.						
281. Heavy Equipment (Bid Item)	1.00 EA	0.00	48,792.00	0.00	9,758.40	58,550.40
Crane needed for access to roofs above pool.						
282. Commercial Supervision / Project Management - per hour	432.00 HR	0.00	68.19	0.00	5,891.62	35,349.70
project will take 6 weeks. 6 days a week, 12 hours a day.						
283. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	14,248.22	0.00	2,849.64	17,097.86
TIPS FEE is 2%						
284. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	12,384.12	0.00	2,476.82	14,860.94
Payment and Performance bonds 2.4%						
285. Temporary toilet (per month)	2.00 MO	0.00	203.61	0.00	81.44	488.66
Expense split between ID's 96, 97, 98, 99, 101						
Totals: Miscellaneous				0.00	23,406.24	140,437.44
Total: ID: 105 - Keller Pointe Aquatic (405 Rufe Snow Dr)				0.00	123,784.14	742,704.43

ID: 108 - Ticket Booth (405 Rufe Snow Dr)

ID: 108 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
Totals: ID: 108 - Roof				0.00	0.00	0.00

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Front Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
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CONTINUED - Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Rear Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Right Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Left Elevation				0.00	0.00	0.00

ID: 109 - Pavilion (405 Rufe Snow Dr)

ID: 109 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
Totals: ID: 109 - Roof				0.00	0.00	0.00

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Front Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						

CONTINUED - Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Totals: Rear Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Right Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Left Elevation				0.00	0.00	0.00

ID: 110 - Outdoor Restroom/Bathhouse (405 Rufe Sno

ID: 110 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
Totals: ID: 110 - Roof				0.00	0.00	0.00

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Front Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Rear Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
<hr/>						
Totals: Right Elevation						
				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
<hr/>						
Totals: Left Elevation						
				0.00	0.00	0.00

ID: 111 - Parking Lot Canopy (330 Rufe Snow Dr)

ID: 111 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
<hr/>						
Totals: ID: 111 - Roof						
				0.00	0.00	0.00

ID: 119 - Outdoor Pool w/Playscape and Slide (405)

Pool

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no hail damage reported or observed to the pool.						
<hr/>						
Totals: Pool						
				0.00	0.00	0.00

Slides

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
286. R&R Deck planking - Vinyl (per SF)	80.00 SF	1.85	9.14	0.00	175.84	1,055.04
287. Paint deck - 1 coat paint	250.00 SF	0.00	0.84	0.00	42.00	252.00
<hr/>						
Totals: Slides						
				0.00	217.84	1,307.04

Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
288. Haul debris - per pickup truck load - including dump fees	1.00 EA	139.74	0.00	0.00	27.94	167.68
Totals: Debris Removal				0.00	27.94	167.68
Total: ID: 119 - Outdoor Pool w/Playscape and Slide (405				0.00	245.78	1,474.72

ID: 128 - Playground Equipment (405 Rufe Snow Dr)

ID: 128 - Roof(2)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
289. R&R Patio Cover - Fabric replacement	307.67 SF	0.15	5.95	0.00	375.36	2,252.15
Totals: ID: 128 - Roof(2)				0.00	375.36	2,252.15

ID: 128 - Roof(1)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
290. R&R Patio Cover - Fabric replacement	307.67 SF	0.15	5.95	0.00	375.36	2,252.15
Totals: ID: 128 - Roof(1)				0.00	375.36	2,252.15

Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
291. Haul debris - per pickup truck load - including dump fees	1.00 EA	139.74	0.00	0.00	27.94	167.68
Totals: Debris Removal				0.00	27.94	167.68
Total: ID: 128 - Playground Equipment (405 Rufe Snow Dr)				0.00	778.66	4,671.98

ID: 165 - Restroom (416 Keller-Smithfield Rd)

ID: 165 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						

CONTINUED - ID: 165 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Totals: ID: 165 - Roof				0.00	0.00	0.00

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
<hr/>						
Totals: Front Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
<hr/>						
Totals: Right Elevation				0.00	0.00	0.00

ID: 171 - Pavilion (821 Weybridge Ln)

ID: 171 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
<hr/>						
Totals: ID: 171 - Roof				0.00	0.00	0.00

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
<hr/>						
Totals: Front Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
<hr/>						
Totals: Rear Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Right Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Left Elevation				0.00	0.00	0.00

ID: 174 - Bleacher Shades (8) (265 Golden Triangle

ID: 174 Roof (1)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: ID: 174 Roof (1)				0.00	0.00	0.00

ID: 174 - Roof (2)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
292. R&R Patio Cover - Fabric replacement	341.53 SF	0.15	5.95	0.00	416.66	2,499.99
Totals: ID: 174 - Roof (2)				0.00	416.66	2,499.99

ID: 174 - ROOF (3)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
293. R&R Patio Cover - Fabric replacement	341.53 SF	0.15	5.95	0.00	416.66	2,499.99
Totals: ID: 174 - ROOF (3)				0.00	416.66	2,499.99

ID: 174 - Roof (4)

CONTINUED - ID: 174 - Roof (4)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: ID: 174 - Roof (4)				0.00	0.00	0.00

ID: 174 - ROOF (5)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
294. R&R Patio Cover - Fabric replacement	341.53 SF	0.15	5.95	0.00	416.66	2,499.99
Totals: ID: 174 - ROOF (5)				0.00	416.66	2,499.99

ID: 174 - Roof (6)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: ID: 174 - Roof (6)				0.00	0.00	0.00

ID: 174 - Roof (7)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: ID: 174 - Roof (7)				0.00	0.00	0.00

ID: 174 - Roof (8)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
295. R&R Patio Cover - Fabric replacement	341.53 SF	0.15	5.95	0.00	416.66	2,499.99
Totals: ID: 174 - Roof (8)				0.00	416.66	2,499.99

Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
296. Haul debris - per pickup truck load - including dump fees	1.00 EA	139.74	0.00	0.00	27.94	167.68
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CONTINUED - Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Totals: Debris Removal				0.00	27.94	167.68
Total: ID: 174 - Bleacher Shades (8) (265 Golden Triangle				0.00	1,694.58	10,167.64

ID: 180 - Dugout Canopies (12) (265 Golden Triangl

ID: 180 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
Totals: ID: 180 - Roof				0.00	0.00	0.00

ID: 191 - Light Poles (36) (265 Golden Triangle Bl

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
297. Lens Repair - TBD*	1.00 EA	0.00	0.00	0.00	0.00	0.00
Totals: ID: 191 - Light Poles (36) (265 Golden Triangle Bl				0.00	0.00	0.00

ID: 192 - Shade Structures (4) (265 Golden Triangl

ID: 192 - Roof (1)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
298. R&R Patio Cover - Fabric replacement	1,694.78 SF	0.15	5.95	0.00	2,067.62	12,405.78
Totals: ID: 192 - Roof (1)				0.00	2,067.62	12,405.78

ID: 192 - Roof (2)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
299. R&R Patio Cover - Fabric replacement	1,694.78 SF	0.15	5.95	0.00	2,067.62	12,405.78
Totals: ID: 192 - Roof (2)				0.00	2,067.62	12,405.78

ID: 192 - Roof (3)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
300. R&R Patio Cover - Fabric replacement	1,694.78 SF	0.15	5.95	0.00	2,067.62	12,405.78
Totals: ID: 192 - Roof (3)				0.00	2,067.62	12,405.78

ID: 192 - Roof (4)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
301. R&R Patio Cover - Fabric replacement	1,694.78 SF	0.15	5.95	0.00	2,067.62	12,405.78
Totals: ID: 192 - Roof (4)				0.00	2,067.62	12,405.78

Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
302. Tandem axle dump trailer - per load - including dump fees	1.00 EA	207.31	0.00	0.00	41.46	248.77
Totals: Debris Removal				0.00	41.46	248.77

Total: ID: 192 - Shade Structures (4) (265 Golden Triangl **0.00 8,311.94 49,871.89**

ID: 207 - Fire Station #1 (455 Keller-Smithfield R**ID: 207 - Roof**

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
303. R&R Rain cap - 8"	3.00 EA	4.64	44.40	0.00	29.42	176.54
304. R&R Gravity roof ventilator - 18"	<u>EA</u>	<u>8.33</u>	<u>292.76</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
305. Heat, Vent, & Air Conditioning (Bid Item)	1.00 EA	0.00	3,860.00	0.00	772.00	4,632.00
Bid from TDindustries to replace TML Xactimate line item for gravity roof vents.						
306. Commercial Supervision / Project Management - per hour	3.00 HR	0.00	68.19	0.00	40.92	245.49
307. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	162.94	0.00	32.58	195.52
TIPS FEE is 2%						
308. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	400.27	0.00	80.06	480.33

CONTINUED - ID: 207 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Payment and Performance bonds 2.4%						
Totals: ID: 207 - Roof				0.00	954.98	5,729.88

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Front Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Right Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
309. Central air - condenser repair - fan guard	2.00 EA	0.00	188.06	0.00	75.22	451.34
310. R&R Gas Grill - Insert RCS - Model # RJC32A-NG	1.00 EA	0.00	2,099.00	0.00	419.80	2,518.80
Bid for grill, including shipping and installation of grill.						
311. Commercial Supervision / Project Management - per hour	1.50 HR	0.00	68.19	0.00	20.46	122.75
Totals: Rear Elevation				0.00	515.48	3,092.89

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Left Elevation				0.00	0.00	0.00

Total: ID: 207 - Fire Station #1 (455 Keller-Smithfield R				0.00	1,470.46	8,822.77
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ID: 211 - Shade Structures (4 for Bleachers)(265

ID: 211 - Roof (1)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
312. R&R Patio Cover - Fabric replacement	577.23 SF	0.15	5.95	0.00	704.22	4,225.32
Totals: ID: 211 - Roof (1)				0.00	704.22	4,225.32

ID: 211 - Roof(2)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
313. R&R Patio Cover - Fabric replacement	577.23 SF	0.15	5.95	0.00	704.22	4,225.32
Totals: ID: 211 - Roof(2)				0.00	704.22	4,225.32

ID: 211 - Roof (3)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
314. R&R Patio Cover - Fabric replacement	577.23 SF	0.15	5.95	0.00	704.22	4,225.32
Totals: ID: 211 - Roof (3)				0.00	704.22	4,225.32

ID: 211 - Roof (4)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
315. R&R Patio Cover - Fabric replacement	577.23 SF	0.15	5.95	0.00	704.22	4,225.32
Totals: ID: 211 - Roof (4)				0.00	704.22	4,225.32

Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
316. Haul debris - per pickup truck load - including dump fees	1.00 EA	139.74	0.00	0.00	27.94	167.68
Totals: Debris Removal				0.00	27.94	167.68

Total: ID: 211 - Shade Structures (4 for Bleachers)(265				0.00	2,844.82	17,068.96
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ID: 212 - Referee Shade Canopies (2) (265 Golden T

ID: 212 - Roof (2)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
317. R&R Patio Cover - Fabric replacement	105.41 SF	0.15	5.95	0.00	128.60	771.60
Totals: ID: 212 - Roof (2)				0.00	128.60	771.60

ID: 212 - Roof (3)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
318. R&R Patio Cover - Fabric replacement	105.41 SF	0.15	5.95	0.00	128.60	771.60
Totals: ID: 212 - Roof (3)				0.00	128.60	771.60

ID: 212 - Roof (4)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
319. R&R Patio Cover - Fabric replacement	105.41 SF	0.15	5.95	0.00	128.60	771.60
Totals: ID: 212 - Roof (4)				0.00	128.60	771.60

Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
320. Haul debris - per pickup truck load - including dump fees	1.00 EA	139.74	0.00	0.00	27.94	167.68
Totals: Debris Removal				0.00	27.94	167.68
Total: ID: 212 - Referee Shade Canopies (2) (265 Golden T				0.00	413.74	2,482.48

ID: 214 - Playground Shade Canopy (1609 Chase Oaks

ID: 214 - Roof (1)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
321. R&R Patio Cover - Fabric replacement	969.77 SF	0.15	5.95	0.00	1,183.12	7,098.72
Totals: ID: 214 - Roof (1				0.00	1,183.12	7,098.72

ID: 214 - Roof (2)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
322. R&R Patio Cover - Fabric replacement	151.79 SF	0.15	5.95	0.00	185.20	1,111.12
Totals: ID: 214 - Roof (2)				0.00	185.20	1,111.12

Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
323. Haul debris - per pickup truck load - including dump fees	1.00 EA	139.74	0.00	0.00	27.94	167.68
Totals: Debris Removal				0.00	27.94	167.68
Total: ID: 214 - Playground Shade Canopy (1609 Chase Oaks)				0.00	1,396.26	8,377.52

ID: 242 - Material Storage Bin (151 Bear Creek Pkw)

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Front Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Right Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Rear Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
<hr/>						
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Totals: Left Elevation				0.00	0.00	0.00

ID: 259 - (5) Shade Structures (405 Rufe Snow Dr

**ID: 259 - (5) Shade Structures (405 Rufe
Snow Dr**

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
324. R&R Shade Structure Fabric replacement*	1.00 EA	0.00	16,111.00	0.00	3,222.20	19,333.20
The Playground, shade and surfacing Depot, LLC. - Invoice#212709b						
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Totals: ID: 259 - (5) Shade Structures (405 Rufe Snow Dr				0.00	3,222.20	19,333.20

ID: 259 - roof (1)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
325. R&R Patio Cover - Fabric replacement	583.47 SF	0.00	0.00	0.00	0.00	0.00
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Totals: ID: 259 - roof (1)				0.00	0.00	0.00

ID: 259 - roof (2)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
326. R&R Patio Cover - Fabric replacement	583.47 SF	0.00	0.00	0.00	0.00	0.00
<hr/>						
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Totals: ID: 259 - roof (2)				0.00	0.00	0.00

ID: 259 - roof (3)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
327. R&R Patio Cover - Fabric replacement	583.47 SF	0.00	0.00	0.00	0.00	0.00
<hr/>						
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Totals: ID: 259 - roof (3)				0.00	0.00	0.00

ID: 259 - roof (4)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
328. R&R Patio Cover - Fabric replacement	373.77 SF	0.00	0.00	0.00	0.00	0.00
Totals: ID: 259 - roof (4)				0.00	0.00	0.00

ID: 259 - roof (5)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
329. R&R Patio Cover - Fabric replacement	373.77 SF	0.00	0.00	0.00	0.00	0.00
Totals: ID: 259 - roof (5)				0.00	0.00	0.00

Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
330. Tandem axle dump trailer - per load - including dump fees	1.00 EA	0.00	0.00	0.00	0.00	0.00
Totals: Debris Removal				0.00	0.00	0.00

Total: ID: 259 - (5) Shade Structures (405 Rufe Snow Dr) **0.00 3,222.20 19,333.20**

ID: 262 - Storage (Parks Equipment) (430 Bear Cree**ID: 262 - Roof**

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
331. R&R Metal roofing	1,170.00 SF	0.47	5.75	0.00	1,455.48	8,732.88
332. R&R Ridge cap - metal roofing	36.00 LF	3.13	5.53	0.00	62.36	374.12
333. R&R Gable trim for metal roofing - 29 gauge	65.00 LF	0.77	5.41	0.00	80.36	482.06
334. R&R Closure strips for metal roofing - inside and/or outside	72.00 LF	0.77	1.95	0.00	39.16	235.00
335. Commercial Supervision / Project Management - per hour	6.00 HR	0.00	68.19	0.00	81.82	490.96
336. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	213.72	0.00	42.74	256.46
TIPS FEE is 2%						
337. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	478.27	0.00	95.66	573.93

CONTINUED - ID: 262 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Payment and Performance bonds 2.4%						
338. Temporary toilet (per month)	0.50 MO	0.00	203.61	0.00	20.36	122.17
Expense split between ID262 and						
Totals: ID: 262 - Roof				0.00	1,877.94	11,267.58

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Front Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Right Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Rear Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Left Elevation				0.00	0.00	0.00

Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
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CONTINUED - Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
339. Tandem axle dump trailer - per load - including dump fees	1.00 EA	207.31	0.00	0.00	41.46	248.77
Totals: Debris Removal				0.00	41.46	248.77
Total: ID: 262 - Storage (Parks Equipment) (430 Bear Cree				0.00	1,919.40	11,516.35

ID: 264 - Jail (330 Rufe Snow Dr)

ID: 264 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
340. Central air - condenser repair - fan guard	12.00 EA	0.00	188.06	0.00	451.34	2,708.06
341. R&R Gravity roof ventilator - 18"	18.00 EA	8.33	292.76	0.00	1,083.92	6,503.54
342. Reglaze skylight - 6 to 10 SF	EA	0.00	200.87	0.00	0.00	0.00
Skylight is broken and needs replaced.						
343. Comb and straighten a/c condenser fins - w/out trip charge	1.00 EA	0.00	71.90	0.00	14.38	86.28
344. <u>Material Only Single ply membrane - Fully adhered system - 60 mil</u>	<u>SQ</u>	<u>0.00</u>	<u>180.71</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
345. <u>Roofer - per hour</u>	<u>HR</u>	<u>0.00</u>	<u>122.01</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
Labor and materials for repairs to scattered hail damage.						
346. Roofing (Bid Item)	1.00 EA	0.00	4,625.00	0.00	925.00	5,550.00
Bid to repair hail damages to TPO Roof.						
347. Windows - Skylights (Bid Item)	1.00 EA	0.00	875.00	0.00	175.00	1,050.00
bid to replace hail damaged skylight						
348. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	352.33	0.00	70.46	422.79
TIPS FEE is 2%						
349. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	0.00	0.00	0.00	0.00
Payment and Performance bonds 2.4%						
350. Temporary toilet (per month)	1.00 MO	0.00	203.61	0.00	40.72	244.33
Toilet expense split between ID's 22, 59, & 287						
351. Commercial Supervision / Project Management - per hour	16.00 HR	0.00	68.19	0.00	218.20	1,309.24
Totals: ID: 264 - Roof				0.00	2,979.02	17,874.24

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Front Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Right Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
352. R&R Wireless/Keyless entry pad for auto door operator system	1.00 EA	9.66	127.86	0.00	27.52	165.04
Totals: Rear Elevation				0.00	27.52	165.04

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Left Elevation				0.00	0.00	0.00
Total: ID: 264 - Jail (330 Rufe Snow Dr)				0.00	3,006.54	18,039.28

ID: 276 - Pavillion (\$00 Bear Creek Park Rd)

ID: 276 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
Totals: ID: 276 - Roof				0.00	0.00	0.00

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Front Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Rear Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Right Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Left Elevation				0.00	0.00	0.00

ID: 278 - Gazebo (400 Bear Creek Park Rd)

ID: 278 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Hail damage noted to the roofing system is cosmetic in nature and there are no openings as result of impact.						
Totals: ID: 278 - Roof				0.00	0.00	0.00

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
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CONTINUED - Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Front Elevation				0.00	0.00	0.00

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Right Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Rear Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted						
Totals: Left Elevation				0.00	0.00	0.00

ID: 285 - Shade Canopy (405 Rufe Snow Dr)

ID: 285 - Roof (Pool Canopy)

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
353. Patio Cover - Fabric replacement	438.50 SF	0.00	5.95	0.00	521.82	3,130.90
Totals: ID: 285 - Roof (Pool Canopy)				0.00	521.82	3,130.90

Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
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CONTINUED - Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
354. Haul debris - per pickup truck load - including dump fees	1.00 EA	139.74	0.00	0.00	27.94	167.68
Totals: Debris Removal				0.00	27.94	167.68
Total: ID: 285 - Shade Canopy (405 Rufe Snow Dr)				0.00	549.76	3,298.58

ID: 287 - Support Services Building (737 Keller-Sm)

ID: 287 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Measurements obtained from Eagleview.						
355. Tear off, haul and dispose of comp. shingles - Laminated	56.80 SQ	53.28	0.00	0.00	605.26	3,631.56
356. R&R Drip edge	436.00 LF	0.30	2.45	0.00	239.80	1,438.80
357. Roofing felt - synthetic underlayment	56.80 SQ	0.00	40.10	0.00	455.54	2,733.22
358. Laminated - comp. shingle rfg. - w/out felt	62.67 SQ	0.00	217.64	0.00	2,727.90	16,367.40
359. Ridge cap - Standard profile - composition shingles	91.00 LF	0.00	5.32	0.00	96.82	580.94
360. Continuous ridge vent - shingle-over style	74.00 LF	0.00	8.66	0.00	128.16	769.00
361. R&R Flashing - pipe jack	4.00 EA	6.53	44.82	0.00	41.08	246.48
362. Prime & paint roof jack	4.00 EA	0.00	34.94	0.00	27.96	167.72
363. R&R Rain cap - 8"	2.00 EA	4.64	44.40	0.00	19.62	117.70
<u>364. R&R Gravity roof ventilator - 18"</u>	<u>EA</u>	<u>8.33</u>	<u>292.76</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
Roof vents are power, not gravity. HVAC bid enclosed						
365. Roofer - per hour	4.00 HR	0.00	122.01	0.00	97.60	585.64
Additional labor allowance to manipulate step/counter flashing						
366. Heat, Vent, & Air Conditioning (Bid Item)	1.00 EA	0.00	6,725.00	0.00	1,345.00	8,070.00
Bid from TDindustries to replace TML Xactimate line item for gravity roof vents.						
367. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	1,993.81	0.00	398.76	2,392.57
TIPS FEE is 2%						
368. Taxes, insurance, permits & fees (Bid Item)	1.00 EA	0.00	3,189.16	0.00	637.84	3,827.00
Payment and Performance bonds 2.4%						
369. Temporary toilet (per month)	0.33 MO	0.00	203.61	0.00	13.44	80.63
Toilet expense split between ID's 22, 59, & 287						

CONTINUED - ID: 287 - Roof

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
Totals: ID: 287 - Roof				0.00	6,834.78	41,008.66

Front Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
370. R&R Sectional overhead door, 14' x 14' - insulated	EA	79.06	2,461.17	0.00	0.00	0.00
371. Doors (Bid Item)	3.00 EA	0.00	17,792.00	0.00	10,675.20	64,051.20
Bid for like kind and quality attached.						
372. Doors (Bid Item)	1.00 EA	0.00	125.00	0.00	25.00	150.00
FCD Rental expense from Family Christian Door \$250/2 = \$125						
Totals: Front Elevation				0.00	10,700.20	64,201.20

Right Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Right Elevation				0.00	0.00	0.00

Rear Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
There is no functional hail damage noted.						
Totals: Rear Elevation				0.00	0.00	0.00

Left Elevation

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
373. Central air - condenser repair - fan guard	2.00 EA	0.00	188.06	0.00	75.22	451.34
Totals: Left Elevation				0.00	75.22	451.34

Debris Removal

CONTINUED - Debris Removal

DESCRIPTION	QTY	REMOVE	REPLACE	TAX	O&P	TOTAL
374. Tandem axle dump trailer - per load - including dump fees allows for non roofing related debris	1.00 EA	207.31	0.00	0.00	41.46	248.77
Totals: Debris Removal				0.00	41.46	248.77
Total: ID: 287 - Support Services Building (737 Keller-Sm				0.00	17,651.66	105,909.97
Line Item Totals: COKELLER_5_9UPDATE				0.00	434,038.66	2,607,176.86

Summary for Dwelling

Line Item Total	2,173,138.20
Overhead	217,019.33
Profit	217,019.33
	<hr/>
Replacement Cost Value	\$2,607,176.86
Net Claim	\$2,607,176.86
	<hr/> <hr/>

Recap of Taxes, Overhead and Profit

	Overhead (10%)	Profit (10%)
Line Items	217,019.33	217,019.33
Total	217,019.33	217,019.33

Recap by Room

Estimate: COKELLER_5_9UPDATE

Area: CITY_OF_KELLER1- ID: 6 - Fire Station #2 (737 Kell		
ID: 6 - Roof	42,048.37	1.93%
Front Elevation	35,855.67	1.65%
Left Elevation	146.67	0.01%
Debris Removal	207.31	0.01%
<hr/>		
Area Subtotal: CITY_OF_KELLER1- ID: 6 - Fire Station #2 (737 Kell	78,258.02	3.60%
Area: ID: 16 - Book Store (137 Taylor St)		
Membrane Roof	7,361.69	0.34%
Composition Roof	2,627.70	0.12%
Interior	154.37	0.01%
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Area Subtotal: ID: 16 - Book Store (137 Taylor St)	10,143.76	0.47%
Area: ID: 22 - Playground Equipment (640 Johnson Rd)		
ID: 22 - Comp Roof	2,833.48	0.13%
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Area Subtotal: ID: 22 - Playground Equipment (640 Johnson Rd)	2,833.48	0.13%
Area: ID: 23 - Police Station & Animal Control(330 Rufe)		
TPO Membrane	2,775.00	0.13%
Modified Bitumen	225,593.10	10.38%
Miscellaneous	63,773.43	2.93%
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Area Subtotal: ID: 23 - Police Station & Animal Control(330 Rufe)	292,141.53	13.44%
Area: ID: 24 - Public Library (640 Johnson Rd)		
ID: 24 - Roof	445,503.34	20.50%
Miscellaneous	43,762.02	2.01%
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Area Subtotal: ID: 24 - Public Library (640 Johnson Rd)	489,265.36	22.51%
Area: ID: 28 - Senior Citizens (660 Johnson Rd)		
ID: 28 - Roof	399.39	0.02%
Front Elevation	340.95	0.02%
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Area Subtotal: ID: 28 - Senior Citizens (660 Johnson Rd)	740.34	0.03%
Area: ID: 59 - Playground Equipment (265 Golden Triangle		
ID: 59 - Roof	4,939.80	0.23%
Debris Removal	139.74	0.01%
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Area Subtotal: ID: 59 - Playground Equipment (265 Golden Triangle	5,079.54	0.23%
Area: ID: 68 - Town Center (1100 Bear Creek Pkwy		
Modified Bitumen System	147,953.58	6.81%
Miscellaneous	38,715.12	1.78%
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Area Subtotal: ID: 68 - Town Center (1100 Bear Creek Pkwy	186,668.70	8.59%
Area: ID: 96 - Shop/Crew Building (151 bear Creek Pkwy		
ID: 96 - Roof	23,929.22	1.10%
Front Elevation	959.34	0.04%
Right Elevation	260.16	0.01%
Rear Elevation	959.34	0.04%
Left Elevation	260.16	0.01%
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Area Subtotal: ID: 96 - Shop/Crew Building (151 bear Creek Pkwy	26,368.22	1.21%
Area: ID: 97 - Administration Building (151 Bear Creek P		
ID: 97 - Roof	115,597.79	5.32%
Exterior	7,991.79	0.37%
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Area Subtotal: ID: 97 - Administration Building (151 Bear Creek P	123,589.58	5.69%
Area: ID: 98 - Cold Vehicle Storage (151 Bear Creek Pkwy		
ID: 98 - Roof	62,932.90	2.90%
Front Elevation	1,731.69	0.08%
Right Elevation	422.76	0.02%
Rear Elevation	1,764.21	0.08%
Left Elevation	430.89	0.02%
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Area Subtotal: ID: 98 - Cold Vehicle Storage (151 Bear Creek Pkwy	67,282.45	3.10%
Area: ID: 99 - Warehouse (151 Bear Creek Pkwy		
ID: 99 - Roof	30,346.45	1.40%
Front Elevation	536.58	0.02%
Rear Elevation	585.36	0.03%
Right Elevation	536.58	0.02%
Left Elevation	585.36	0.03%
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Area Subtotal: ID: 99 - Warehouse (151 Bear Creek Pkwy	32,590.33	1.50%
Area: ID: 101 - Fuel Island (151 Bear Creek Pkwy)		
ID: 101 - Roof	19,645.78	0.90%
Front Elevation	414.63	0.02%
Right Elevation	626.01	0.03%
Rear Elevation	414.63	0.02%
Left Elevation	626.01	0.03%
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Area Subtotal: ID: 101 - Fuel Island (151 Bear Creek Pkwy)	21,727.06	1.00%
Area: ID: 105 - Keller Pointe Aquatic (405 Rufe Snow Dr)		
TPO Membrane	327,355.16	15.06%
Modified Bitumen	124,331.53	5.72%
Mechanical	50,202.40	2.31%
Miscellaneous	117,031.20	5.39%
Area Subtotal: ID: 105 - Keller Pointe Aquatic (405 Rufe Snow Dr)	618,920.29	28.48%
Area: ID: 119 - Outdoor Pool w/Playscape and Slide (405		
Slides	1,089.20	0.05%
Debris Removal	139.74	0.01%
Area Subtotal: ID: 119 - Outdoor Pool w/Playscape and Slide (405	1,228.94	0.06%
Area: ID: 128 - Playground Equipment (405 Rufe Snow Dr)		
ID: 128 - Roof(2)	1,876.79	0.09%
ID: 128 - Roof(1)	1,876.79	0.09%
Debris Removal	139.74	0.01%
Area Subtotal: ID: 128 - Playground Equipment (405 Rufe Snow Dr)	3,893.32	0.18%
Area: ID: 174 - Bleacher Shades (8) (265 Golden Triangle		
ID: 174 - Roof (2)	2,083.33	0.10%
ID: 174 - ROOF (3)	2,083.33	0.10%
ID: 174 - ROOF (5)	2,083.33	0.10%
ID: 174 - Roof (8)	2,083.33	0.10%
Debris Removal	139.74	0.01%
Area Subtotal: ID: 174 - Bleacher Shades (8) (265 Golden Triangle	8,473.06	0.39%
Area: ID: 192 - Shade Structures (4) (265 Golden Triangl		
ID: 192 - Roof (1)	10,338.16	0.48%
ID: 192 - Roof (2)	10,338.16	0.48%
ID: 192 - Roof (3)	10,338.16	0.48%
ID: 192 - Roof (4)	10,338.16	0.48%
Debris Removal	207.31	0.01%
Area Subtotal: ID: 192 - Shade Structures (4) (265 Golden Triangl	41,559.95	1.91%
Area: ID: 207 - Fire Station #1 (455 Keller-Smithfield R		
ID: 207 - Roof	4,774.90	0.22%
Rear Elevation	2,577.41	0.12%
Area Subtotal: ID: 207 - Fire Station #1 (455 Keller-Smithfield R	7,352.31	0.34%
Area: ID: 211 - Shade Structures (4 for Bleachers)(265		

ID: 211 - Roof (1)	3,521.10	0.16%
ID: 211 - Roof(2)	3,521.10	0.16%
ID: 211 - Roof (3)	3,521.10	0.16%
ID: 211 - Roof (4)	3,521.10	0.16%
Debris Removal	139.74	0.01%
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Area Subtotal: ID: 211 - Shade Structures (4 for Bleachers)(265	14,224.14	0.65%
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Area: ID: 212 - Referee Shade Canoples (2) (265 Golden T		
ID: 212 - Roof (2)	643.00	0.03%
ID: 212 - Roof (3)	643.00	0.03%
ID: 212 - Roof (4)	643.00	0.03%
Debris Removal	139.74	0.01%
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Area Subtotal: ID: 212 - Referee Shade Canoples (2) (265 Golden T	2,068.74	0.10%
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Area: ID: 214 - Playground Shade Canopy (1609 Chase Oaks		
ID: 214 - Roof (1	5,915.60	0.27%
ID: 214 - Roof (2)	925.92	0.04%
Debris Removal	139.74	0.01%
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Area Subtotal: ID: 214 - Playground Shade Canopy (1609 Chase Oaks	6,981.26	0.32%
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Area: ID: 259 - (5) Shade Structures (405 Rufe Snow Dr		
ID: 259 - (5) Shade Structures (405 Rufe Snow Dr	16,111.00	0.74%
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Area Subtotal: ID: 259 - (5) Shade Structures (405 Rufe Snow Dr	16,111.00	0.74%
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Area: ID: 262 - Storage (Parks Equipment) (430 Bear Cree		
ID: 262 - Roof	9,389.64	0.43%
Debris Removal	207.31	0.01%
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Area Subtotal: ID: 262 - Storage (Parks Equipment) (430 Bear Cree	9,596.95	0.44%
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Area: ID: 264 - Jail (330 Rufe Snow Dr)		
ID: 264 - Roof	14,895.22	0.69%
Rear Elevation	137.52	0.01%
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Area Subtotal: ID: 264 - Jail (330 Rufe Snow Dr)	15,032.74	0.69%
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Area: ID: 285 - Shade Canopy (405 Rufe Snow Dr)		
ID: 285 - Roof (Pool Canopy)	2,609.08	0.12%
Debris Removal	139.74	0.01%
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Area Subtotal: ID: 285 - Shade Canopy (405 Rufe Snow Dr)	2,748.82	0.13%
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Area: ID: 287 - Support Services Building (737 Keller-Sm		
ID: 287 - Roof	34,173.88	1.57%

Front Elevation	53,501.00	2.46%
Left Elevation	376.12	0.02%
Debris Removal	207.31	0.01%
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Area Subtotal: ID: 287 - Support Services Building (737 Keller-Sm	88,258.31	4.06%
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Subtotal of Areas	2,173,138.20	100.00%
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Total	2,173,138.20	100.00%

Recap by Category

O&P Items	Total	%
APPLIANCES	2,099.00	0.08%
AWNINGS & PATIO COVERS	93,138.45	3.57%
GENERAL DEMOLITION	187,416.57	7.19%
DOORS	89,210.00	3.42%
ELECTRICAL	37.48	0.00%
ELECTRICAL - SPECIAL SYSTEMS	2,900.00	0.11%
HEAVY EQUIPMENT	109,789.90	4.21%
PERMITS AND FEES	102,146.19	3.92%
FINISH HARDWARE	127.86	0.00%
FRAMING & ROUGH CARPENTRY	35,520.50	1.36%
HEAT, VENT & AIR CONDITIONING	194,622.98	7.46%
LABOR ONLY	78,248.03	3.00%
LIGHT FIXTURES	141.45	0.01%
PLUMBING	74,294.05	2.85%
PAINTING	874.41	0.03%
ROOFING	1,145,980.37	43.95%
SCAFFOLDING	28,280.31	1.08%
SOFFIT, FASCIA, & GUTTER	18,283.00	0.70%
TEMPORARY REPAIRS	3,855.14	0.15%
WINDOW REGLAZING & REPAIR	272.28	0.01%
WINDOWS - SKYLIGHTS	2,954.92	0.11%
O&P Items Subtotal	2,170,192.89	83.24%
Non-O&P Items	Total	%
TEMPORARY REPAIRS	2,945.31	0.11%
Non-O&P Items Subtotal	2,945.31	0.11%
O&P Items Subtotal	2,170,192.89	83.24%
Overhead	217,019.33	8.32%
Profit	217,019.33	8.32%
Total	2,607,176.86	100.00%