

1	05.13.25	Council Review
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SHEET CONTENTS:

OVERALL SITE PLAN

DATE: May 13, 2025

SHEET:

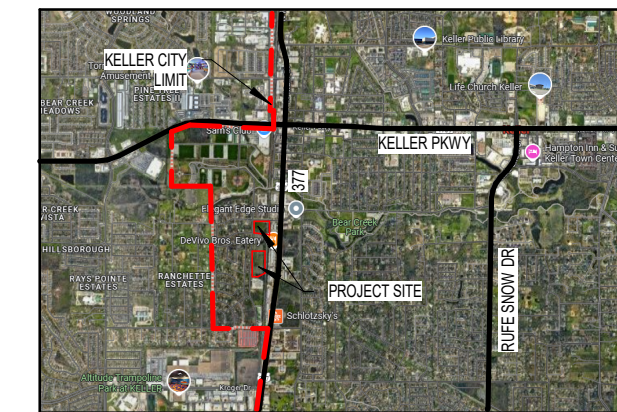
A1.00

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DESIGNER INFORMATION:
AZIMUTH: ARCHITECTURE
501 S 2ND AVE
DALLAS, TX 75226
CONTACT: COLE WILLIAMS
PH: (214) 517-8967

OWNER INFORMATION:
FLEXD KELLER
1449 AIRPARK
HORSESHOE BAY, TX 78657
CONTACT: JORDAN JAFFE
PH: (512) 294-6727

APPLICANT INFORMATION:
FLEXD DEVELOPMENT, LLC
1449 AIRPARK
HORSESHOE BAY, TX 78657
CONTACT: JORDAN JAFFE
PH: (512) 294-6727



VICINITY MAP

SCALE: NTS

REQUESTED VARIANCES:
SECTION 901.D.2 - SERVICE AREAS AND WASTE CONTAINERS
(INCLUDING FRYER GREASE RECYCLING BIN OR VESSEL WHEN
APPLICABLE) AND TRASH COMPACTORS SHALL BE LOCATED AT
THE REAR OF THE PROPERTY AND SHALL NOT FACE A STREET.

SECTION 903.F.3.J. - FOUNDATION PLANTING A MINIMUM OF FIVE
FEET (5') IN WIDTH SHALL BE PROVIDED AT THE FRONTS AND
SIDES OF BUILDINGS AND SHALL CONSIST OF A COMBINATION
OF GROUNDCOVERS, SHRUBS, AND ORNAMENTAL TREES.

NOTE:
PARKING CALCULATIONS ARE
BASED ON ESTIMATED TENANT
OFFICE SQUARE FOOTAGES.

PARKING ANALYSIS: LOT 1 BLDG 1
Space Dimensions: 9' x 18'
Office Area: 2,730 sf / 330 = 9 Spaces
Warehouse Area: 21,931 sf / 2000 = 11 Spaces
Total Parking Required: 20 Spaces
Total Parking Provided: 20 Spaces
HC Spaces: 4
(Not included in calcs)

PARKING ANALYSIS: LOT 1 BLDG 2
Space Dimensions: 9' x 18'
Office Area: 2,730 sf / 330 = 9 Spaces
Warehouse Area: 15,288 sf / 2000 = 8 Spaces
Total Parking Required: 17 Spaces
Total Parking Provided: 23 Spaces
HC Spaces: 2
(Not included in calcs)

PARKING ANALYSIS: LOT 2 BLDG 1
Space Dimensions: 9' x 18'
Office Area: 2,750 sf / 330 = 9 Spaces
Warehouse Area: 15,915 sf / 2000 = 8 Spaces
Total Parking Required: 17 Spaces
Total Parking Provided: 37 Spaces
HC Spaces: 2
(Not included in calcs)

PARKING ANALYSIS: LOT 2 BLDG 3
Space Dimensions: 9' x 18'
Office Area: 5,500 sf / 330 = 17 Spaces
Warehouse Area: 38,116 sf / 2000 = 20 Spaces
Total Parking Required: 37 Spaces
Total Parking Provided: 43 Spaces
HC Spaces: 4
(Not included in calcs)

PARKING ANALYSIS: LOT 2 BLDG 2
Space Dimensions: 9' x 18'
Office Area: 2,750 sf / 330 = 9 Spaces
Warehouse Area: 15,915 sf / 2000 = 8 Spaces
Total Parking Required: 16 Spaces
Total Parking Provided: 39 Spaces
HC Spaces: 2
(Not included in calcs)

PARKING ANALYSIS: LOT 2 BLDG 4
Space Dimensions: 9' x 18'
Office Area: 6,050 sf / 330 = 19 Spaces
Warehouse Area: 33,566 sf / 2000 = 17 Spaces
Total Parking Required: 36 Spaces
Total Parking Provided: 55 Spaces
HC Spaces: 6
(Not included in calcs)

LOT 2: 777 CHISHOLM TRAIL:
120,562 TOTAL BUILDING SF

17,050 SF OFFICE / 330 =
52 PARKING SPACES

103,512 SF WAREHOUSE / 2000 =
52 PARKING SPACES

52 + 52 = 104 SPACES REQUIRED
174 SPACES PROVIDED
(14 HCP NOT INCLUDED)

(OFFICE SQUARE FOOTAGE
IS ESTIMATED)

NOTE:
ALL GROUND AND ROOF
MOUNTED EQUIPMENT SHALL
BE SCREENED.

LOT 1: 150 BEAR CREEK:
42,717 TOTAL BUILDING SF

5,500 SF OFFICE / 330 =
17 PARKING SPACES

37,217 SF WAREHOUSE / 2000 =
20 PARKING SPACES

17 + 19 = 36 SPACES REQUIRED
43 SPACES PROVIDED
(6 HCP NOT INCLUDED)

(OFFICE SQUARE FOOTAGE
IS ESTIMATED)

CHISHOLM TRAIL
A 60' R.O.W.
VOL. 6380, PG. 444

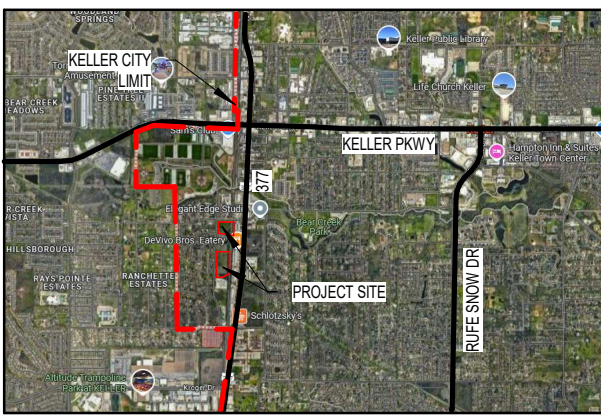
PENGUIN PATCH
(NOT PART OF SITE)

UNION PACIFIC RAILROAD

PLAN NORTH

01 OVERALL SITE PLAN

SCALE: 1" = 60'-0"



VICINITY MAP

SCALE: NTS

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150 Bear Creek Parkway, Keller, Texas 76248

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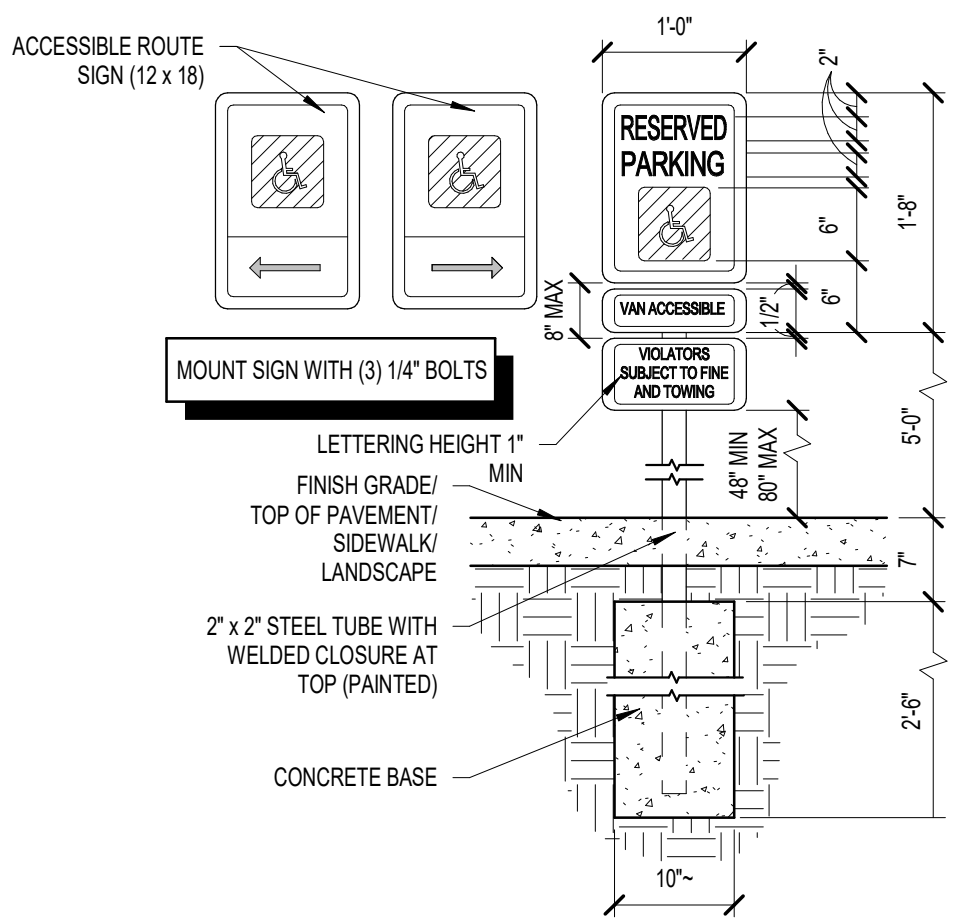
LOT 1 SITE PLAN

DATE: May 13, 2025

SHEET:

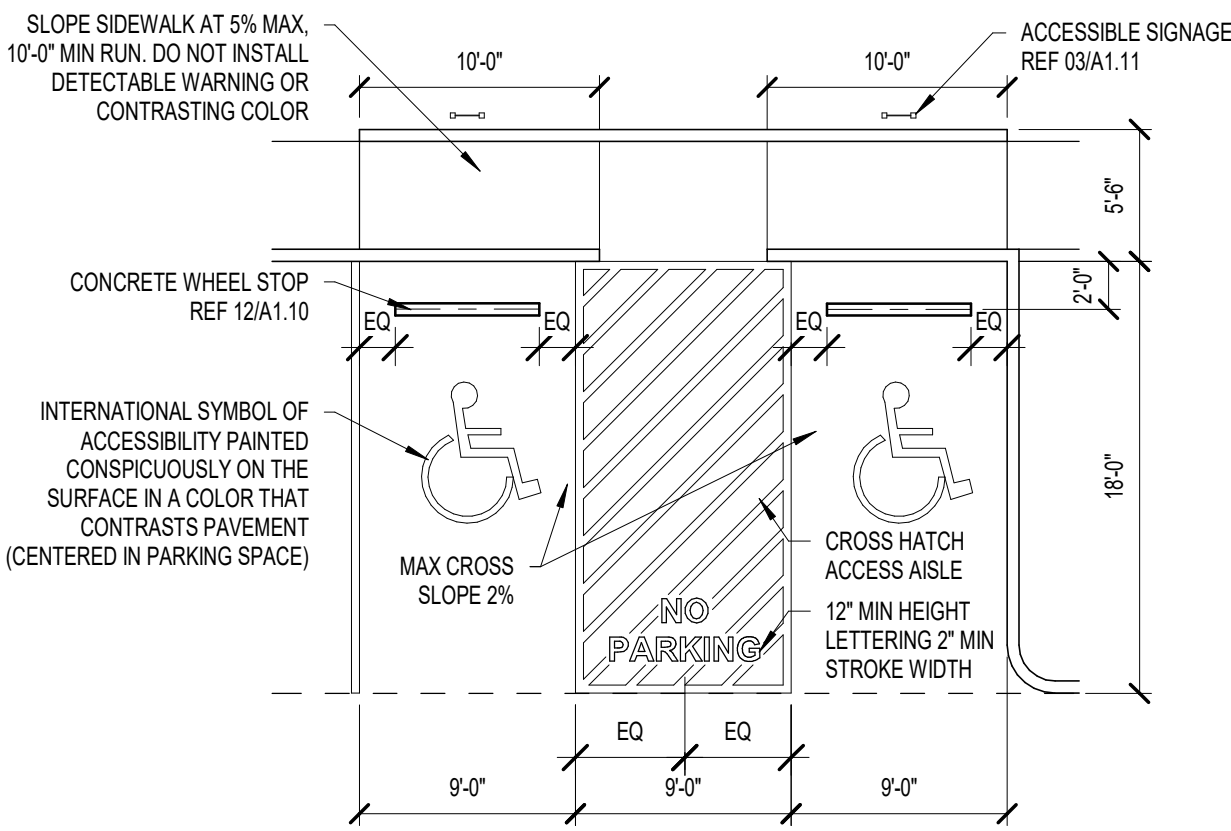
A1.11

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03 ACCESSIBLE SIGNAGE

SCALE: 3/4" = 1'-0"

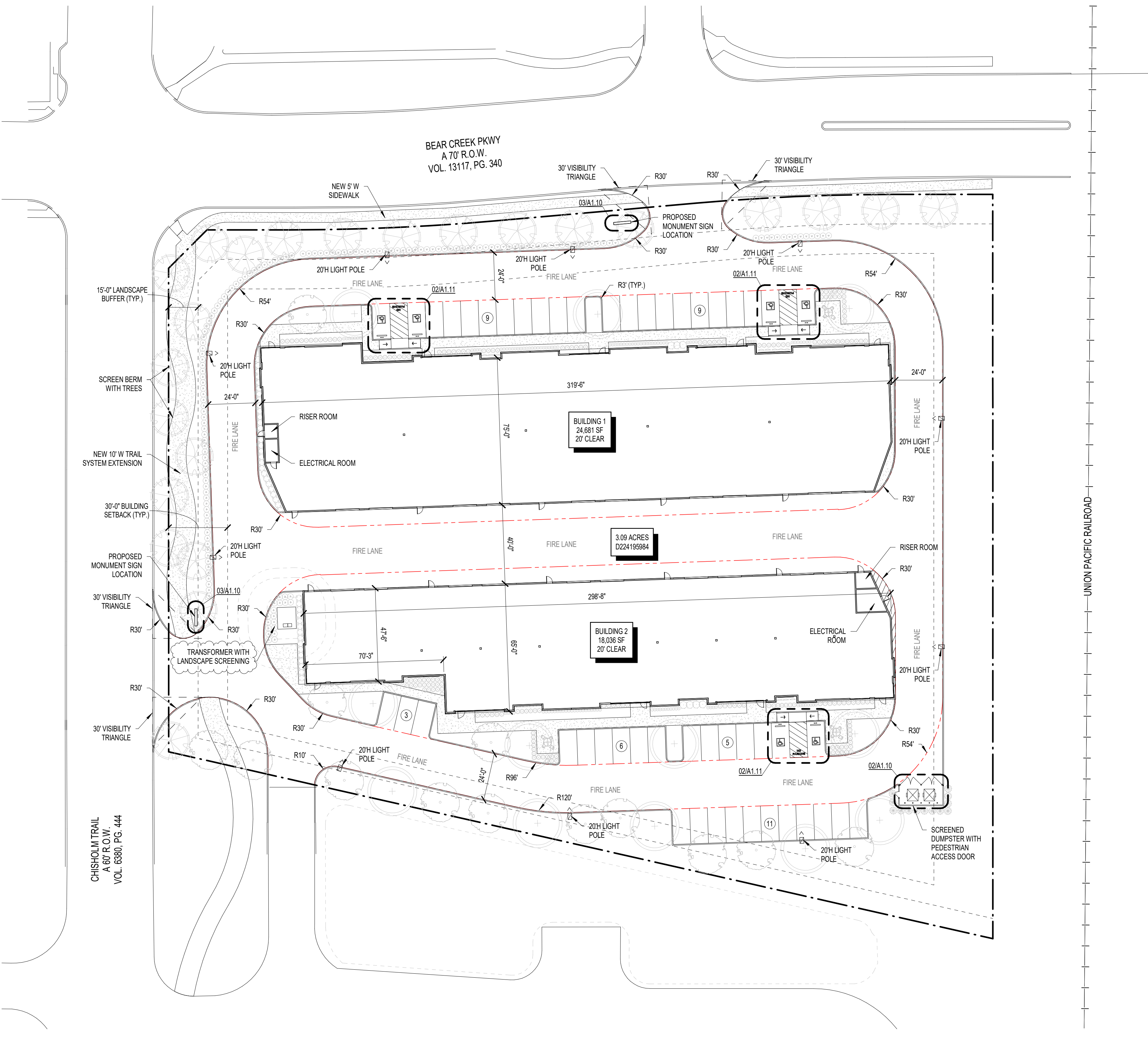


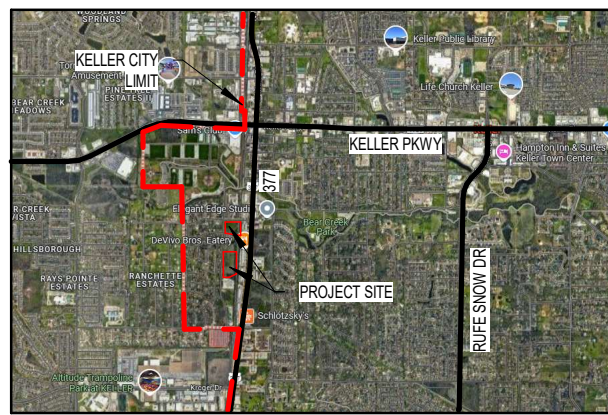
02 HC PARKING DETAIL

SCALE: 1/8" = 1'-0"

01 LOT 1 SITE PLAN

SCALE: 1" = 30'-0"





VICINITY MAP

SCALE: NTS

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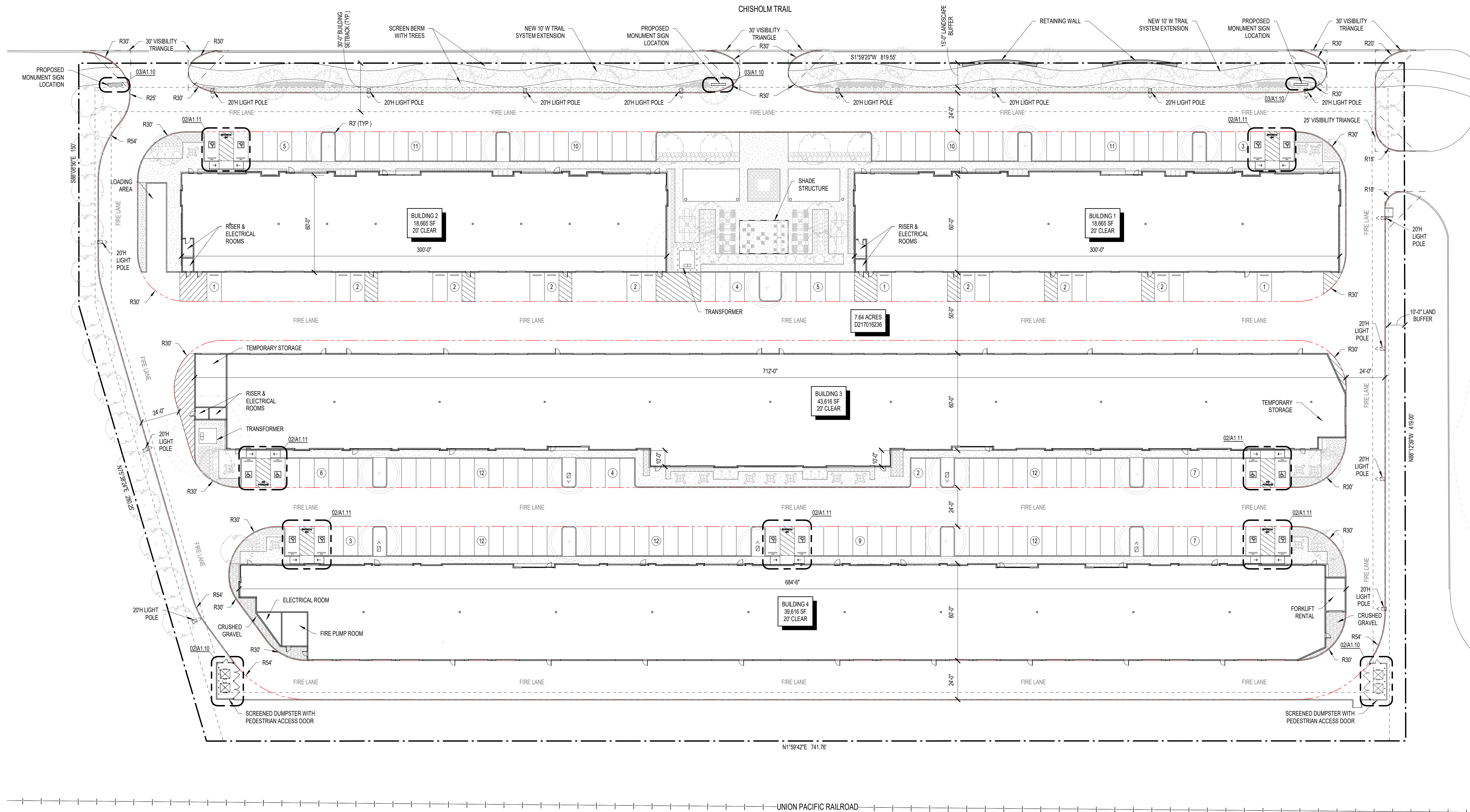
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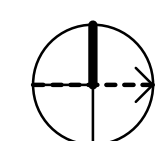
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01 LOT 2 SITE PLAN

SCALE: 1" = 30'-0"

PLAN NORTH



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150 Bear Creek Parkway, Keller, Texas 76248

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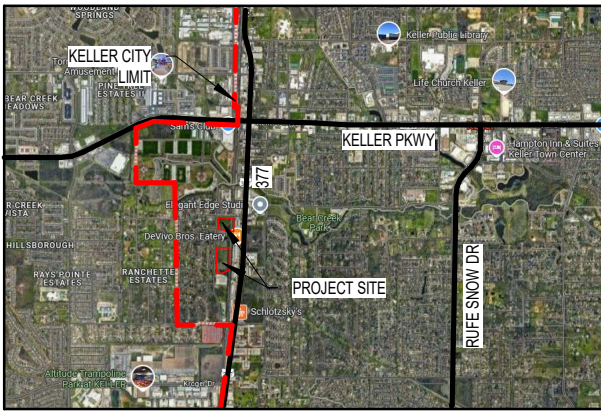
LOT 2 SITE PLAN

DATE: May 13, 2025

SHEET:

A1.21

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VICINITY MAP

SCALE: NTS

OPEN AREA CALCULATIONS:

LOT SQUARE FOOTAGE: 134,634

OPEN AREA: 24,463 SF

24,463 / 134,634 = .182

18.2% OPEN AREA

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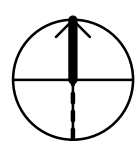
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01 LOT 1 OPEN AREA PLAN

SCALE: 1" = 30'-0"

PLAN NORTH



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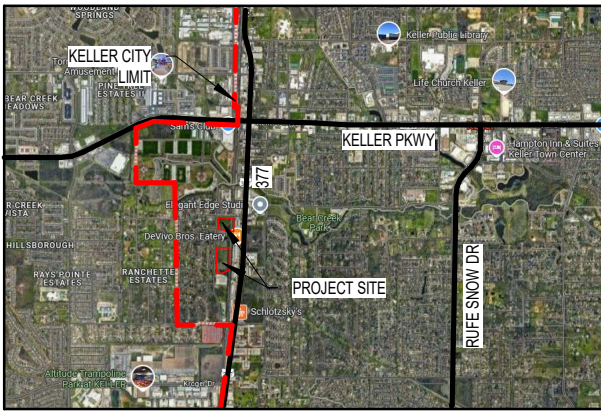
LOT 1 OPEN AREA
PLAN

DATE: May 13, 2025

SHEET:

A1.12

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VICINITY MAP

SCALE: NTS

OPEN AREA CALCULATIONS:

LOT SQUARE FOOTAGE: 333,036

OPEN AREA: 52,272 SF

52,272 / 333,036 = .157

15.7% OPEN AREA

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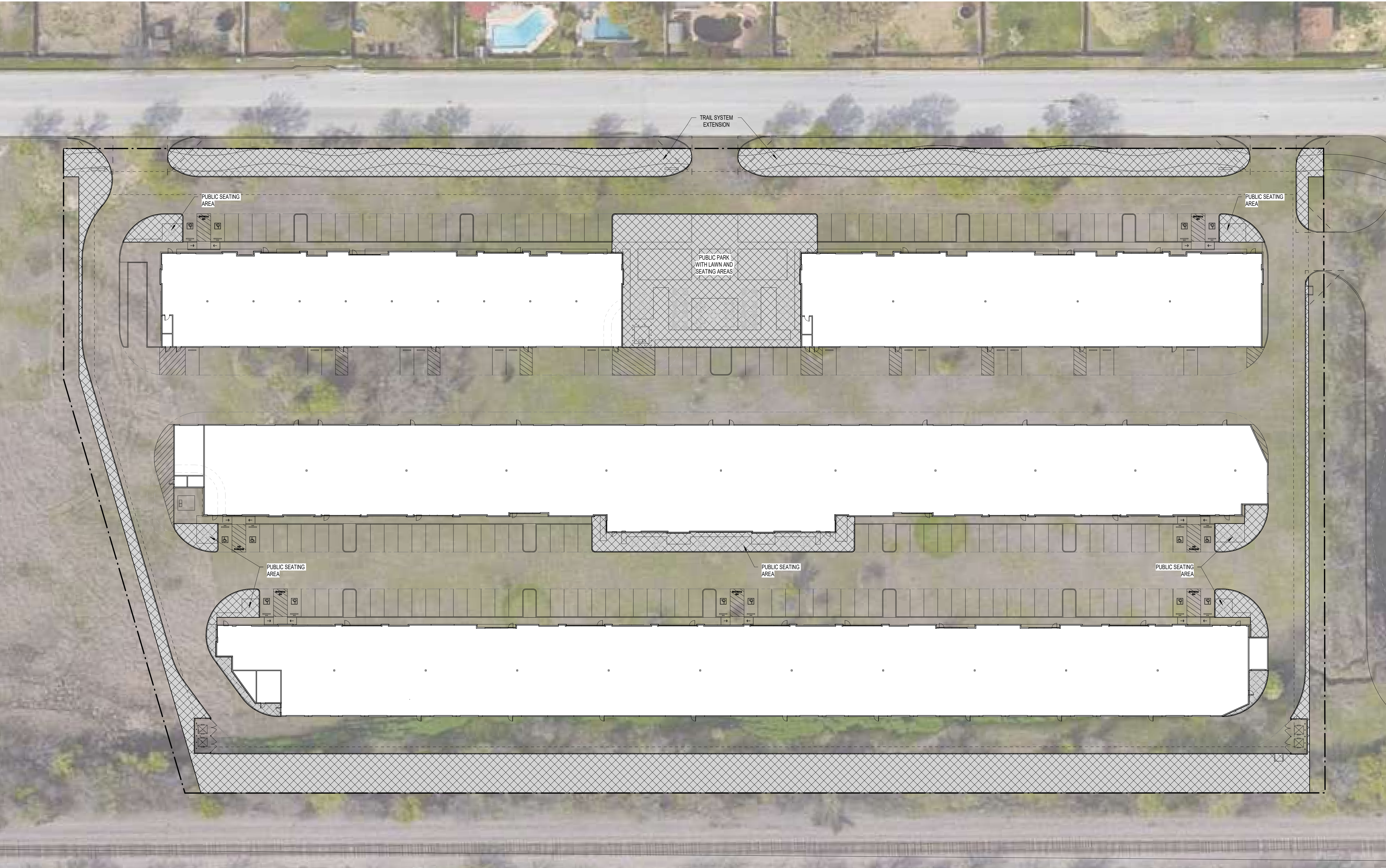
LOT 2 OPEN AREA
PLAN

DATE: May 13, 2025

SHEET:

A1.22

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PLAN NORTH



01 LOT 2 SITE PLAN

SCALE: 1" = 30'-0"

MATERIAL LEGEND

- SPLIT FACE CMU
- PAINTED CONCRETE TILT-WALL
- ALUMINUM & GLASS STOREFRONT
- PAINTED METAL
- BRICK VENEER

Note: Masonry percentages are calculated based on the total area of the associated facade minus glass.

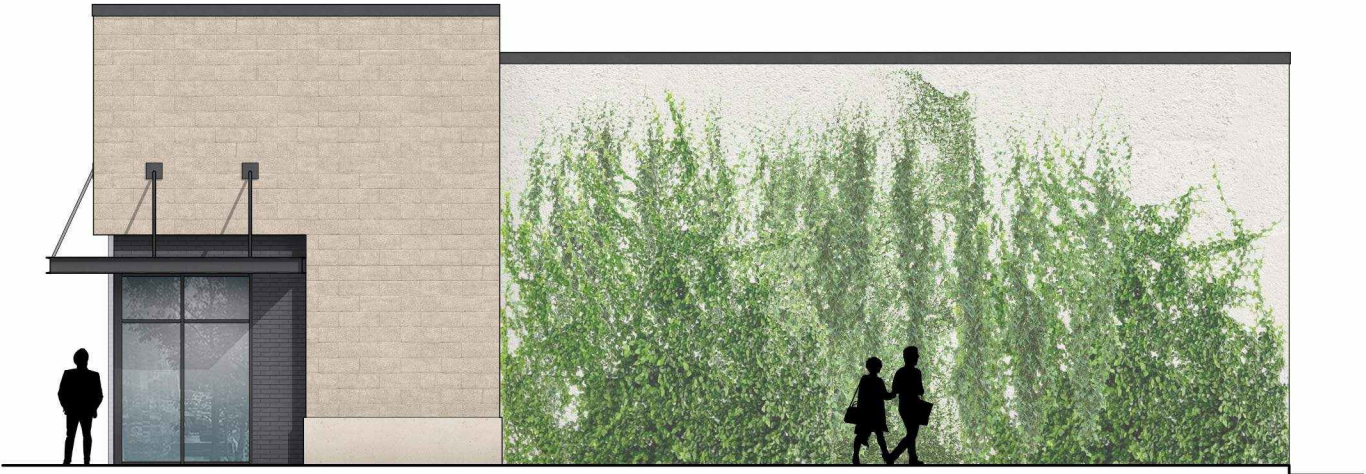
Roof System:
60 mil white TPO mechanically fastened over polyisocyanurate (R-9 min.)

Note: All facades to be finished with similar architectural elements and materials including minimum 75% masonry.

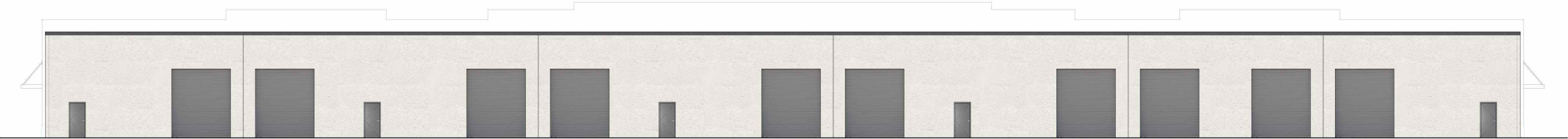
Permitted elevations will include masonry/tilt-wall mix to meet and exceed UDC masonry requirements. Buildings will feature textured surfaces/architectural elements to enhance wall surfaces.

All building elevations will be comprised of 100% tilt-wall + masonry, less glass, canopies, and door openings.

Similar architectural elements, materials, and colors will be carried through each building on the sites. The elevations presented in this exhibit are representative of a consistent design style that will carry through each building on both sites.



ENLARGED ELEVATION - NORTH / SOUTH - BUILDING 1
Scale: 1" = 10'-0"



ENLARGED ELEVATION - EAST - BUILDING 1
Scale: 1" = 20'-0"

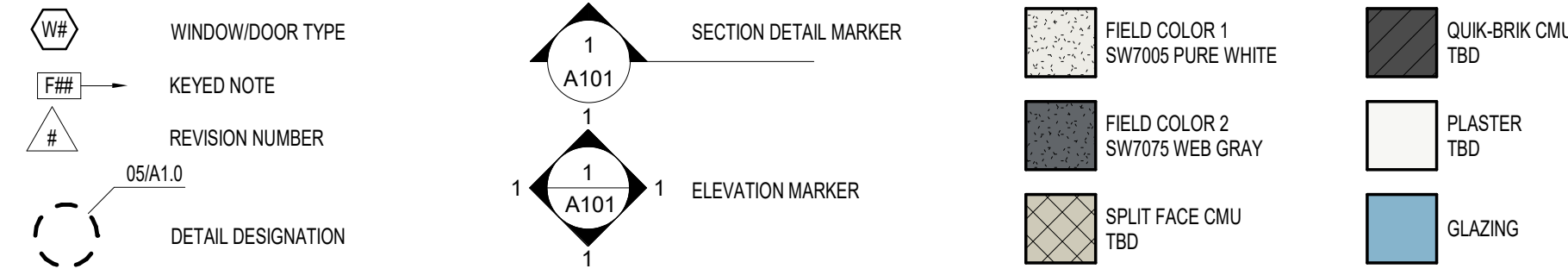


ENLARGED ELEVATION - WEST - BUILDING 1
Scale: 1" = 20'-0"



CHISOLM TRAIL STREET ELEVATION - BUILDINGS 1 & 2
Scale: 1" = 50'-0"

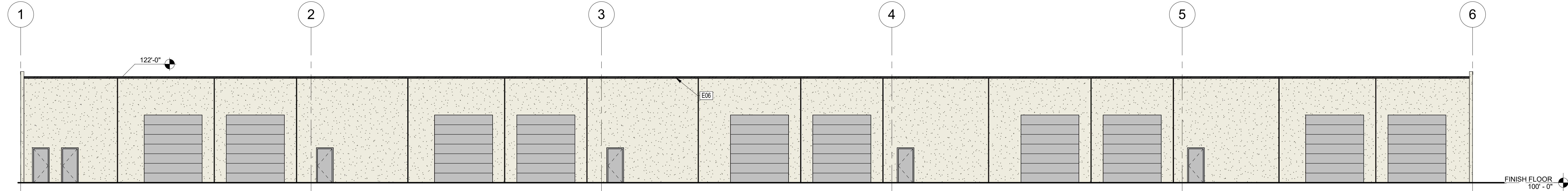
ELEVATION SYMBOLS LEGEND:



ELEVATION KEYED NOTES:

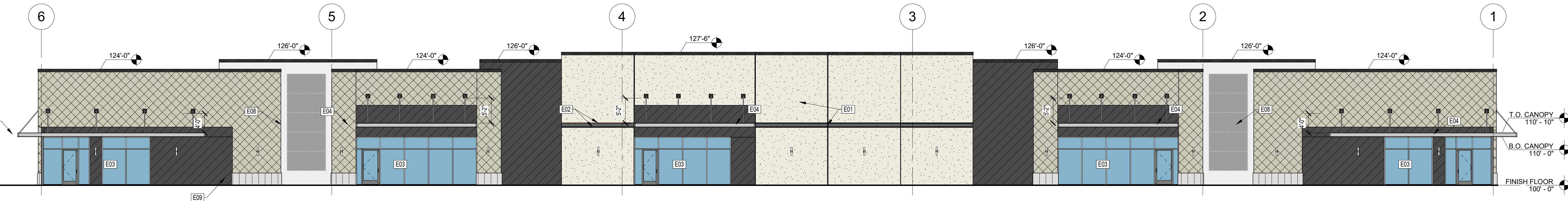
- Keyed notes for elevation drawings:
- E01: PAINTED CONCRETE TILT-WALL
 - E02: PANEL REVEAL (REF. 01/A10.00)
 - E03: ALUMINUM & GLASS STOREFRONT
 - E04: ALUMINUM PREFAB CANOPY
 - E05: LINE OF ROOF BEYOND
 - E06: CONTINUOUS GUTTER
 - E07: DOWNSPOUT
 - E08: WALL MOUNTED TRELLIS
 - E09: BASE TRIM

MATERIAL CALCULATIONS												
ELEVATION	TOTAL AREA	GLASS/OPENINGS AREA	G/O%	CONCRETE TILT WALL AREA	T.W.%	SPLIT FACE CMU AREA	CMU%	BRICK VENEER AREA	B.V.%	PLASTER AREA	PL%	TOTAL MASONRY PERCENTAGE
NORTH	1,443 SF	75 SF	5.2%	943 SF	68.9%	374 SF	27.3%	51 SF	3.7%	-	0%	100%
SOUTH	1,443 SF	75 SF	5.2%	943 SF	68.9%	374 SF	27.3%	51 SF	3.7%	-	0%	100%
EAST	6,601 SF	1,832 SF	27.8%	4,769 SF	100%	-	0%	-	0%	-	0%	100%
WEST	7,711 SF	1,099 SF	14.3%	1,925 SF	29.1%	2,299 SF	34.8%	1,754 SF	26.5%	634 SF	9.6%	100%



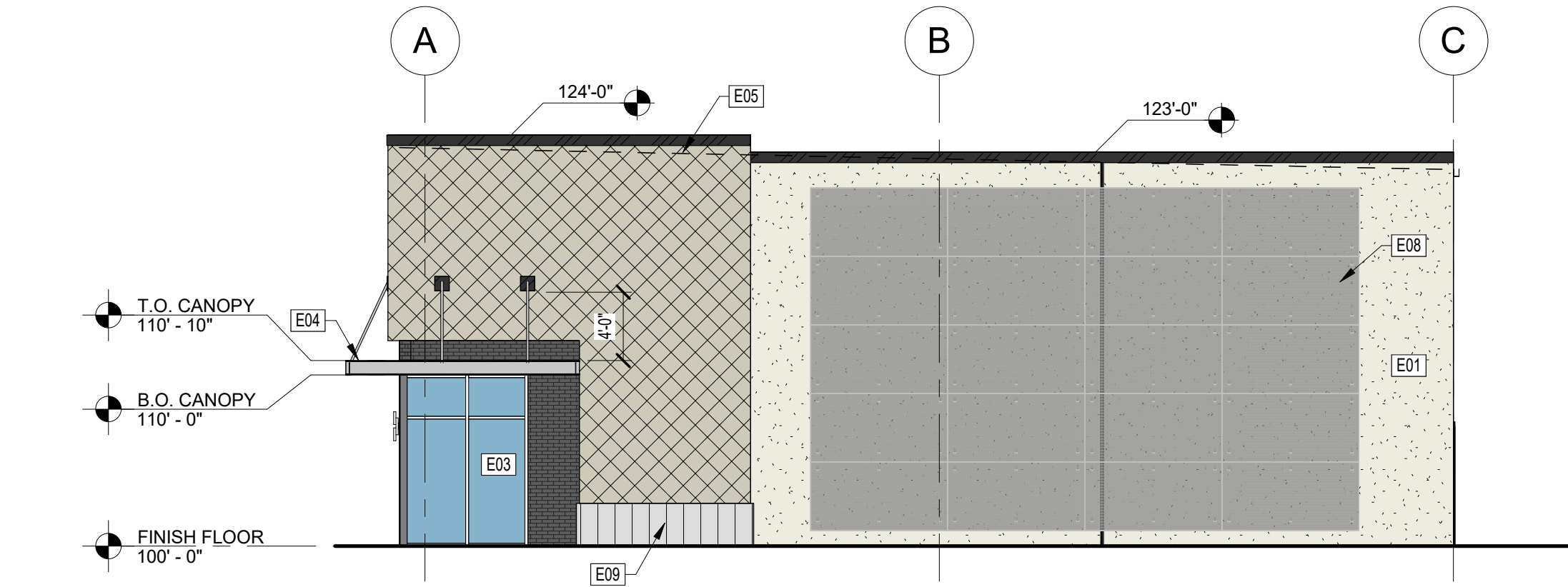
02 EXTERIOR ELEVATION - EAST

SCALE: 3/32" = 1'-0"



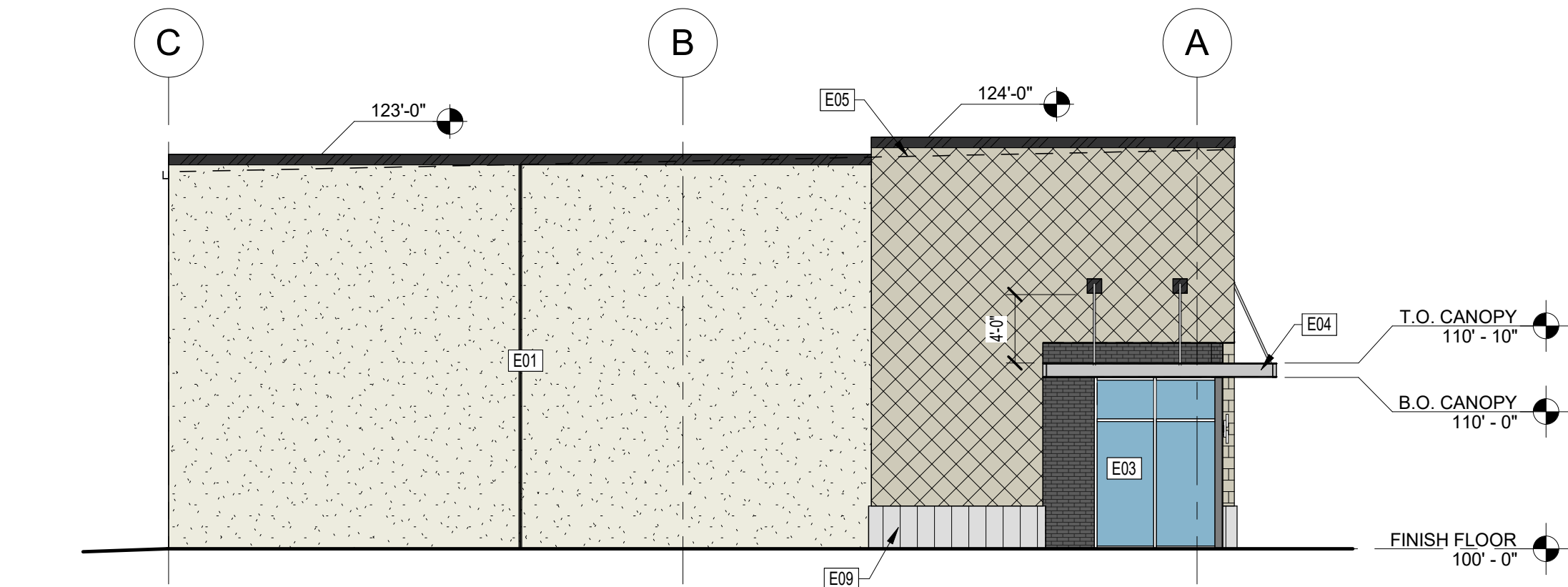
01 EXTERIOR ELEVATION - WEST

SCALE: 3/32" = 1'-0"



04 EXTERIOR SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



03 EXTERIOR ELEVATION - NORTH

SCALE: 1/8" = 1'-0"

AZIMUTH:

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Lot 2 Building 1

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SHEET CONTENTS:
EXTERIOR
ELEVATIONS

DATE: March 14, 2025

SHEET:

A7.10

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ELEVATION SYMBOLS LEGEND:

W#

WINDOW/DOOR TYPE

F##

KEYED NOTE

#

REVISION NUMBER

05/A1.0

DETAIL DESIGNATION

1

A101

1

SECTION DETAIL MARKER

1

A101

1

ELEVATION MARKER

FIELD COLOR 1

SW7005 PURE WHITE

FIELD COLOR 2

SW7075 WEB GRAY

SPLIT FACE CMU

TBD

QUIK-BRIK CMU

TBD

PLASTER

TBD

GLAZING

ELEVATION KEYED NOTES:

E01

PAINTED CONCRETE TILT-WALL

E02

PANEL REVEAL (REF. 01/A10.00)

E03

ALUMINUM & GLASS STOREFRONT

E04

ALUMINUM PREFAB CANOPY

E05

LINE OF ROOF BEYOND

E06

CONTINUOUS GUTTER

E07

DOWNSPOUT

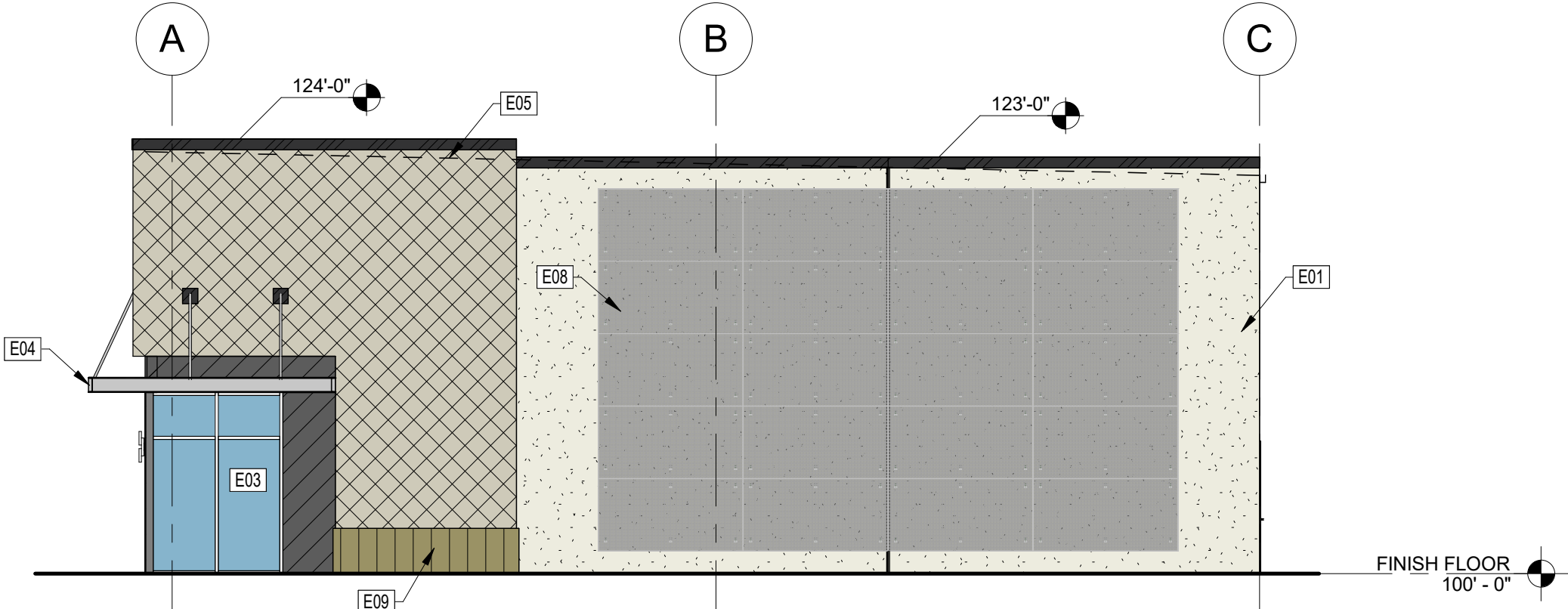
E08

WALL MOUNTED TRELLIS

E09

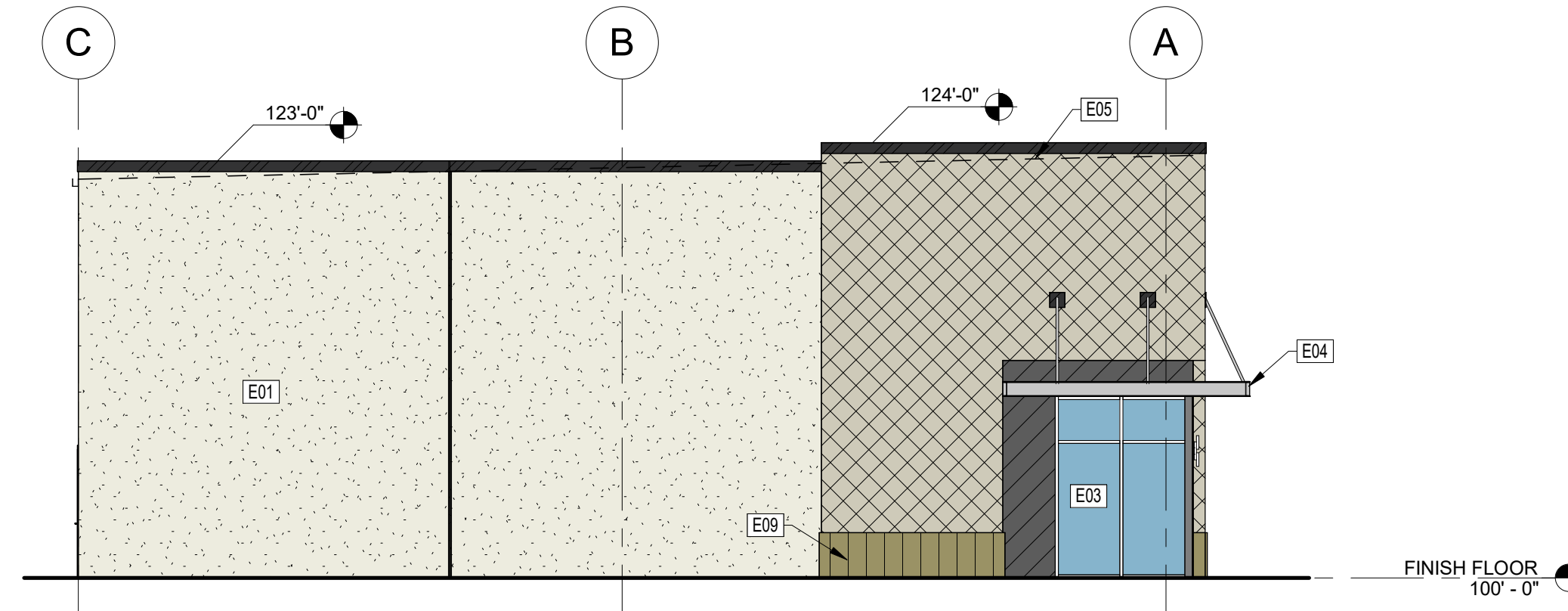
BASE TRIM

MATERIAL CALCULATIONS												
ELEVATION	TOTAL AREA	GLASS/OPENINGS AREA	G/O%	CONCRETE TILT WALL AREA	T.W.%	SPLIT FACE CMU AREA	CMU%	BRICK VENEER AREA	B.V.%	PLASTER AREA	PL%	TOTAL MASONRY PERCENTAGE
NORTH	1,443 SF	75 SF	5.2%	943 SF	68.9%	374 SF	27.3%	51 SF	3.7%	-	0%	100%
SOUTH	1,443 SF	75 SF	5.2%	943 SF	68.9%	374 SF	27.3%	51 SF	3.7%	-	0%	100%
EAST	6,601 SF	1,832 SF	27.8%	4,769 SF	100%	-	0%	-	0%	-	0%	100%
WEST	7,711 SF	1,099 SF	14.3%	1,925 SF	29.1%	2,299 SF	34.8%	1,754 SF	28.5%	634 SF	9.6%	100%



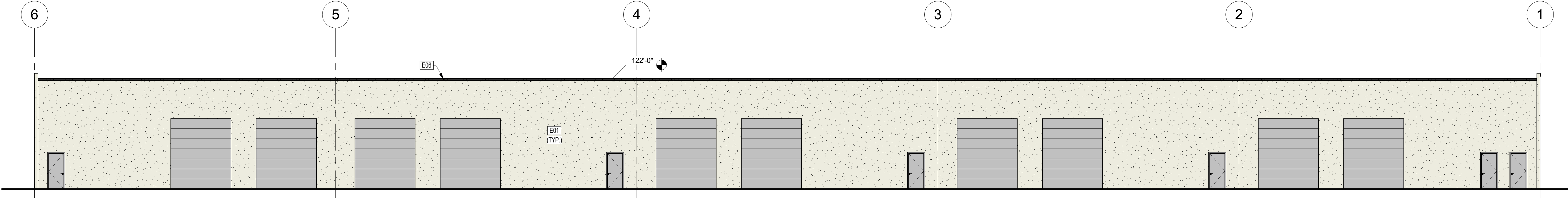
04 EXTERIOR SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



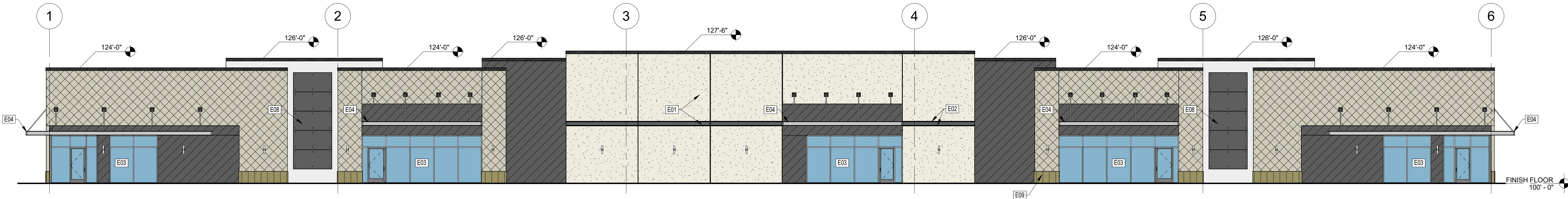
02 EXTERIOR NORTH ELEVATION

SCALE: 1/8" = 1'-0"



03 EXTERIOR EAST ELEVATION

SCALE: 3/32" = 1'-0"



01 EXTERIOR ELEVATION - WEST

SCALE: 3/32" = 1'-0"

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SHEET CONTENTS:
EXTERIOR
ELEVATIONS

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SHEET:

A7.20

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ELEVATION SYMBOLS LEGEND:

W#

WINDOW/DOOR TYPE

F##

KEYED NOTE

#

REVISION NUMBER

05/A1.0

DETAIL DESIGNATION

1
A101

SECTION DETAIL MARKER

1
A101

ELEVATION MARKER

FIELD COLOR 1
SW7005 PURE WHITE

FIELD COLOR 2
SW7075 WEB GRAY

SPLIT FACE CMU
TBD

QUICK-BRIK CMU
TBD

PLASTER
TBD

GLAZING

ELEVATION KEYED NOTES:

E01

PAINTED CONCRETE TILT-WALL

E02

PANEL REVEAL (REF. 01/A10.00)

E03

ALUMINUM & GLASS STOREFRONT

E04

ALUMINUM PREFAB CANOPY

E05

LINE OF ROOF BEYOND

E06

CONTINUOUS GUTTER

E07

DOWNSPOUT

E08

WALL MOUNTED TRELLIS

E09

BASE TRIM

MATERIAL CALCULATIONS												
ELEVATION	TOTAL AREA	GLASS/OPENINGS AREA	G/O%	CONCRETE TILT WALL AREA	T.W.%	SPLIT FACE CMU AREA	CMU%	BRICK VENEER AREA	B.V.%	PLASTER AREA	PL%	TOTAL MASONRY PERCENTAGE
NORTH	1,406 SF	168 SF	11.9%	1,062 SF	85.7%	92 SF	7.4%	84 SF	6.8%	-	0%	100%
SOUTH	1,411 SF	25 SF	1.8%	946 SF	68.3%	224 SF	16.2%	216 SF	15.6%	-	0%	100%
EAST	18,398 SF	2,189 SF	11.9%	3,620 SF	22.3%	4,948 SF	30.5%	3,880 SF	23.9%	3,751 SF	23.1%	100%
WEST	15,122 SF	3,782 SF	25.0%	11,340 SF	100%	-	0%	-	0%	-	0%	100%

04 EXTERIOR SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

05 ENLARGED ELEVATION

SCALE: 1/8" = 1'-0"

03 EXTERIOR NORTH ELEVATION

SCALE: 1/8" = 1'-0"

02 EXTERIOR WEST ELEVATION

SCALE: 1" = 30'-0"

01 EXTERIOR EAST ELEVATION

SCALE: 1" = 30'-0"

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SHEET:

A7.30

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ELEVATION SYMBOLS LEGEND:

W#

KEYED NOTE

#

REVISION NUMBER

05/A1.0

DETAIL DESIGNATION

1

A101

1

SECTION DETAIL MARKER

1

A101

1

ELEVATION MARKER

FIELD COLOR 1

SW7005 PURE WHITE

FIELD COLOR 2

SW7075 WEB GRAY

SPLIT FACE CMU

TBD

QUIK-BRIK CMU

TBD

PLASTER

TBD

GLAZING

ELEVATION KEYED NOTES:

- E01

PAINTED CONCRETE TILT-WALL
- E02

PANEL REVEAL (REF. 01/A10.00)
- E03

ALUMINUM & GLASS STOREFRONT
- E04

ALUMINUM PREFAB CANOPY
- E05

LINE OF ROOF BEYOND
- E06

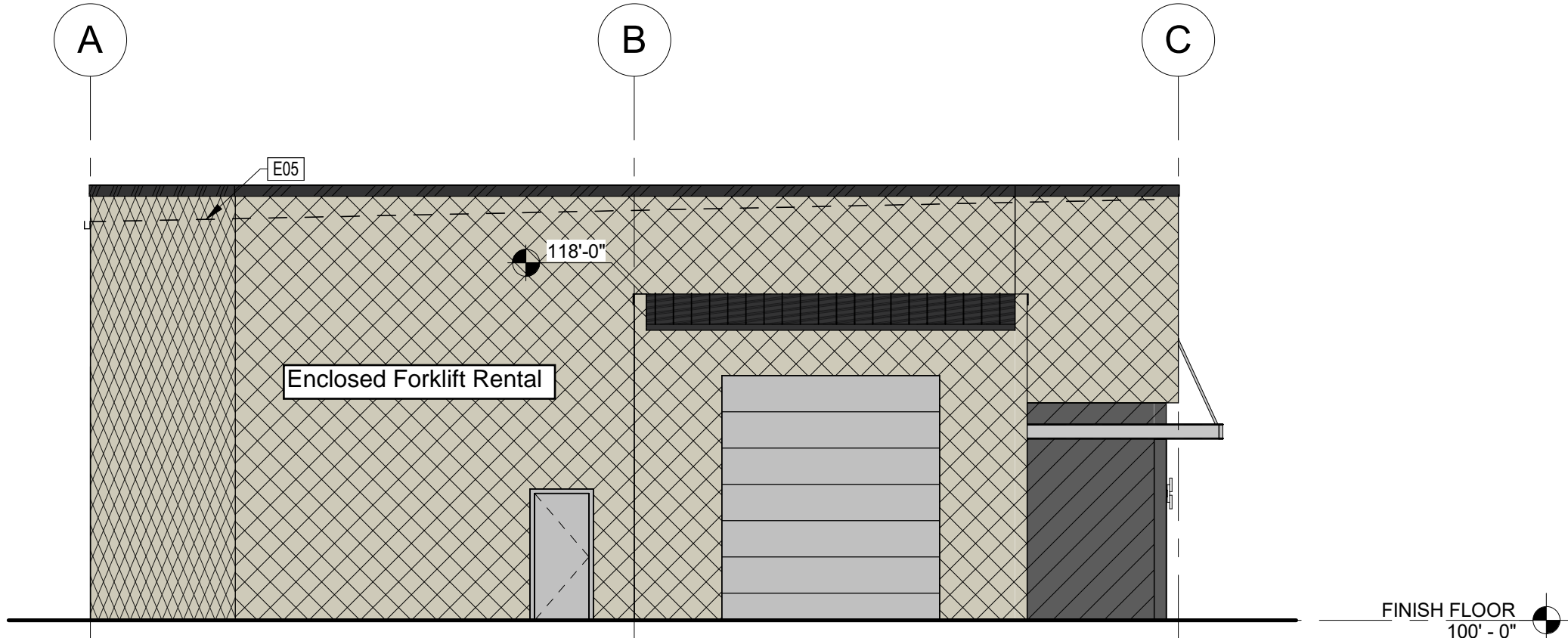
CONTINUOUS GUTTER
- E07

DOWNSPOUT
- E08

WALL MOUNTED TRELLIS
- E09

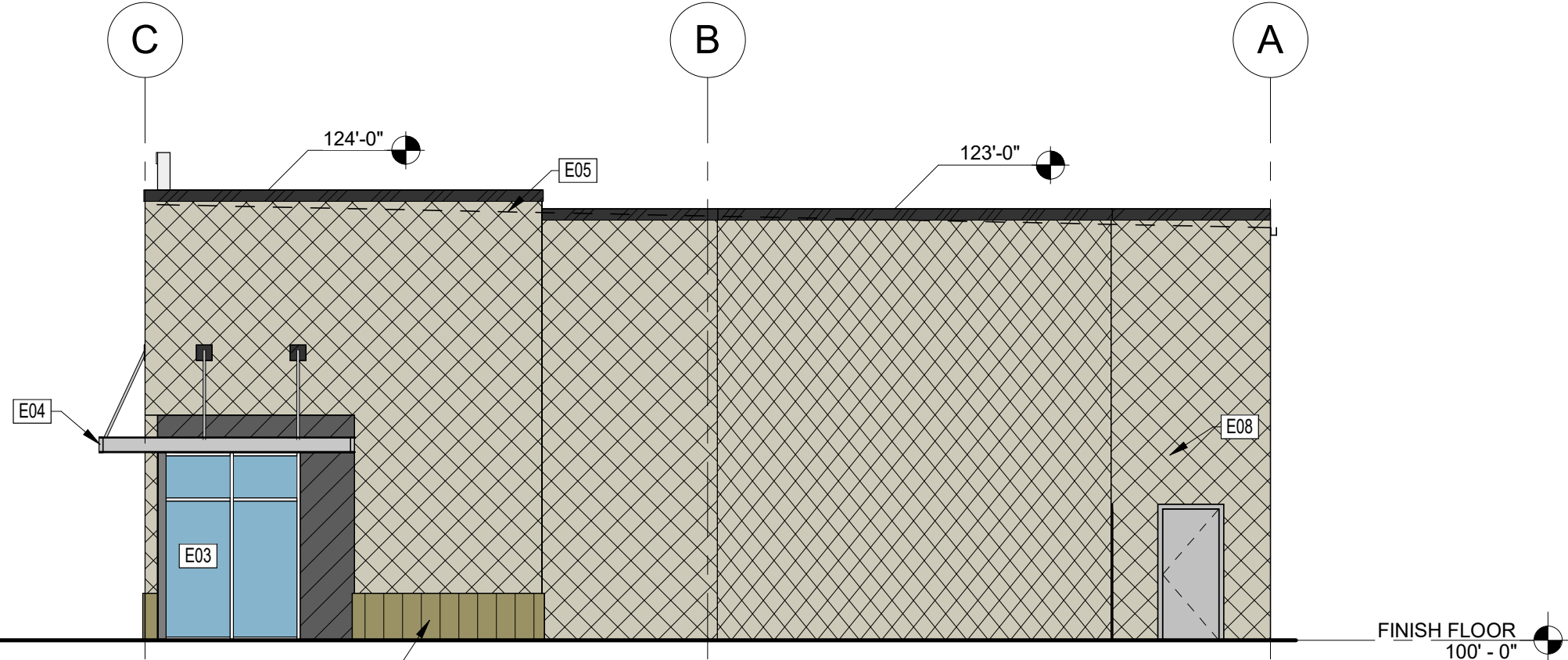
BASE TRIM

MATERIAL CALCULATIONS											
ELEVATION	TOTAL AREA	GLASS/OPENINGS AREA	G/O%	CONCRETE TILT WALL AREA	T.W.%	SPLIT FACE CMU AREA	CMU%	BRICK VENEER AREA	B.V.%	PLASTER AREA	PL%
NORTH	1,432 SF	193 SF	13.5%	-	0%	1,147 SF	92.6%	92 SF	7.4%	-	0%
SOUTH	1,393 SF	101 SF	7.3%	-	0%	1,242 SF	96.1%	50 SF	3.9%	-	0%
EAST	15,098 SF	3,950 SF	26.2%	9,536 SF	85.5%	1,612 SF	14.5%	-	0%	-	0%
WEST	17,984 SF	2,495 SF	13.9%	4,217 SF	27.2%	4,581 SF	29.6%	3,525 SF	22.8%	3,166 SF	20.4%



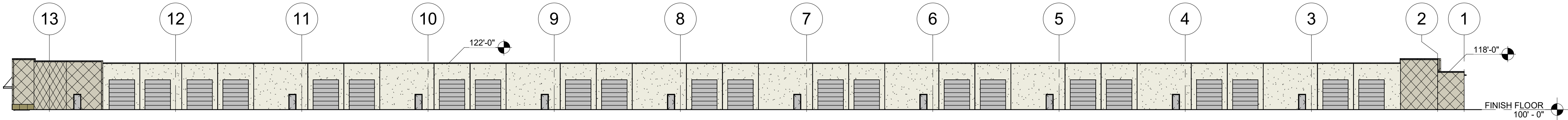
04 EXTERIOR NORTH ELEVATION

SCALE: 1/8" = 1'-0"



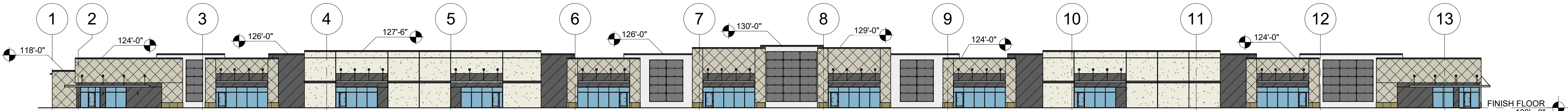
03 EXTERIOR SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



02 EXTERIOR EAST ELEVATION

SCALE: 1" = 30'-0"



01 EXTERIOR WEST ELEVATION

SCALE: 1" = 30'-0"

1	03.14.25	Council Review
2		
3		
4		
5		
6		
7		
8		
9		

PROGRESS PRINT
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CONSTRUCTION

SHEET CONTENTS:
EXTERIOR
ELEVATIONS

DATE: March 14, 2025

SHEET:

A7.40

ELEVATION SYMBOLS LEGEND:

W#

WINDOW/DOOR TYPE

F##

KEYED NOTE

#

REVISION NUMBER

05/A1.0

DETAIL DESIGNATION

1
A101

SECTION DETAIL MARKER

1
A101

ELEVATION MARKER

FIELD COLOR 1
SW7005 PURE WHITE

FIELD COLOR 2
SW7075 WEB GRAY

SPLIT FACE CMU
TBD

QUICK-BRIK CMU
TBD

PLASTER
TBD

GLAZING

ELEVATION KEYED NOTES:

E01

PAINTED CONCRETE TILT-WALL

E02

PANEL REVEAL (REF. 01/A10.00)

E03

ALUMINUM & GLASS STOREFRONT

E04

ALUMINUM PREFAB CANOPY

E05

LINE OF ROOF BEYOND

E06

CONTINUOUS GUTTER

E07

DOWNSPOUT

E08

WALL MOUNTED TRELLIS

E09

BASE TRIM

MATERIAL CALCULATIONS												
ELEVATION	TOTAL AREA	GLASS/OPENINGS AREA	G/O%	CONCRETE TILT WALL AREA	T.W.%	SPLIT FACE CMU AREA	CMU%	BRICK VENEER AREA	B.V.%	PLASTER AREA	PL%	TOTAL MASONRY PERCENTAGE
NORTH	8,185 SF	1,099 SF	13.4%	1,925 SF	27.2%	2,327 SF	32.8%	1,651 SF	23.3%	1,183 SF	16.7%	100%
SOUTH	7,059 SF	1,807 SF	25.6%	5,252 SF	100%	-	0%	-	0%	-	0%	100%
EAST	2,205 SF	76 SF	3.4%	1,281 SF	60.2%	618 SF	29.0%	50 SF	2.3%	-	0%	100%
WEST	2,000 SF	76 SF	3.8%	1,500 SF	78.0%	374 SF	19.4%	50 SF	26.0%	-	0%	100%

04 EXTERIOR EAST ELEVATION

SCALE: 1/8" = 1'-0"

05 ENLARGED ELEVATION

SCALE: 1/8" = 1'-0"

03 EXTERIOR WEST ELEVATION

SCALE: 1/8" = 1'-0"

02 EXTERIOR SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

01 EXTERIOR NORTH ELEVATION

SCALE: 1/16" = 1'-0"

AZIMUTH:

architecture

10228 E Northwest Hwy
Box 66
Dallas, Texas 75226
214.261.9060

www.azimutharc.com

FlexD Keller
Lot 1 Building 1

150 W. Bear Creek Pkwy, Keller, Texas 76248

3013E

JOB # CLIENT:

REVISIONS:

SEAL:

1	03.14.25	Council Review
2		
3		
4		
5		
6		
7		
8		
9		

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SHEET CONTENTS:
EXTERIOR
ELEVATIONS

DATE: March 14, 2025

SHEET:

A7.50

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ELEVATION SYMBOLS LEGEND:

W#

WINDOW/DOOR TYPE

F##

KEYED NOTE

#

REVISION NUMBER

05/A1.0

DETAIL DESIGNATION

1

A101

1

SECTION DETAIL MARKER

1

A101

1

ELEVATION MARKER

FIELD COLOR 1
SW7005 PURE WHITE

FIELD COLOR 2
SW7075 WEB GRAY

SPLIT FACE CMU
TBD

QUICK-BRIK CMU
TBD

PLASTER
TBD

GLAZING

ELEVATION KEYED NOTES:

- E01

PAINTED CONCRETE TILT-WALL
- E02

PANEL REVEAL (REF. 01/A10.00)
- E03

ALUMINUM & GLASS STOREFRONT
- E04

ALUMINUM PREFAB CANOPY
- E05

LINE OF ROOF BEYOND

E06

CONTINUOUS GUTTER

E07

DOWNSPOUT

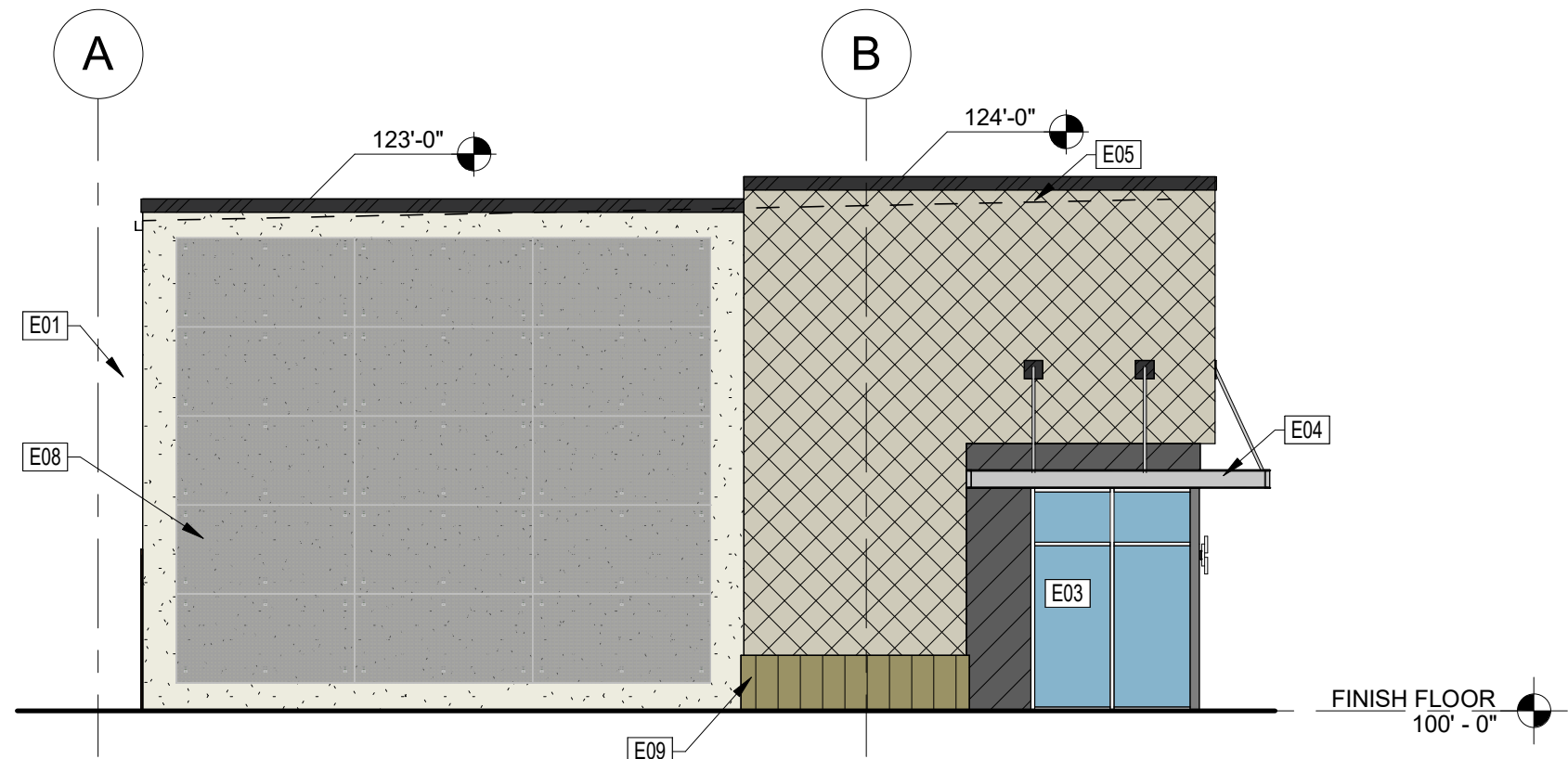
E08

WALL MOUNTED TRELLIS

E09

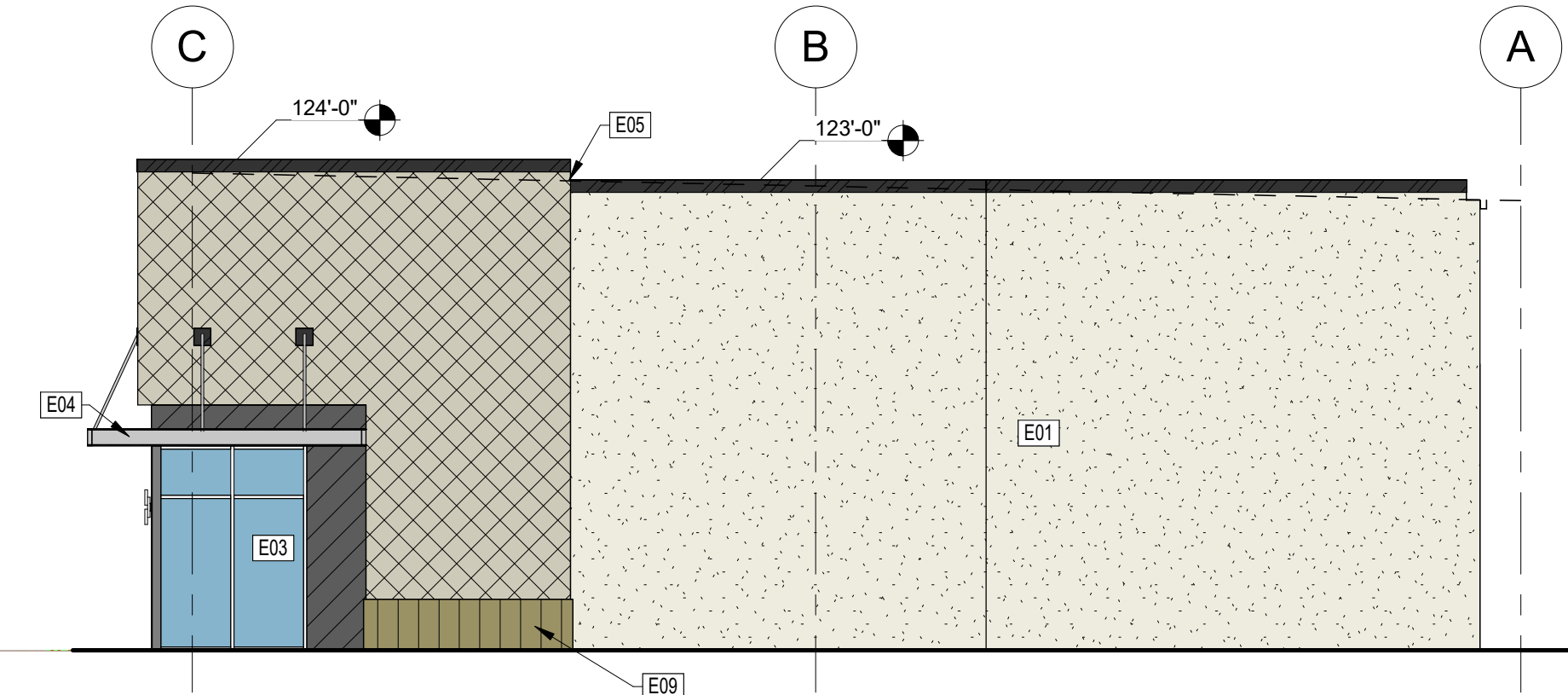
BASE TRIM

MATERIAL CALCULATIONS												
ELEVATION	TOTAL AREA	GLASS/OPENINGS AREA	G/O%	CONCRETE TILT WALL AREA	T.W.%	SPLIT FACE CMU AREA	CMU%	BRICK VENEER AREA	B.V.%	PLASTER AREA	PL%	TOTAL MASONRY PERCENTAGE
NORTH	6,581 SF	1832 SF	27.8%	4,749 SF	100%	-	0%	-	0%	-	0%	100%
SOUTH	7,639 SF	1,099 SF	14.4%	1,513 SF	23.1%	2,299 SF	35.2%	1,837 SF	28.1%	891 SF	13.6%	100%
EAST	1,525 SF	77 SF	5.0%	1,024 SF	70.7%	374 SF	25.8%	50 SF	3.5%	-	0%	100%
WEST	1,121 SF	76 SF	6.8%	621 SF	99.4%	374 SF	35.8%	50 SF	4.8%	-	0%	100%



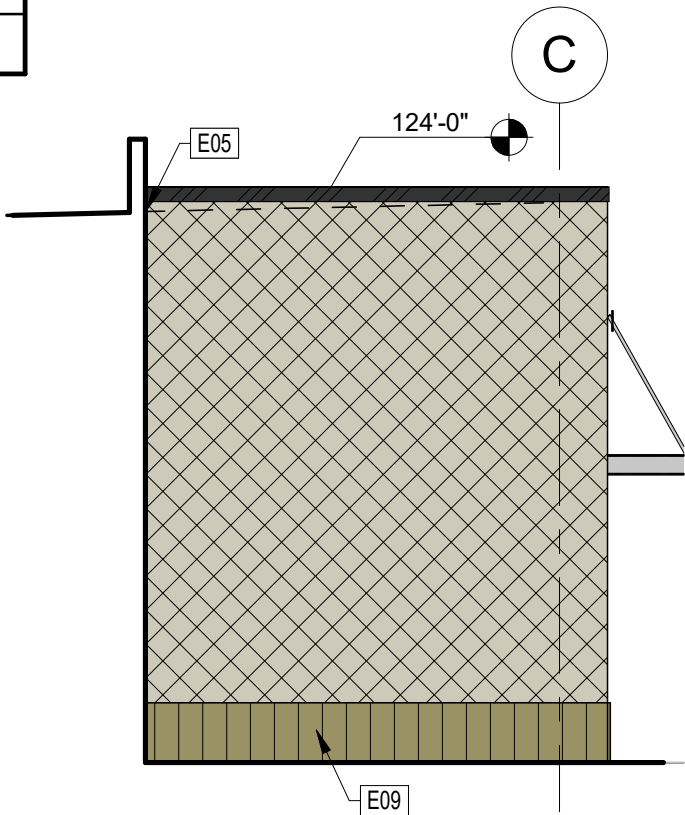
04 EXTERIOR WEST ELEVATION

SCALE: 1/8" = 1'-0"



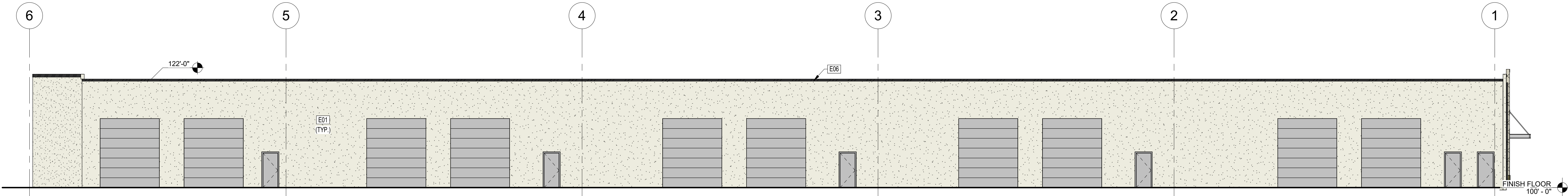
03 EXTERIOR EAST ELEVATION

SCALE: 1/8" = 1'-0"



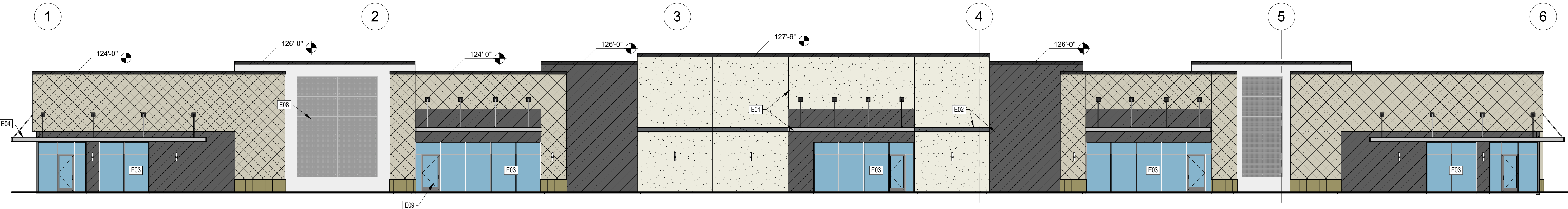
05 ENLARGED ELEVATION

SCALE: 1/8" = 1'-0"



02 EXTERIOR NORTH ELEVATION

SCALE: 3/32" = 1'-0"



01 EXTERIOR SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

AZIMUTH:

architecture

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Lot 1 Building 2

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3013F

JOB # CLIENT:

REVISIONS:

SEAL:

1	03.14.25	Council Review
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SHEET CONTENTS:
EXTERIOR
ELEVATIONS

DATE: March 14, 2025

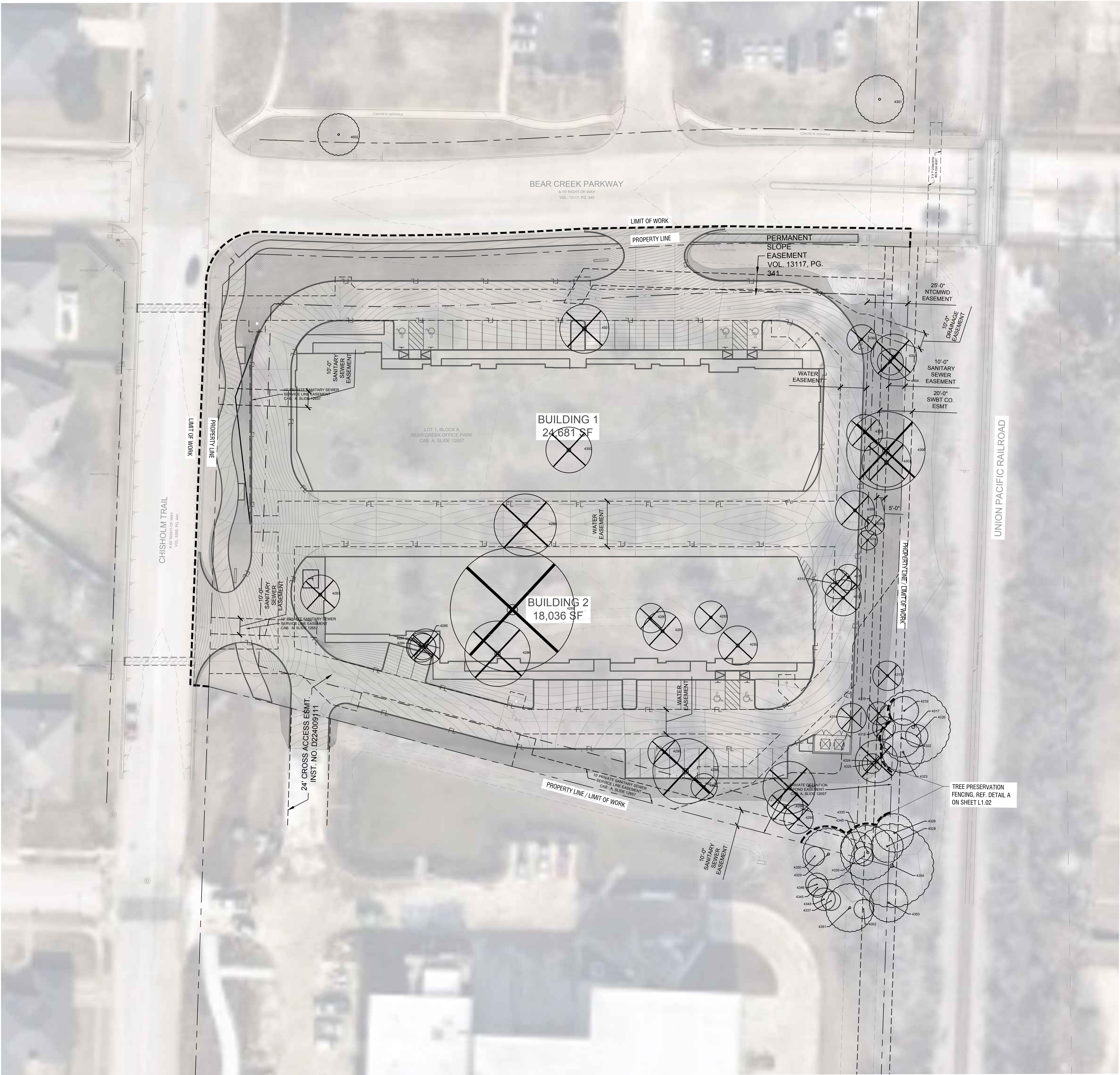
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A7.60

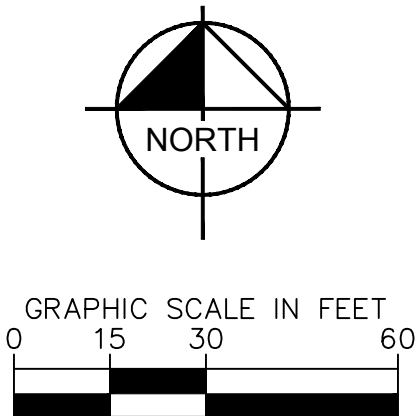
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DATE: 4/23/2025 10:02 AM
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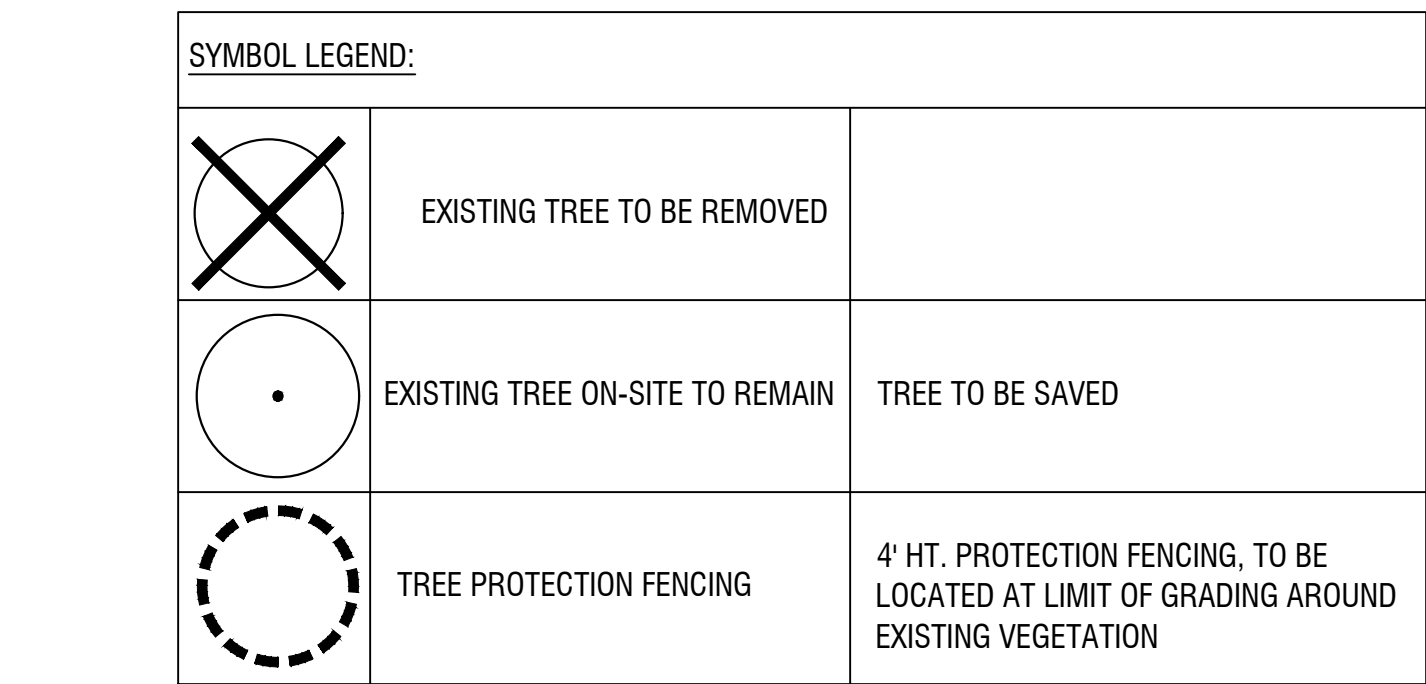


SYMBOL LEGEND:		
	EXISTING TREE TO BE REMOVED	
	EXISTING TREE ON-SITE TO REMAIN	TREE TO BE SAVED
	TREE PROTECTION FENCING	4' HT. PROTECTION FENCING, TO BE LOCATED AT LIMIT OF GRADING AROUND EXISTING VEGETATION



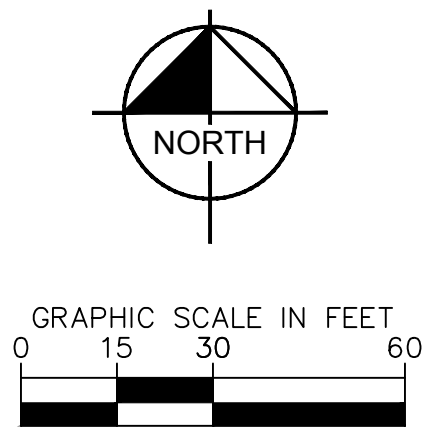
AERIAL OVERLAY (150 BEAR CREEK)	FLEXD WAREHOUSE - KELLER KELLER PREPARED FOR CARDINAL RESIDENTIAL	TEXAS	KIMLEY-HORN	KHA PROJECT 060015803	DATE APRIL 2025	SCALE AS SHOWN	DESIGNED BY AEA	DRAWN BY AEA	CHECKED BY AMH	P.L.A. Jenna M. Hartman	U.A. No. 3146	Date 04/30/2025	260 DAVIS ST #100, MCKINNEY, TX 75069 PHONE: (469) 301-2580 FAX: WWW.KIMLEY-HORN.COM TX F-928 © 2025 KIMLEY-HORN AND ASSOCIATES, INC.	No.	REVISIONS	DATE

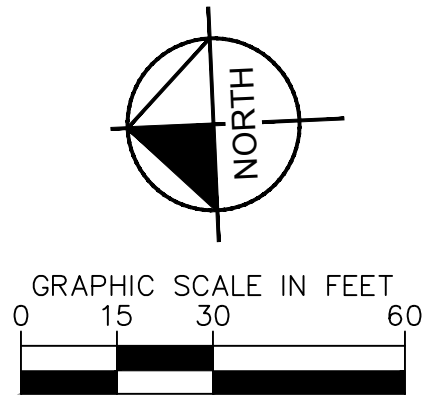
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1. CONTACT CITY OF KELLER FOR A TREE REMOVAL PERMIT AT 817-743-4110 PRIOR TO REMOVAL OR TRANSPILATING OF ANY TREES.
2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL BRIGHTLY COLORED PLASTIC FENCING, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND SHALL BE INSPECTED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT.
4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
8. NO TRENCING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE, OR HAULED OFF-SITE.
10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

- NOTES:
1. THE CRITICAL ROOT ZONE IS DERIVED AS FOLLOWS: AROUND THE THUNK OF THE TREE THAT IS EQUAL TO A RADIUS OF ONE (1) FEET FOR EACH INCH MEASURED AT GREATEST HEIGHT (DBH) OF FOUR AND ONE-HALF (4 1/2) FEET ABOVE THE SOIL LEVEL.
2. PERFORM ROOT PRUNING ON ALL EXISTING TREES WHERE CONSTRUCTION ACTIVITY WILL FALL WITHIN THE CRITICAL ROOT ZONE. LINEAR CUTS OF ROOTS ARE PROHIBITED.
3. CONSTRUCTION OF NEW FOUNDATIONS AND CONSTRUCTION ACTIVITIES, HAND CUTS ROOTS BY DIGGING A TRENCH 18" DEEP BY 8" WIDE ALONG THE OUTSIDE PERIMETER OF THE CRITICAL ROOT ZONE. LINEAR CUTS OF ROOTS, MINIMUM, PLACE ROOTS BY THE OUTSIDE OF THE PROTECTION ZONE.
4. BARK DAMAGE OR SITUATION WHERE PRESERVED TREES REMAIN IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION OF CONTRACTOR SHALL BE PROTECTED BY THE TREE BY EXCISING THE ENTIRE CIRCUMFERENCE OF THE TREE WITH A 2" (4x) LAMINATED BOARD WITH WIRE OR OTHER MEANS THAT DOES NOT DAMAGE THE TREE.
5. THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE CRITICAL ROOT ZONE OF PROTECTED TREES:
 - A. MATERIAL INTERFERED WITH THE TREE
 - B. EXCAVATION, OR OTHER ACTIVITIES THAT ARE UNLAWFULLY EXCAVATED TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE.
 - C. NO EQUIPMENT SHALL BE CLEARED OR OTHER LIQUIDS DEPOSITED OR ALLOWED TO FLOW OVERWITHIN THE LIMITS OF THE CRITICAL ROOT ZONE. THIS INCLUDES, BUT IS NOT LIMITED TO, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS.
 - D. NO SCARS, WOUNDS OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO THE CRITICAL ROOT ZONE OF ANY TREE.
 - E. NO VEHICLES AND/OR PARKING SHALL TAKE PLACE WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.
6. NO EQUIPMENT, INCLUDING BUT NOT LIMITED TO TRUCKS, TRAILERS, BULLDOZERS, BORCAT TRUCKS, TRENCHERS, COMPRESSORS AND HORISTS SHALL BE ALLOWED INSIDE THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.
7. NO LANDSCAPE CHANGE WILL BE ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREE WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT, OWNERS AND CITY OFFICIAL RESPONSIBLE FOR TREE PROTECTION.





SYMBOL LEGEND:		
	EXISTING TREE TO BE REMOVED	
	EXISTING TREE ON-SITE TO REMAIN	TREE TO BE SAVED
	TREE PROTECTION FENCING	4' HT. PROTECTION FENCING, TO BE LOCATED AT LIMIT OF GRADING AROUND EXISTING VEGETATION

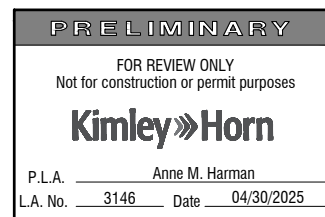
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 PLOTTED BY
 DWG PATH
 DWG NAME

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AERIAL OVERLAY (777
CHISOLM)

FLEXD WAREHOUSE -
KELLER
PREPARED FOR
CARDINAL RESIDENTIAL

KHA PROJECT 060015803	DATE APRIL 2025	SCALE AS SHOWN	DESIGNED BY AEA	DRAWN BY AEA	CHECKED BY AMH
--------------------------	--------------------	----------------	-----------------	--------------	----------------



Kimley»Horn

260 DAVIS ST #100, MCKINNEY, TX 75069
PHONE: (469) 301-2580 FAX:
WWW.KIMLEY-HORN.COM TX F-928
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No.	REVISIONS	DATE
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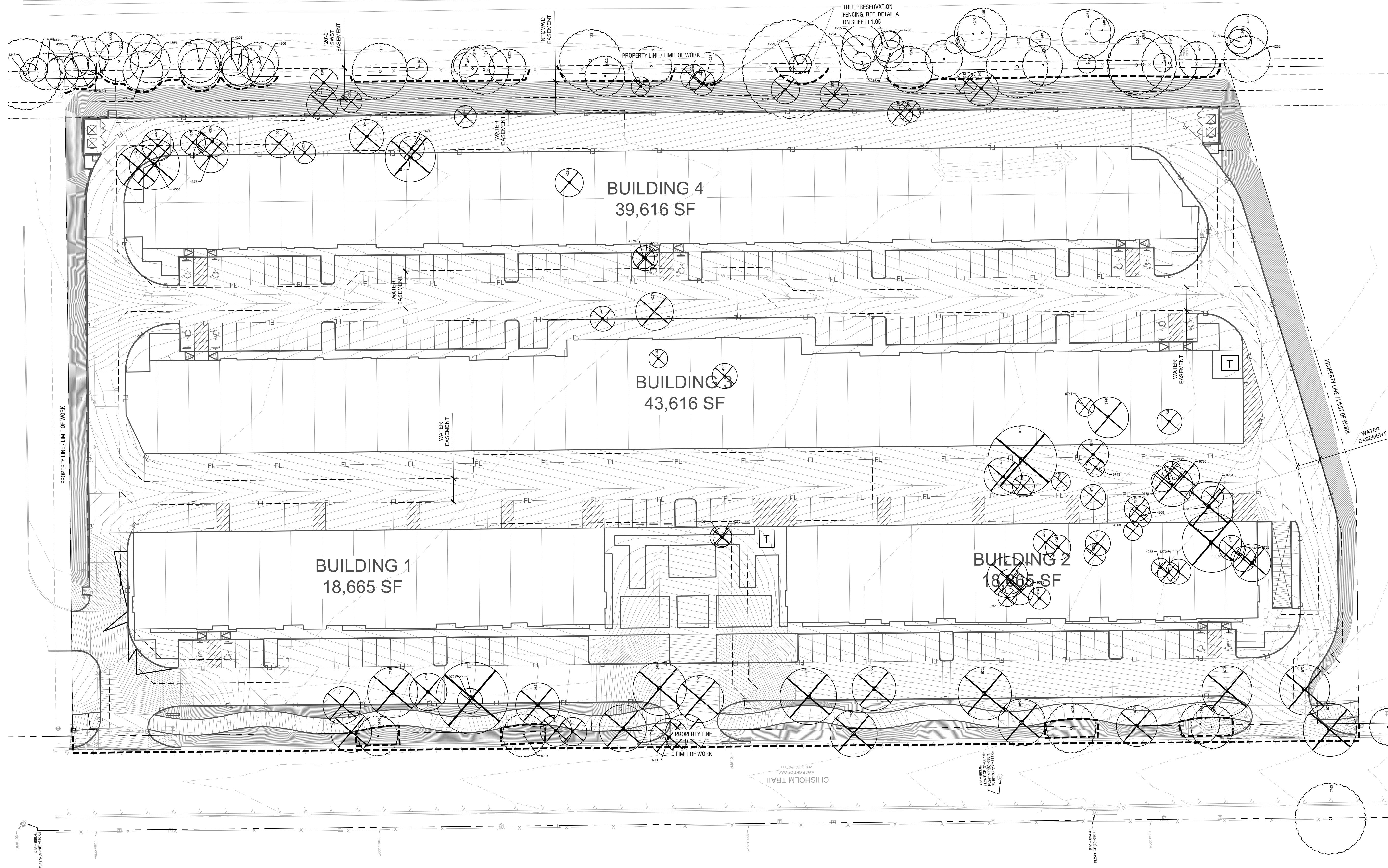
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CHECKED BY: HARMAN, ANNE
DATE: 4/26/2025

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SYMBOL LEGEND:		
	EXISTING TREE TO BE REMOVED	
	EXISTING TREE ON-SITE TO REMAIN	TREE TO BE SAVED
	TREE PROTECTION FENCING	4' HT. PROTECTION FENCING, TO BE LOCATED AT LIMIT OF GRADING AROUND EXISTING VEGETATION

TREE PROTECTION NOTES:

1. CONTACT CITY OF KELLER FOR A TREE REMOVAL PERMIT AT 817-743-4110 PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL BRIGHTLY COLORED PLASTIC FENCE, OR SALT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND SHALL BE INSPECTED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT.
4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



TREE PRESERVATION PLAN (777 CHISOLM)

SHEET NUMBER
L1.04

FLEXD WAREHOUSE -
KELLER
PREPARED FOR
CARDINAL RESIDENTIAL
KELLER

TEXAS

PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes
Kimley-Horn
P.L.A. Anna M. Hartman
A.A. No. 3146 Date: 04/26/2025

KHA PROJECT	060015803
DATE	APRIL 2025
SCALE	AS SHOWN
DESIGNED BY	AEA
DRAWN BY	AEA
CHECKED BY	AMH

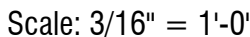
Kimley-Horn

260 DAVIS ST #100, MCKINNEY, TX 75069
PHONE: (469) 301-2580 FAX:
WWW.KIMLEY-HORN.COM TX F-928
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REVISIONS

No.

DATE



Tree Inventory - 777 Chisolm Trail

4355	Umus americana	ELM	Quality (outside boundary)	11	Preserve Existing Tree	
4356	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	13	Preserve Existing Tree	
4357	Pyrus calleryana	BRADFORD PEAR	Non-protected	14	Remove (Firelane)	Exempt
4358	Umus americana	ELM	Quality	8	Remove (Firelane)	Exempt
4360	Umus americana	ELM	Quality	16	Remove (Building Pad)	Exempt
4361	Umus americana	ELM	Quality (outside boundary)	13	Preserve Existing Tree	
4362	Umus americana	ELM	Quality	10	Remove (Firelane)	Exempt
4363	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	11	Preserve Existing Tree	
4364	Umus americana	ELM	Quality (outside boundary)	13	Preserve Existing Tree	
4365	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	13	Preserve Existing Tree	
4375	Umus americana	ELM	Quality	10	Remove (Firelane)	Exempt
4377	Umus americana	ELM	Quality	11	Remove (Building Pad)	Exempt
4395	Umus americana	ELM	Quality (outside boundary)	8	Preserve Existing Tree	
4397	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	14	Preserve Existing Tree	
6677	Umus americana	ELM	Quality (outside boundary)	12	Preserve Existing Tree	
9701	Umus americana	ELM	Quality	17	Remove (Firelane)	Exempt
9702	Umus americana	ELM	Quality	16	Remove (Firelane)	Exempt
9703	Umus americana	ELM	Quality	16	Remove (Firelane)	Exempt
9704	Umus americana	ELM	Quality	13	Preserve Existing Tree	
9705	Umus americana	ELM	Quality	14	Preserve Existing Tree	
9706	Umus americana	ELM	Quality	13	Remove (Right-of-way)	Exempt
9707	Umus americana	ELM	Quality	16	Preserve Existing Tree	
9708	Umus americana	ELM	Quality	15	Remove	15
9709	Umus americana	ELM	Quality	15	Remove (Right-of-way)	Exempt
9710	Umus americana	ELM	Quality	13	Remove (Firelane)	Exempt
9711	Umus americana	ELM	Quality	12	Remove (Firelane)	Exempt
9712	Umus americana	ELM	Quality	15	Remove	15
9713	Umus americana	ELM	Quality	9	Remove (Right-of-way)	Exempt
9714	Umus americana	ELM	Quality	10	Remove (Right-of-way)	Exempt
9715	Umus americana	ELM	Quality	14	Preserve Existing Tree	
9716	Umus americana	ELM	Quality	13	Preserve Existing Tree	
9717	Umus americana	ELM	Quality	13	Remove	13
9718	Umus americana	ELM	Quality	12	Remove (Firelane)	Exempt
9719	Umus americana	ELM	Quality	16	Remove (Firelane)	Exempt
9720	Umus americana	ELM	Quality	12	Remove (Firelane)	Exempt
9721	Umus americana	ELM	Quality	8	Remove (Firelane)	Exempt
9722	Umus americana	ELM	Quality	23	Remove (Firelane)	Exempt
9723	Umus americana	ELM	Quality	14	Remove	14
9724	Umus americana	ELM	Quality	17	Remove (Firelane)	Exempt
9725	Umus americana	ELM	Quality	15	Remove (Firelane)	Exempt
9726	Umus americana	ELM	Quality	18	Remove (Firelane)	Exempt
9727	Umus americana	ELM	Quality	14	Remove (Firelane)	Exempt
9728	Umus americana	ELM	Quality	17	Remove (Firelane)	Exempt
9729	Celtis occidentalis	HACKBERRY	Non-protected	12	Remove (Building Pad)	Exempt
9730	Celtis occidentalis	HACKBERRY	Non-protected	8	Remove (Building Pad)	Exempt
9731	Umus americana	ELM	Quality	19	Remove (Building Pad)	Exempt
9732	Celtis occidentalis	HACKBERRY	Non-protected	8	Remove (Building Pad)	Exempt
9733	Celtis occidentalis	HACKBERRY	Non-protected	16	Remove	
9734	Umus americana	ELM	Quality	7	Remove	7
9735	Celtis occidentalis	HACKBERRY	Non-protected	13	Remove (Firelane)	Exempt
9736	Prosopis glandulosa	MESQUITE	Non-protected	10	Remove (Firelane)	Exempt
9737	Umus americana	ELM	Quality	6	Remove (Firelane)	Exempt
9738	Celtis occidentalis	HACKBERRY	Non-protected	7	Remove (Firelane)	Exempt
9739	Umus americana	ELM	Quality	8	Remove (Building Pad)	Exempt
9740	Celtis occidentalis	HACKBERRY	Non-protected	13	Remove (Building Pad)	Exempt
9741	Umus americana	ELM	Quality	6	Remove (Building Pad)	Exempt
9742	Celtis occidentalis	HACKBERRY	Non-protected	10	Remove	
9743	Celtis occidentalis	HACKBERRY	Non-protected	6	Remove (Firelane)	Exempt
9744	-	MISC. TREE	Quality	8	Remove	8
9745	Celtis occidentalis	HACKBERRY	Non-protected	6	Remove (Firelane)	Exempt
9746	Celtis occidentalis	HACKBERRY	Non-protected	7	Remove (Firelane)	Exempt
9747	Umus americana	ELM	Quality	12	Remove (Firelane)	Exempt
9748	Umus americana	ELM	Quality	22	Remove (Firelane)	Exempt
9749	Umus americana	ELM	Quality	13	Remove (Building Pad)	Exempt
9750	Celtis occidentalis	HACKBERRY	Non-protected	8	Remove (Building Pad)	Exempt
9751	Umus americana	ELM	Quality	6	Remove (Building Pad)	Exempt
9752	Umus americana	ELM	Quality	9	Remove (Building Pad)	Exempt
9753	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	23	Preserve Existing Tree	
Total Inches Removed (Quality Trees Only):						85

*Quality tree removed within parking area (20% remaining quality trees)

TOTAL 85 QUALITY TREE CALIPER INCHES REMOVED

22 - 4" CALIPER TREES PLANTED ONSITE TO MEET MITIGATION

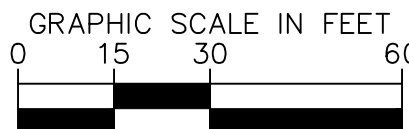
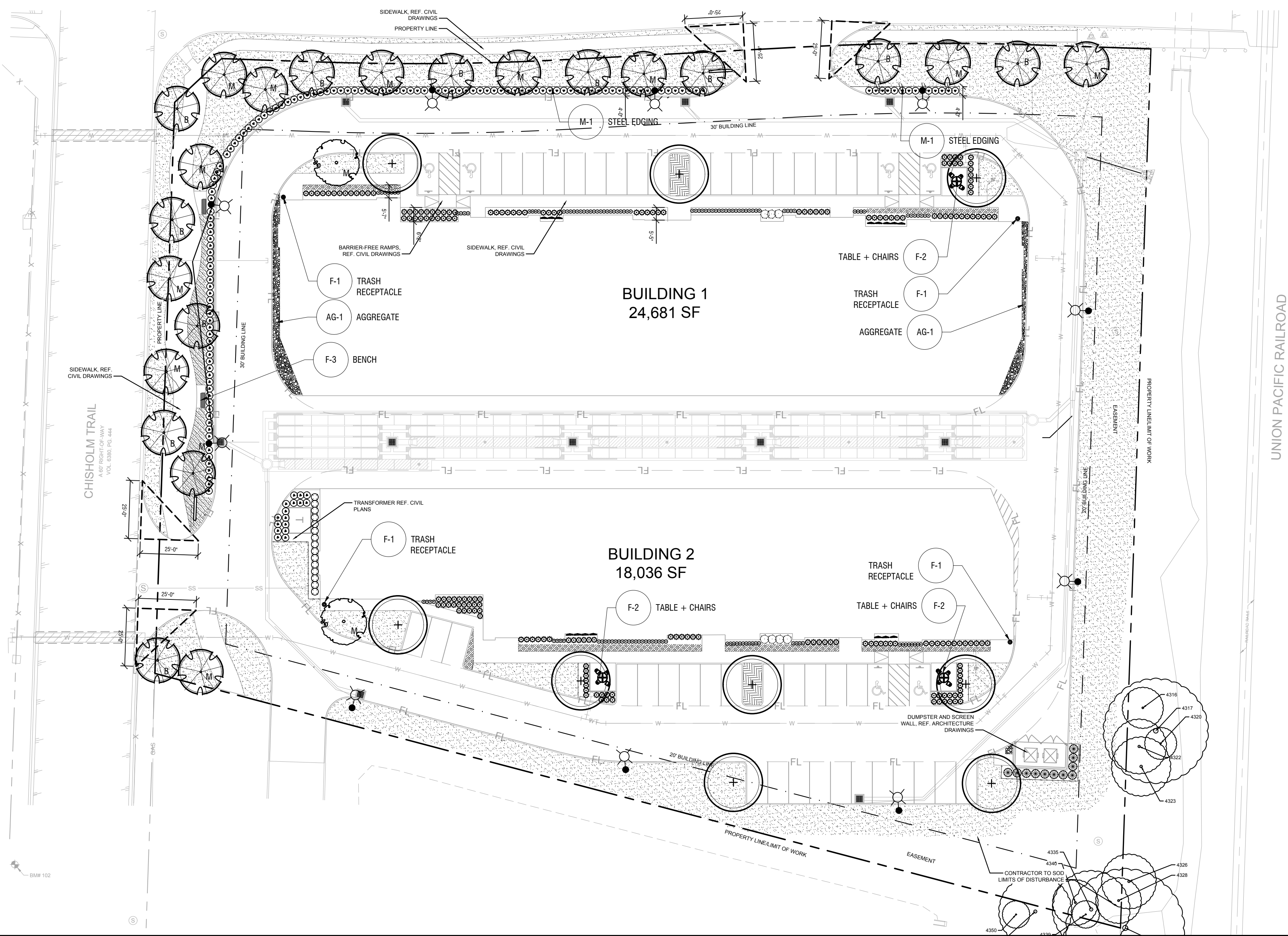
CITY OF KELLER
LANDSCAPE CODE CALCULATIONS:

LEGEND:

- | KELLER FLEXDEV
City of Keller
Code Calculations Chart | | |
|--|---|-----------------------|
| 150 Bear Creek Parkway | | |
| Site Data | AC | SF |
| Total Site Area | 3.09 | 134,635 |
| Parking Spaces Provided | 51 | |
| Total Trees | 34 | |
| Total Mitigation Required (43 Caliper Inches) | 11 - 4" Caliper Trees Replaced Onsite (54 Inches) | |
| Open Space | Required | Provided |
| 15% Open Space | | 8,386 SF Trail System |
| 134,635 x 15% = 20,195 SF | 20,195 SF | 12,472 SF Open Area |
| Landscape Buffer | Required | Provided |
| 30' min. landscape buffer adjacent to residential uses or zoning | YES | YES |
| 15' min. landscape buffer adjacent to all other public streets | YES | YES |
| 10' min. landscape buffer adjacent to side and rear property lines when adjacent to non-residential uses or zoning | YES | YES |
| Minimum three inch (3") caliper canopy trees spaced based on projected mature tree canopy widths in a straight line near the center of all other required buffers (60 max spacing) | YES | YES |
| <u>Bear Creek Parkway</u> (392.2 LF not including drive and triangle of visibility) | 7 | 7 |
| <u>Chisum Trail</u> (218.68 LF not including drive and triangle of visibility)
218.68 LF / 60 FT = 4 Trees | 4 | 4 |
| <i>*Existing trees of equal or greater size located within a required buffer may be counted toward the buffer tree requirement</i> | | |
| Parking Lot Landscaping | Required | Provided |
| Parking lots shall be 100% screened with shrubs or berms adjacent to all public streets | YES | YES |
| 1 Large tree / Island (size of one parking space) | 9 | 9 |
| 2 Large trees / Island (size of two parking space) | - | - |
| 15% min. of all parking lots shall be landscaped
8,435 Total SF x 15% = 1,265 SF | 1,265 SF | 2,204 SF |

TYPE: METRO 40 REST
MATERIAL: CAST ALUMINUM
BACKED W/O ARMS
COLOR: TBD
INSTALL: SURFACE MOUNTED
SUPPLIER: LANDSCAPE FORMS, OR APPROVED EQUAL
CONTACT: NICOLE TREESE (269.276.4577)
APPROVAL: CUT SHEET

Bermuda Grass / <i>Cynodon dactylon</i>	sod	25,175 sf	SOD TO HAVE TIGHT, SAND FILLED JOINTS AND BE FREE OF WEEDS
---	-----	-----------	--



LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
260 DAVIS STREET, SUITE 100
MCKINNEY, TEXAS 75069
TELEPHONE: (469) 301-2580
TBPE NO. F-928
CONTACT: ANNE HARMAN, PLA, LI

260 DAVIS ST #100, MCKINNEY, TX 75069
PHONE: (469) 301-2580 FAX:
WWW.KIMLEY-HORN.COM TX F-928
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KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	AEAD	DRAWN BY	AEAD	CHECKED BY	AMH
060015803	APRIL 2025								

FLETD WAREHOUSE -
KELLER
PREPARED FOR
CARDINAL RESIDENTIAL
KELLER

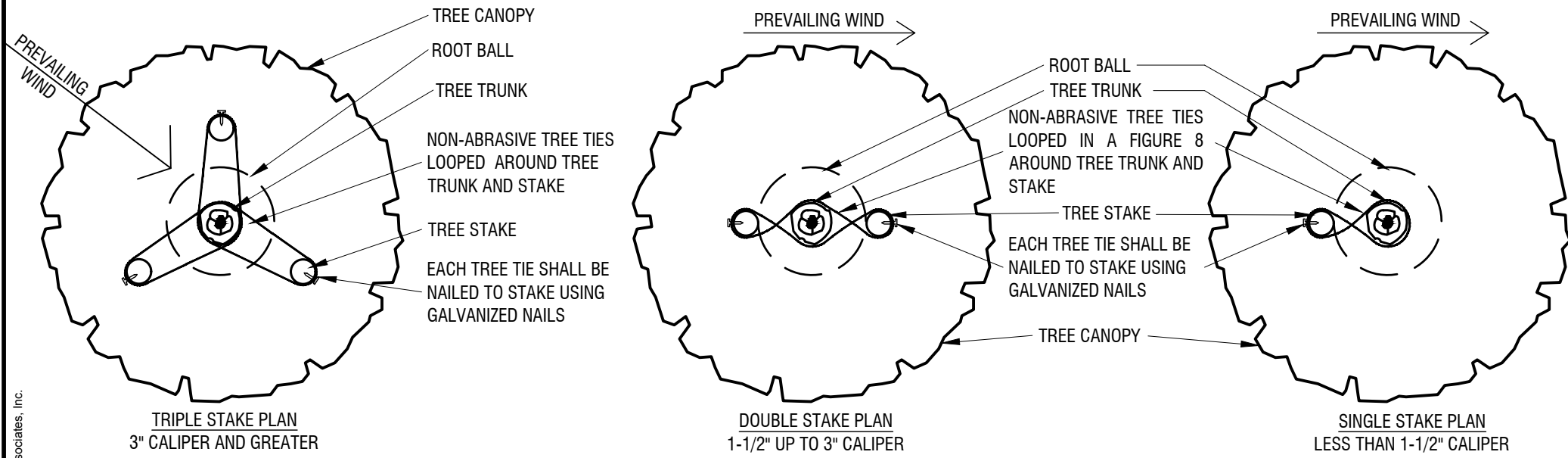
LANDSCAPE PLAN
(150 BEAR CREEK)

SHEET NUMBER
L2.01

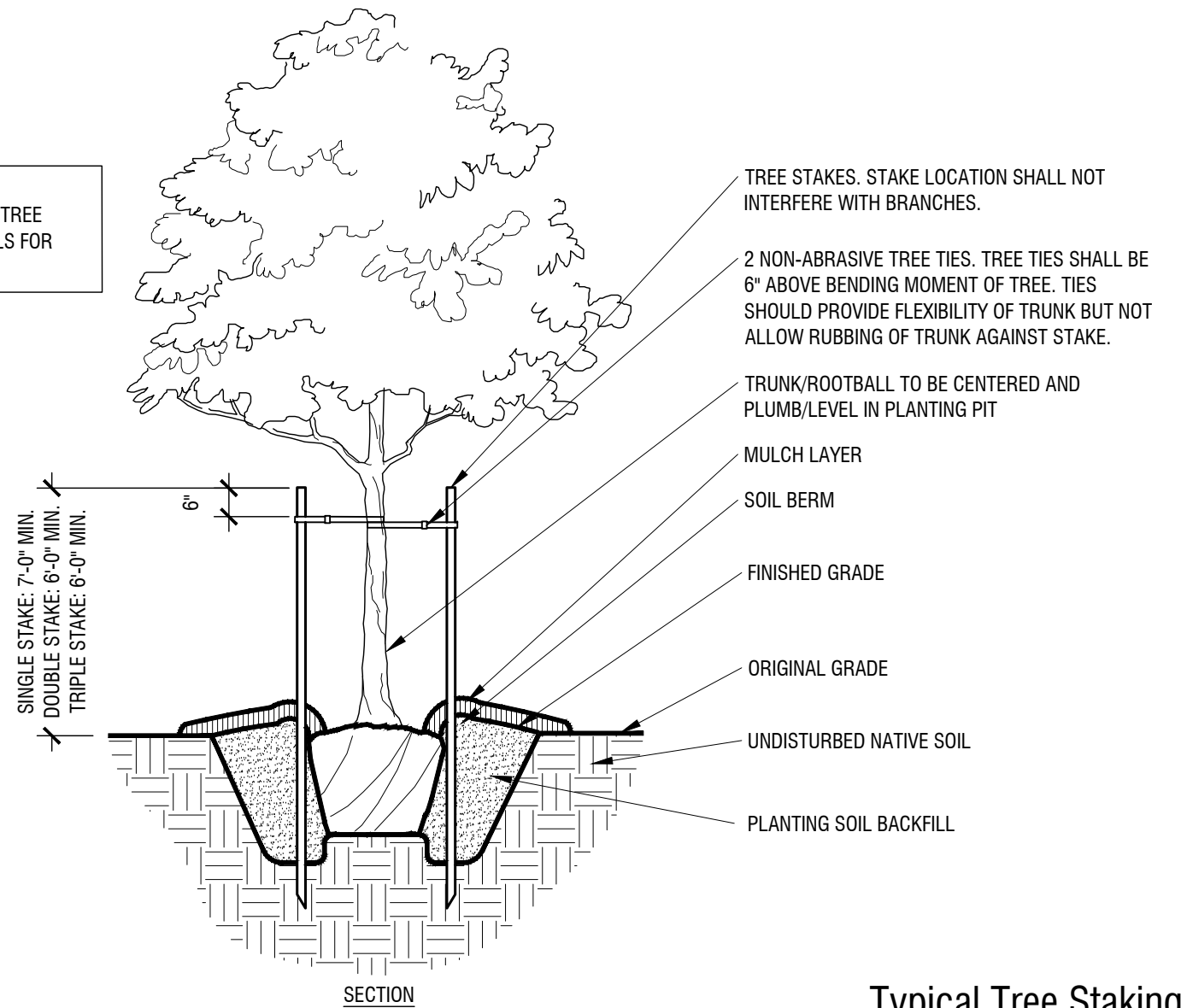
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JANE
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1/28 - Detail line provided
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This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared and shall be without liability to Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



NOTES:
1. THIS DETAIL IS FOR ABOVE GRADE TREE STAKING ONLY. REF. OTHER DETAILS FOR TYPICAL TREE PLANTING.

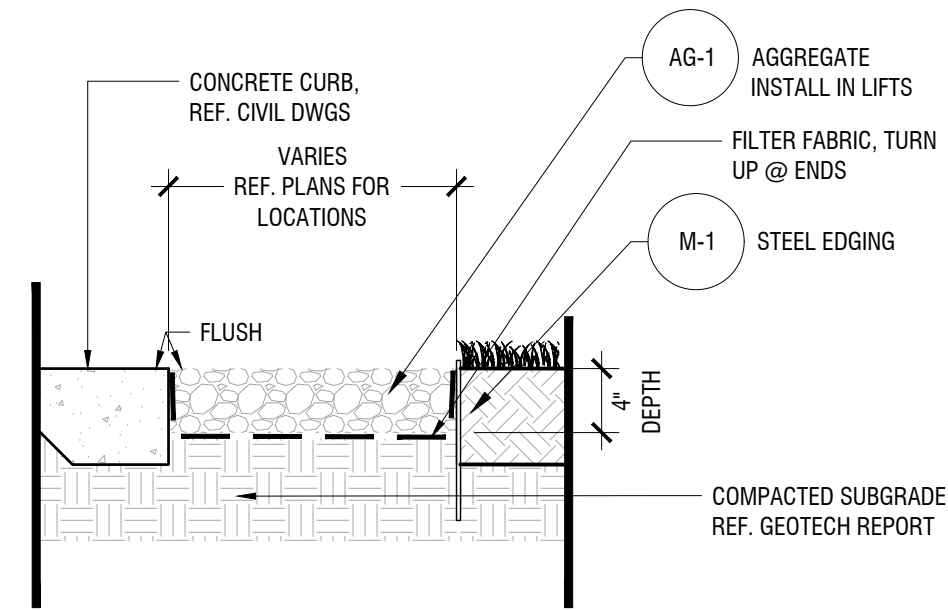


Typical Tree Staking

Scale: NTS

J

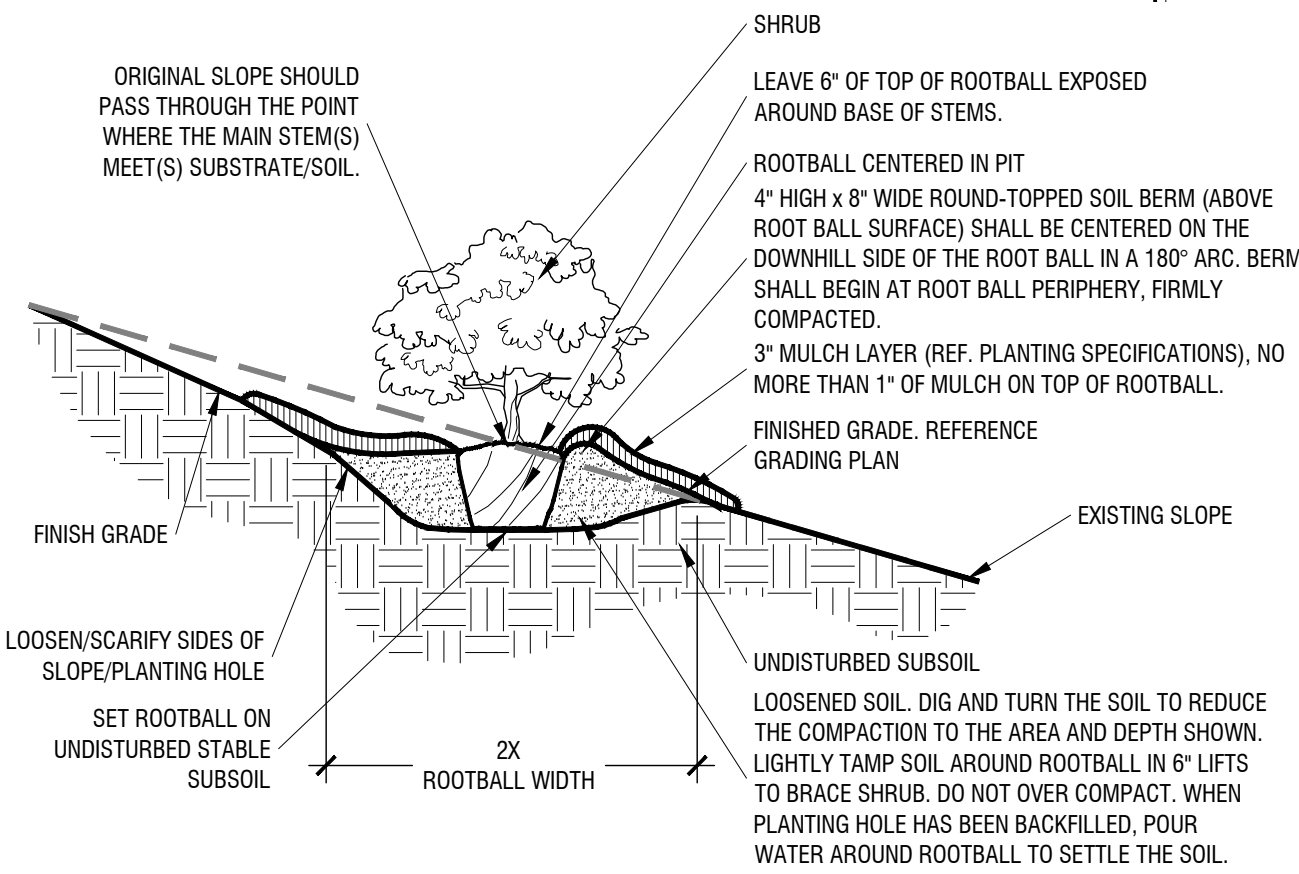
NOTES:
1. AGGREGATE MUST BE UNIFORM IN COLOR AND IN TEXTURE. REFERENCE PLANS FOR TYPES LOCATIONS.



Aggregate

Scale: 1" = 1'-0"

H

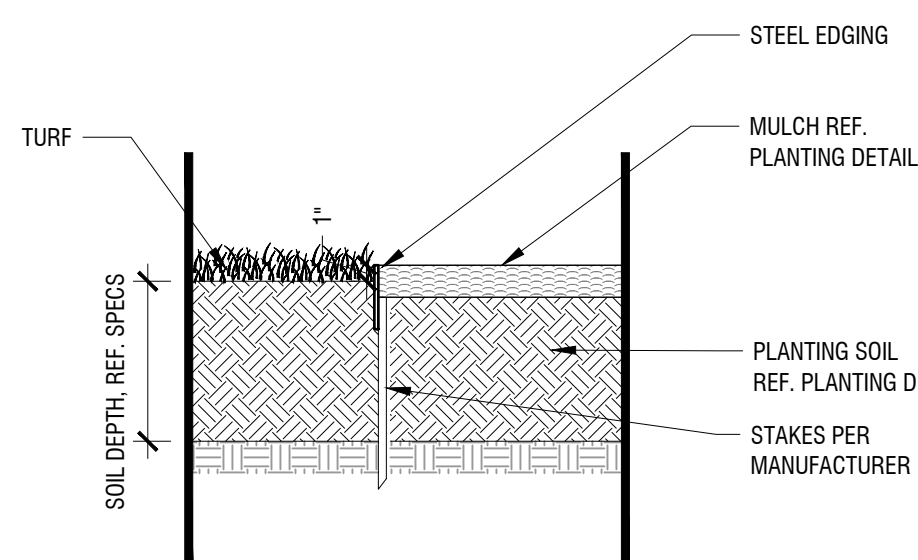


Shrub Planting On 5-50% (20:1 TO 2:1) Slope

Scale: NTS

G

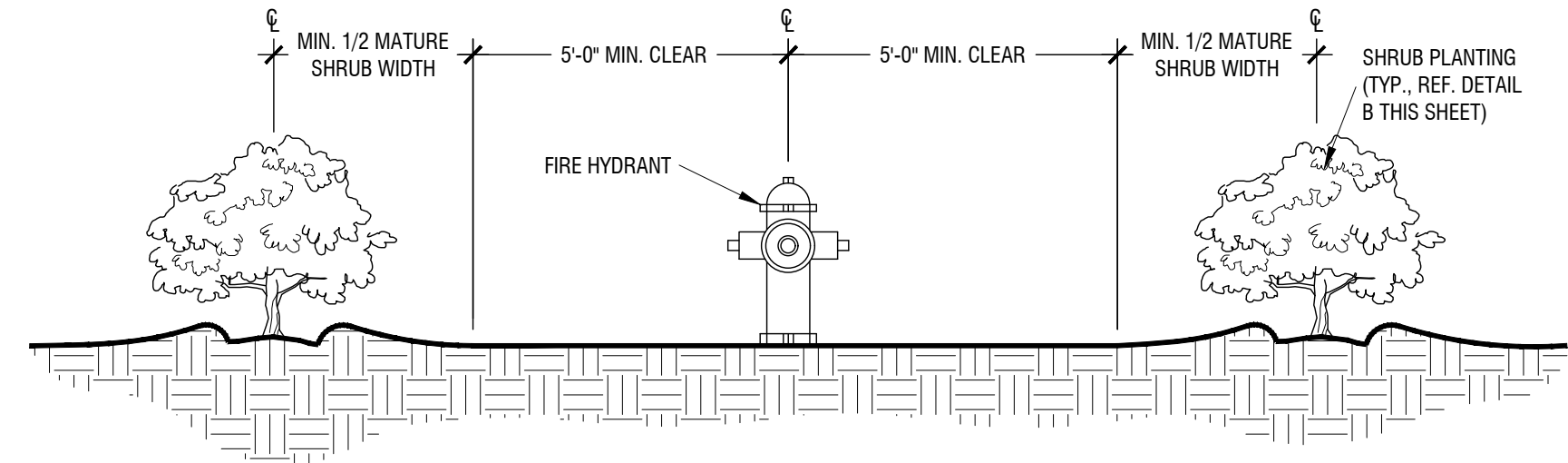
NOTES:
1. EDGING AND STAKES TO BE POWDERCOATED BLACK.
2. EDGING SIZE PER PLAN(S).
3. EDGING FABRICATED IN 10" 0" OR 16" 0" SECTIONS WITH ANCHOR STAKE LOOPS STAMPED IN FACE OF SECTION 32" ON CENTER.
4. USE 15" TAPERED STEEL ANCHORING STAKES (3/16" THICK) PROVIDED BY MANUFACTURER.



Steel Edge

Scale: 1" = 1'-0"

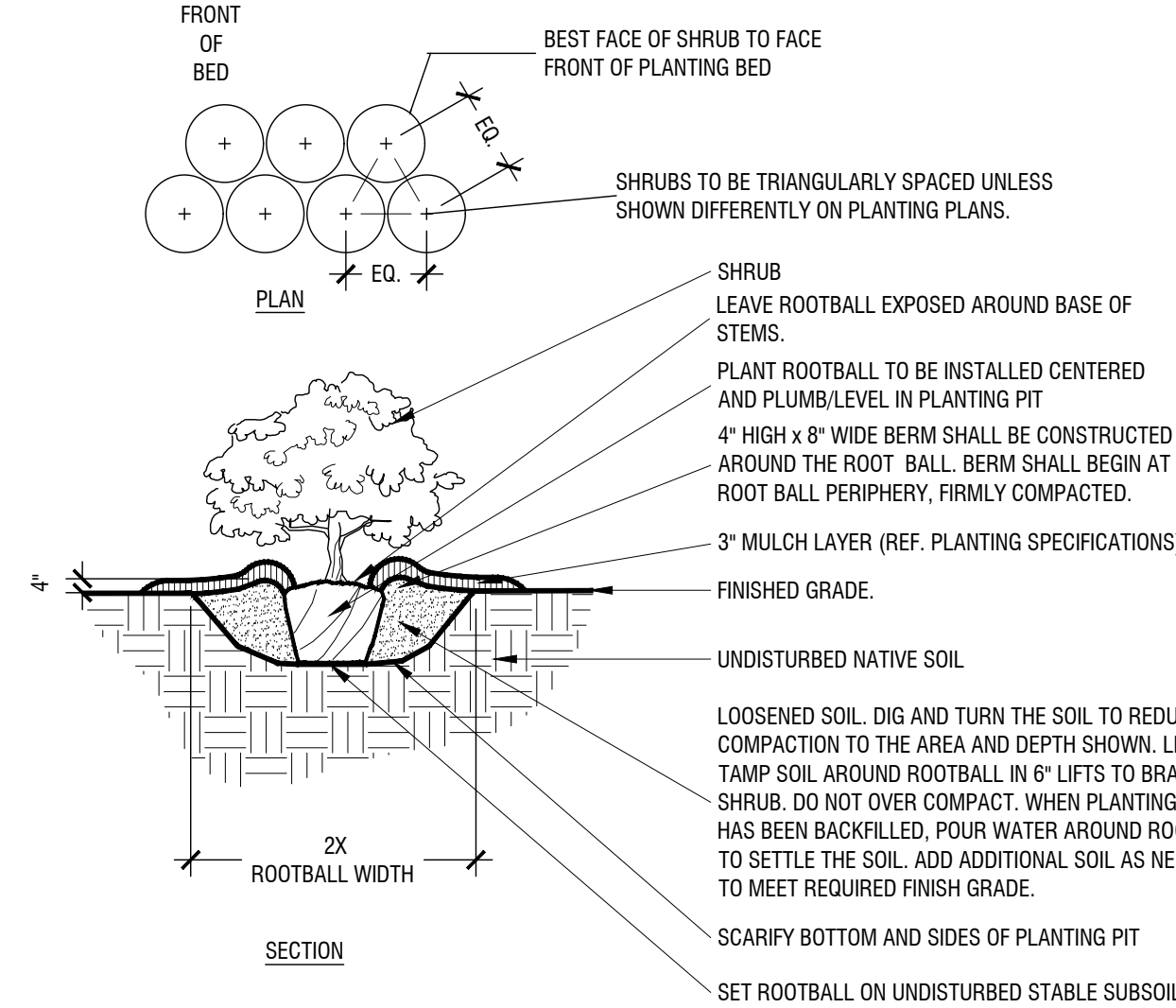
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Shrub Planting at Fire Hydrant

Scale: NTS

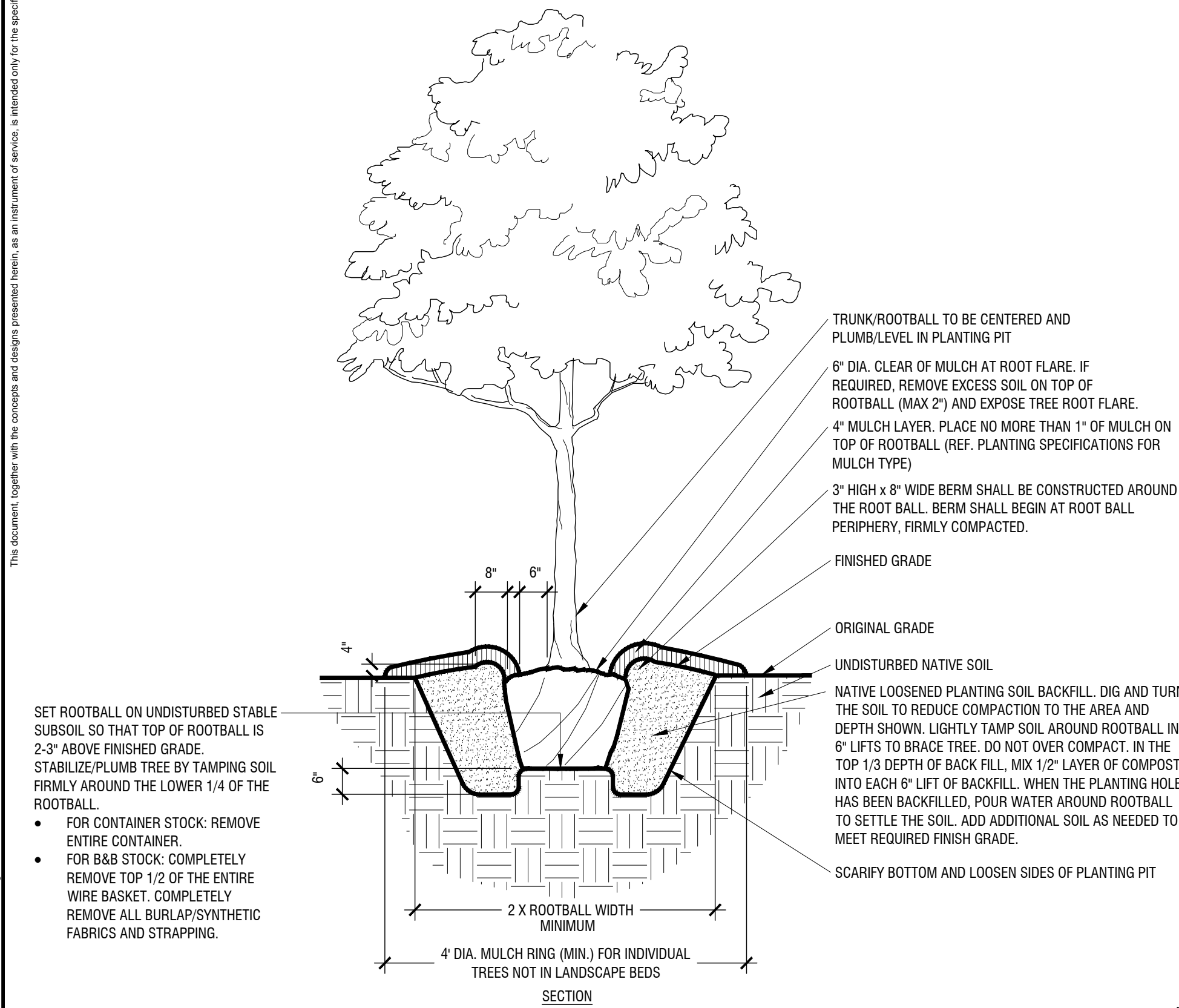
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Typical Shrub Planting

Scale: NTS

B



Typical Tree Planting

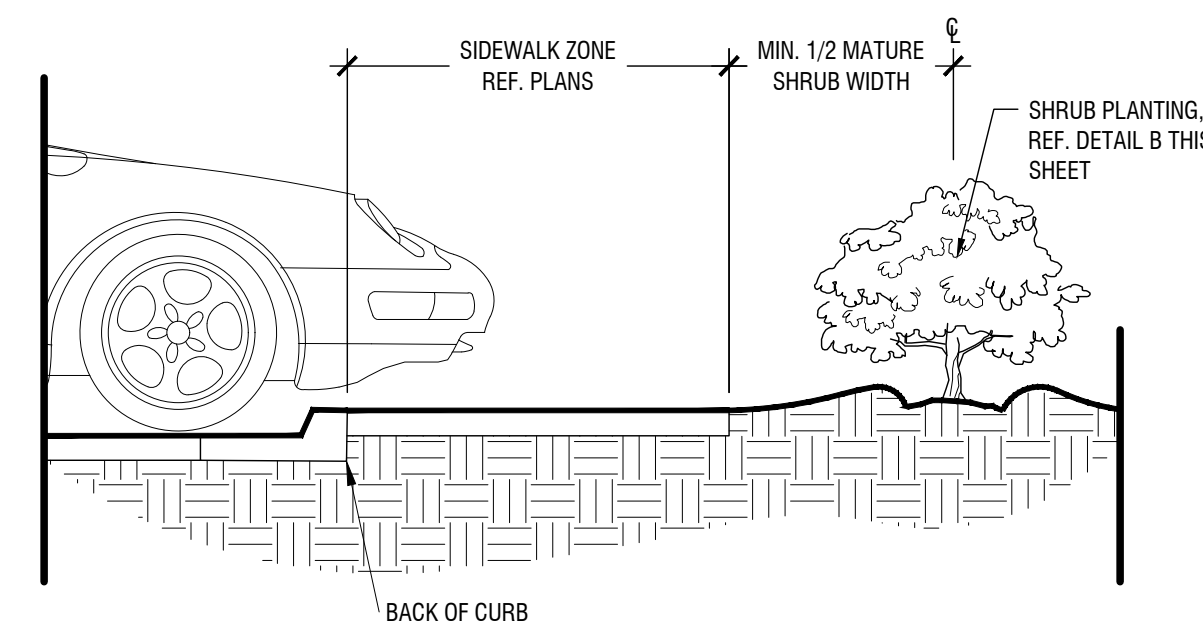
Scale: NTS

I

Shrub Planting at Curb

Scale: NTS

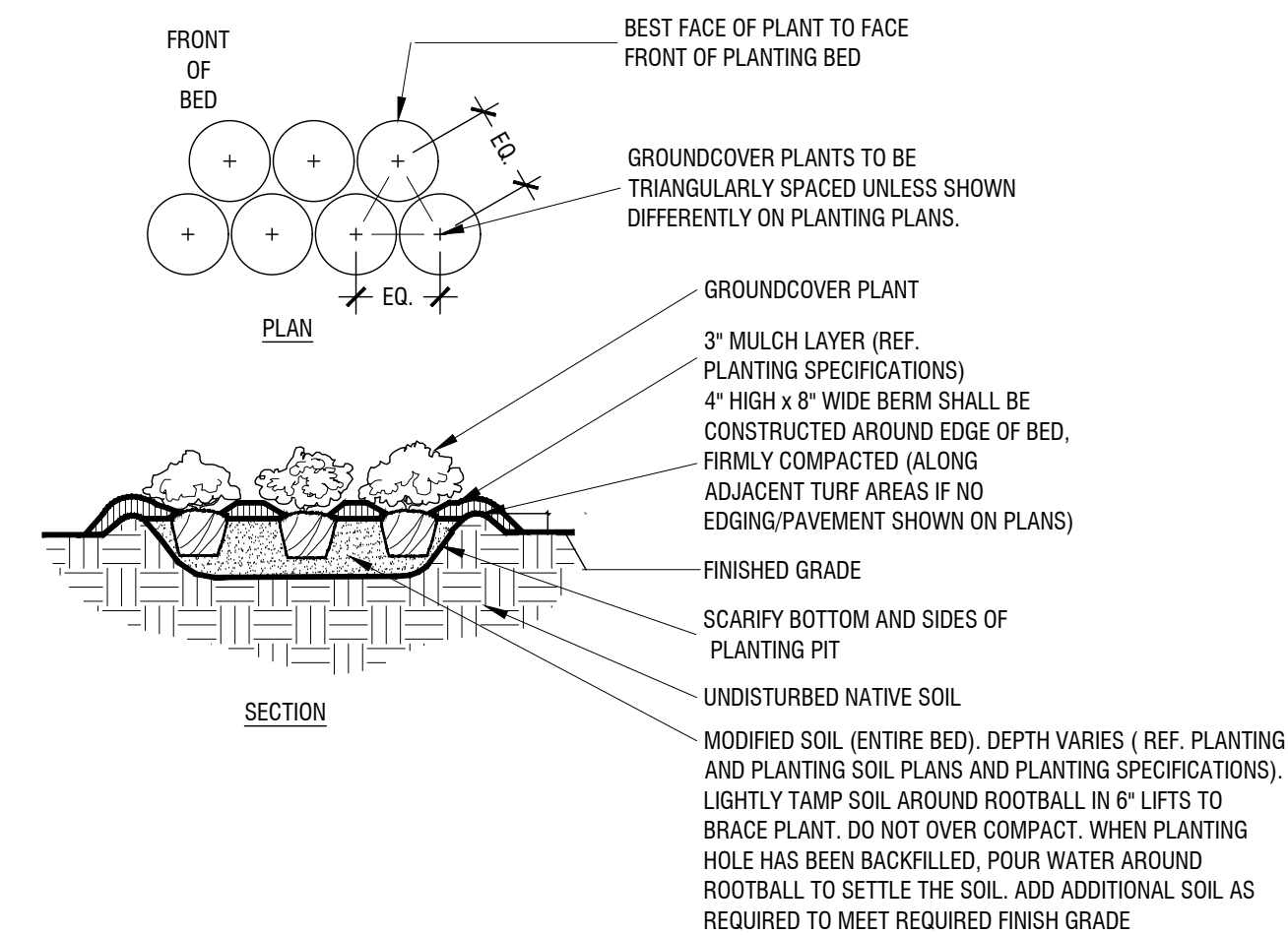
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Shrub Planting at Sidewalk

Scale: NTS

D

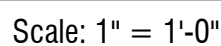
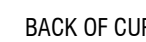
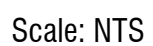
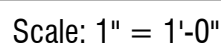
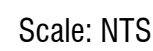
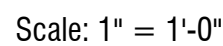
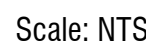
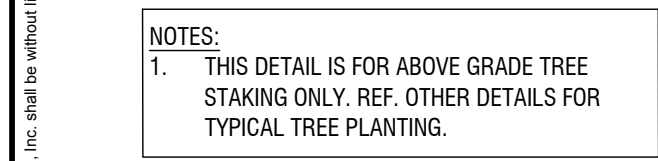


Typical Groundcover Planting

Scale: NTS

A

KHA PROJECT 060015803				DATE APRIL 2025	SCALE AS SHOWN	DESIGNED BY AEA	DRAWN BY AEA	CHECKED BY AMH	TEXAS		
FLEXD WAREHOUSE - KELLER PREPARED FOR CARDINAL RESIDENTIAL										KELLER	
LANDSCAPE DETAILS (150 BEAR CREEK)										SHEET NUMBER L3.01	
Kimley»Horn 260 DAVIS ST #100, MCKINNEY, TX 75069 PHONE: (469) 301-2580 FAX: WWW.KIMLEY-HORN.COM TX F-928 © 2025 KIMLEY-HORN AND ASSOCIATES, INC.										REVISIONS No.	
										DATE	



Kimley»»Horn
260 DAVIS ST #100, MCKINNEY, TX 75069
PHONE: (469) 301-2590 FAX:
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KHA PROJECT 060015803	DATE APRIL 2025	SCALE AS SHOWN	DESIGNED BY AEA	DRAWN BY AEA	CHECKED BY AMH
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**FLEXD WAREHOUSE -
KELLER**
PREPARED FOR
CARDINAL RESIDENTIAL

LANDSCAPE DETAILS

(777 CHISOLM)

SHEET NUMBER

L3.03

Scale: NTS

LANDSCAPE DETAILS
(777 CHISOLM)

SHEET NUMBER
L3.04

<u>SYMBOL</u>	<u>MANUFACTURER/MODEL/DESCRIPTION</u>	<u>QTY</u>
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THIS IRRIGATION PLAN IS DESIGNED TO THE FOLLOWING STANDS: 100 PSI AND 37.5 GPM. IF WATER PRESSURE DOES NOT MEET DESIGN SPECIFICATIONS A BOOSTER PUMP WILL BE REQUIRED AT COST OF CONTRACTOR. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO BOTALLATION IF SYSTEM HAS ± 5 PSI THAN DESIGN PRESSURE.

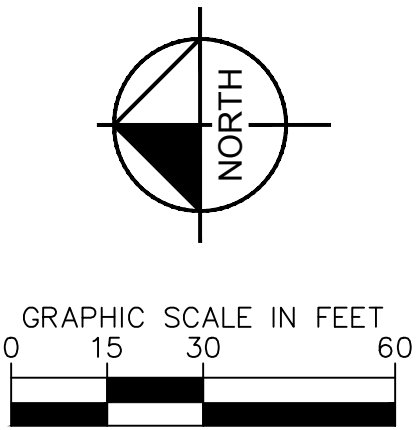
QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR TO CONFIRM ALL QUANTITIES PRIOR TO BIDDING.

REFERENCE MAXIMUM LATERAL DRIPLINE CHART TO DETERMINE MINIMUM NUMBER OF POINTS OF CONNECTION PER DRIP LINE ZONE.

WHERE LAYOUT FLEXIBILITY EXISTS CENTER FEED LAYOUTS MUST BE USED. THIS ALLOWS FOR EVEN FLOW OF WATER THROUGH THE ZONE.

ECONOMIZER TO BE PLACED IN ALL DRIP AREAS AT THE FURTHEST POINT OF EACH DRIP RUN.

ZONES LOWER THAN THE CAPACITY OF THE FLOW SENSOR ARE TO BE WIRED IN THE CONTROLLER WITH ANOTHER ZONE SO THAT THE FLOW SENSOR BEARS BOTH ZONES AS ONE. IN ORDER TO MEET THE FLOW SENSOR'S LOWEST GPM REQUIREMENT, DRIP ZONES REQUIRED TO REMAIN PIPED AS SEPARATE ZONES.





A

A. EXTENT:

- D. WORKMANSHIP:

- ### E. INSTALLATION:

- F. CLEAN-UP:

END SECTION

Kimley»Horn

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FLEXD WAREHOUSE -
KELLER
PREPARED FOR
CARDINAL RESIDENTIAL

IRRIGATION SCHEDULE AND NOTES

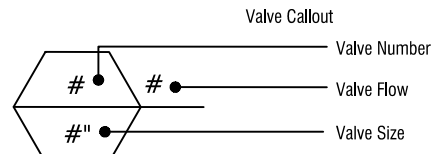
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SYMBOL

FS

_____	Irrigation Lateral Line: PVC Class 200 SDR 21 3/4" min.	5,556 ft
_____	Irrigation Mainline: PVC Class 200 SDR 21 1" min.	2,478 ft
=====	Pipe Sleeves: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve shall allow for irrigation piping and their related couplings to easily slide through sleeveing material. Extend sleeves 18 inches beyond edges of paving or construction.	1,357 ft



THIS IRRIGATION PLAN IS DESIGNED TO THE FOLLOWING STATS: 100 PSI AND 70.5 GPM. IF WATER PRESSURE DOES NOT MEET DESIGN SPECIFICATIONS A BOOSTER PUMP WILL BE REQUIRED AT COST OF CONTRACTOR. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION IF SYSTEM HAS \pm 5 PSI THAN DESIGN PRESSURE.

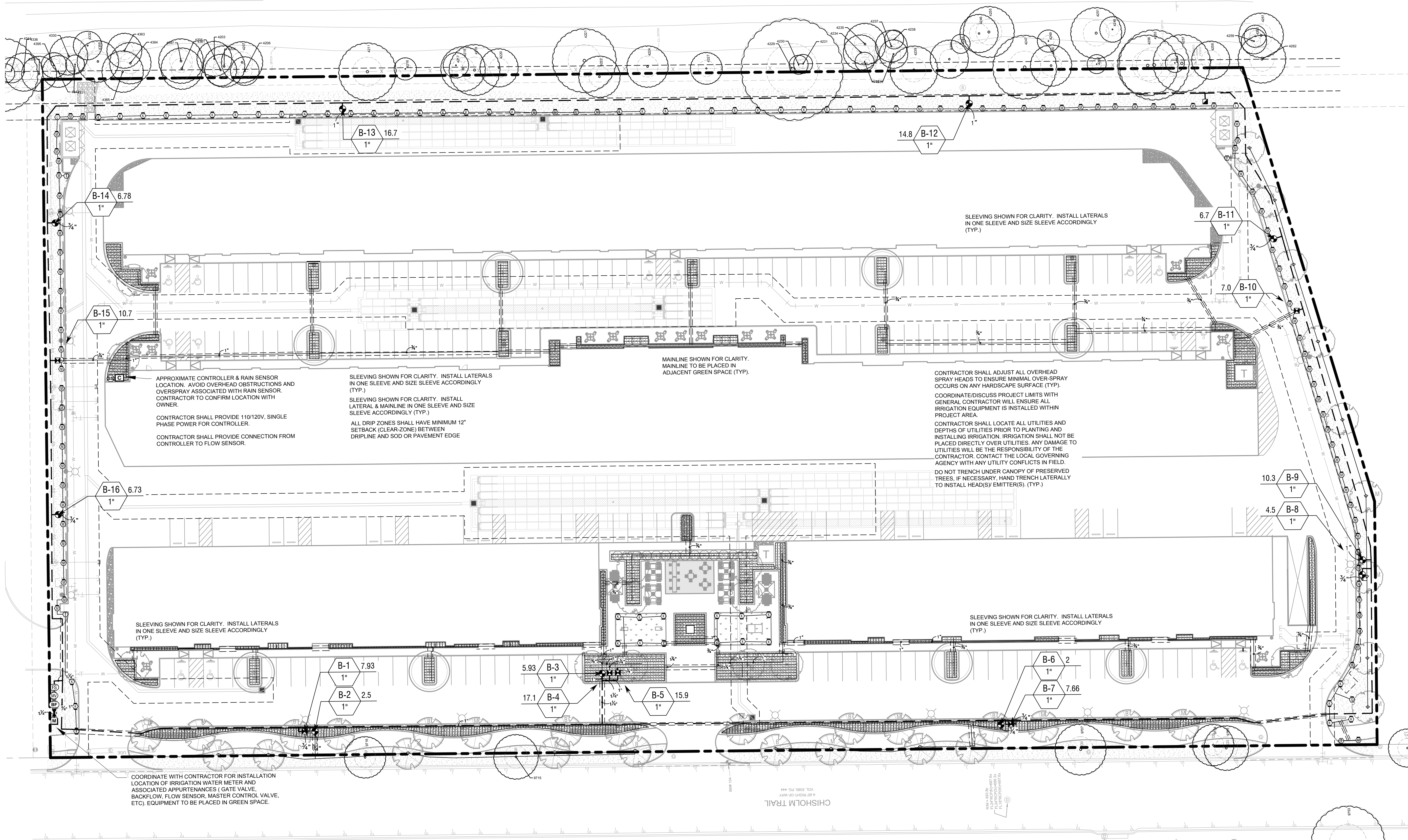
QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR TO CONFIRM ALL QUANTITIES PRIOR TO BIDDING.

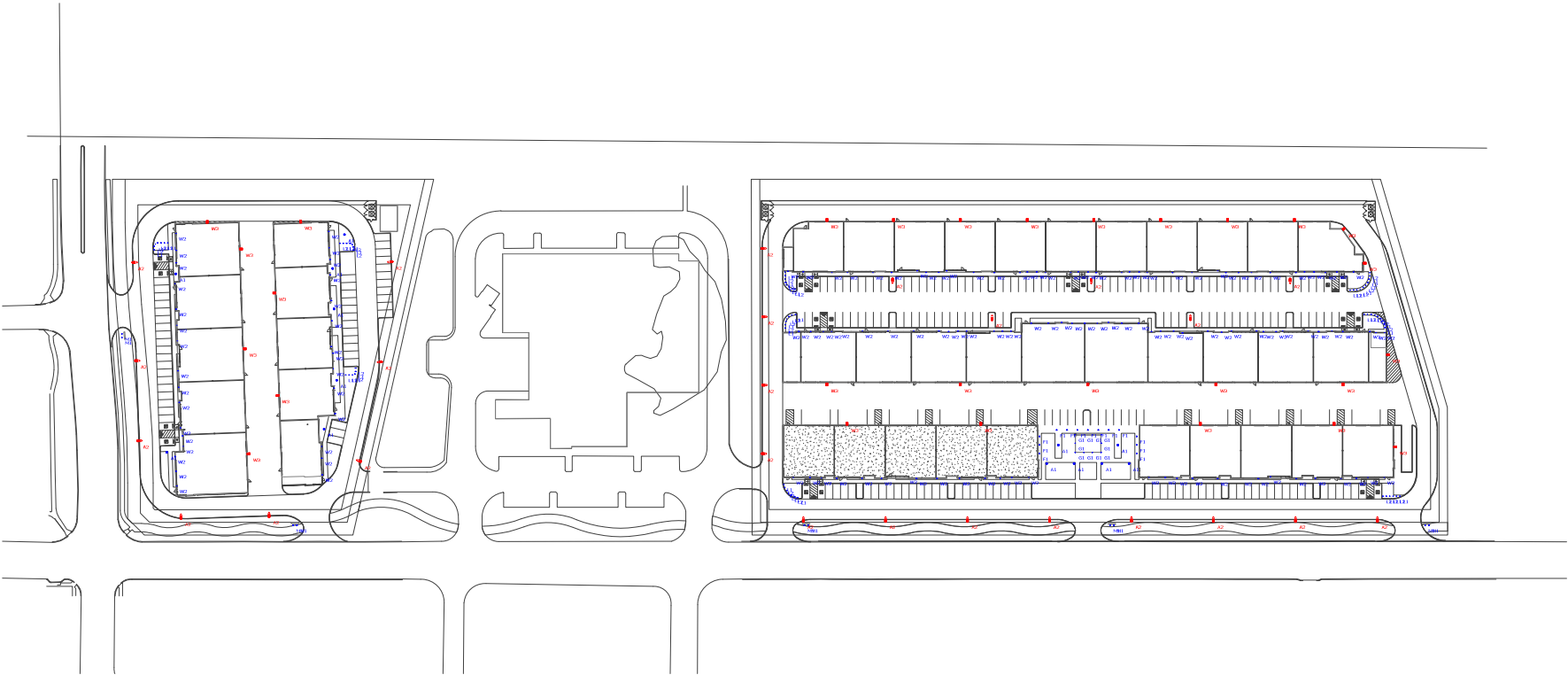
REFERENCE MAXIMUM LATERAL DRIPLINE CHART TO DETERMINE MINIMUM NUMBER OF POINTS OF CONNECTION PER DRIP LINE ZONE.

WHERE LATERAL FLEXIBILITY EXISTS CENTER FEED LAYOUTS MUST BE USED. THIS ALLOWS FOR EVEN FLOW OF WATER THROUGH THE ZONE.

ECONOMIZER TO BE PLACED IN ALL DRIP AREAS AT THE FURTHEST POINT OF EACH DRIP RUN.

ZONES LOWER THAN THE CAPACITY OF THE FLOW SENSOR ARE TO BE WIRED IN THE CONTROLLER WITH ANOTHER ZONE SO THAT THE CAPACITY OF SENSOR IS MET BOTH ZONAL AND SYSTEM ORDER TO MEET THE FLOW SENSOR'S LOWEST GPM REQUIREMENT. DRIP ZONES REQUIRED TO REMAIN PIPED AS SEPARATE ZONES.





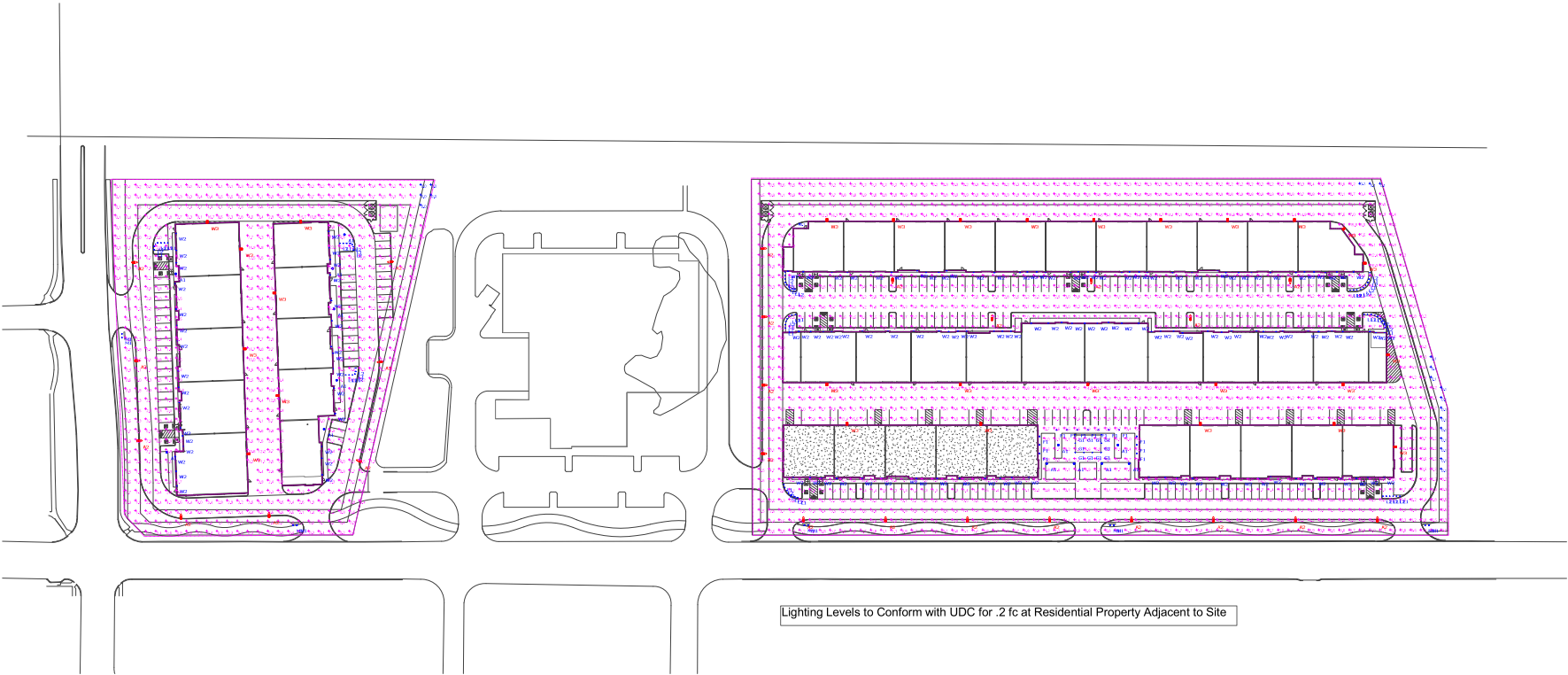
Lighting Fixture Schedule					
Label	Quantity	Manufacturer	Catalog Number	Description	Wattage
A1	13	Lithonia Lighting	RADPT P4 30K SYM RSS 14 4B PT DDBXD	RADEAN Post-Top with P4 3000K Symmetric distribution w/ 14" round pole	85.6782
A2	25	Solais	GL1-16H-2RM-740-STD	GridLite 1, 16H Lumen Package, 130 Watts, Type II Roadway Distribution, 70CRI 4000K	130.7651
F1	13	OLL	OLFLS-20-UNVL-30-5X5-AK-BL-UV	LED Floodlight - 20W - 3000k - black finish	20
G1	10	PIL	073073	CRICKET+ 10 6W- 3000k - C/M IRON GREY	6
L1	35	Westgate	WL-181-BK	5W LED Well Light / Landscape - black finish	5
L2	32	Westgate	AD-003-BK	5W LED Spot/ Landscape - black finish	5
M1	10	Ecosense Lighting	F0801RMO30890S	Monument Sign Lighter LED - 3000k	15
W2	138	Westgate	WMCS-UDL-MCT-BK-DT	Exterior Up/Down wall sconce - 3000k - Graphite finish	24
W3	28	Solais	GL1-16H-2RM-740-STD-Wallmount	GridLite 1, Wall Mount - 16H Lumen Package, 130 Watts, Type II Roadway Distribution, 70CRI 4000K	130.7651

General Notes:
1. All dimensions are furnished by Vila Lighting Inc. 800-546-7461, 905-881-9889.
2. The Owner, General Contractor, and/or electrical contractor shall be responsible for reviewing, approving, installing, and testing all fixtures.
3. Fixtures installed previously shall report any damaged light fixtures or missing parts to Vila Lighting Inc. within 48 hours of receipt of light fixture package.
4. Lighting fixture location is based on current information provided at the time of request. Any change in existing layout, including building, site additions, strip signs, and existing conditions that affect any of the previously mentioned will void the manufacturer's and Vila's design liability and installation.

Bear Creek Business Park

Designer:
Vila Lighting
Date:
03/06/2025
Scale:
Not to Scale
Drawing No.:

Summary



Statistics				
Description	Symbol	Avg	Max	Min
777 CHISLOM - buildings	+	3.5 fc	84.5 fc	0.1 fc
150 BEAR CREEK - buildings	+	3.1 fc	23.2 fc	0.0 fc

General Notes
1. All lighting fixtures shall be installed by Vila Lighting Inc. or its authorized contractor. Vila Lighting Inc. shall be responsible for reviewing, designing, installing, and maintaining the lighting system.
2. All lighting fixtures shall be installed in accordance with the UDC and the manufacturer's instructions.
3. All lighting fixtures shall be installed in accordance with the UDC and the manufacturer's instructions.
4. All lighting fixtures shall be installed in accordance with the UDC and the manufacturer's instructions.
5. All lighting fixtures shall be installed in accordance with the UDC and the manufacturer's instructions.

Bear Creek Business Park

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