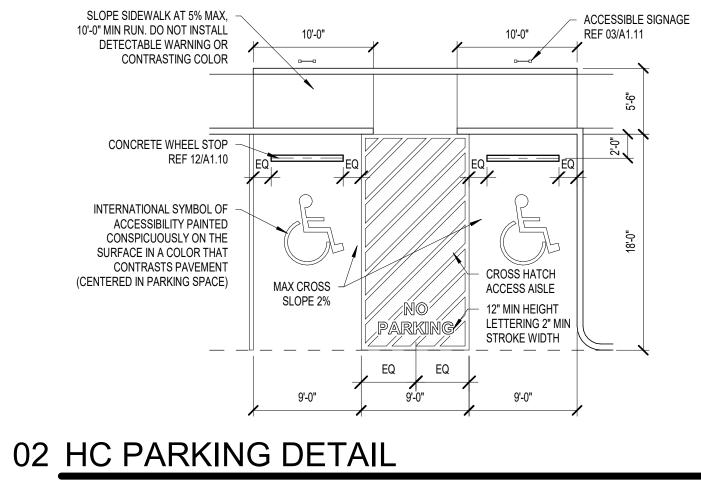
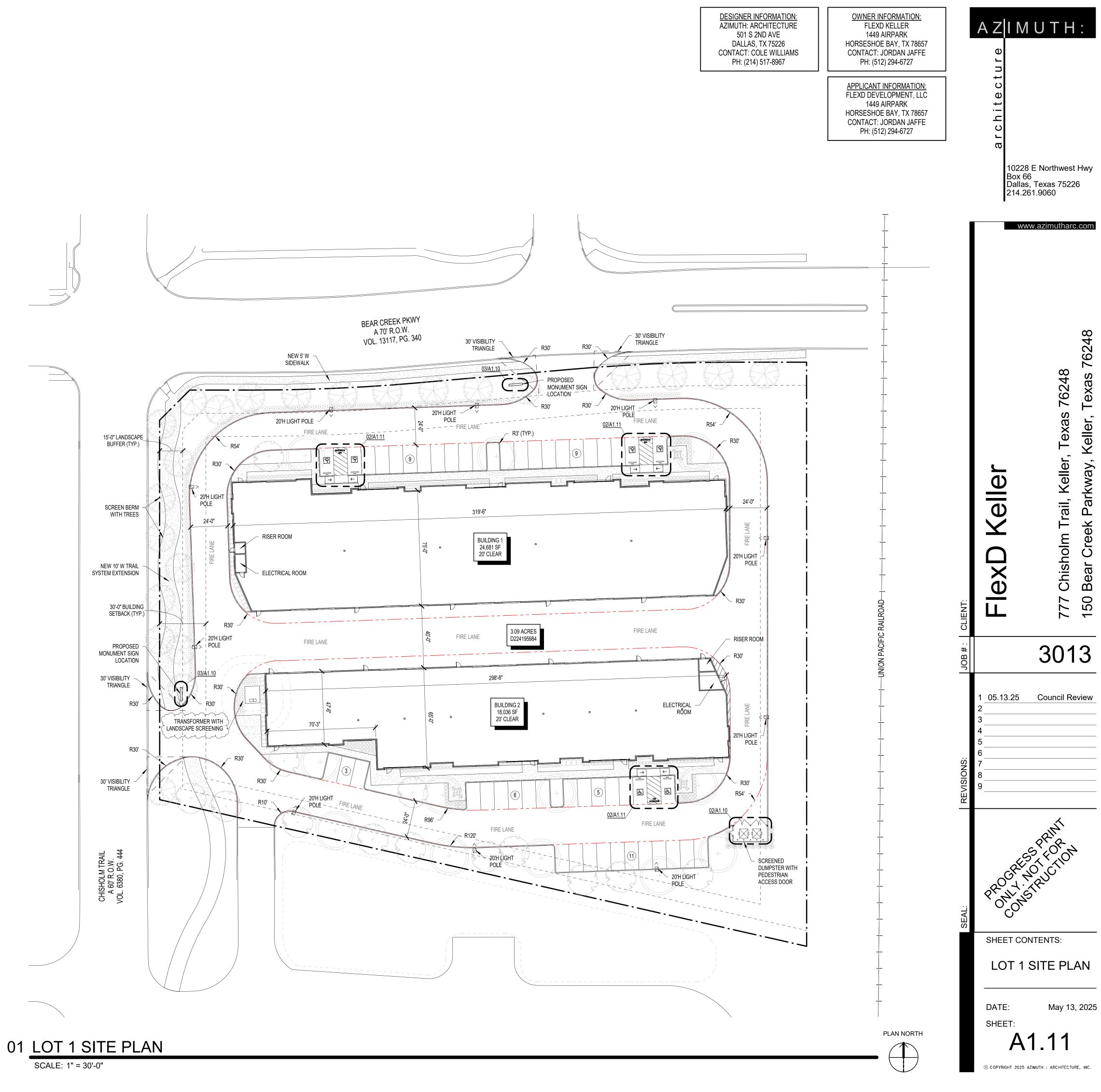
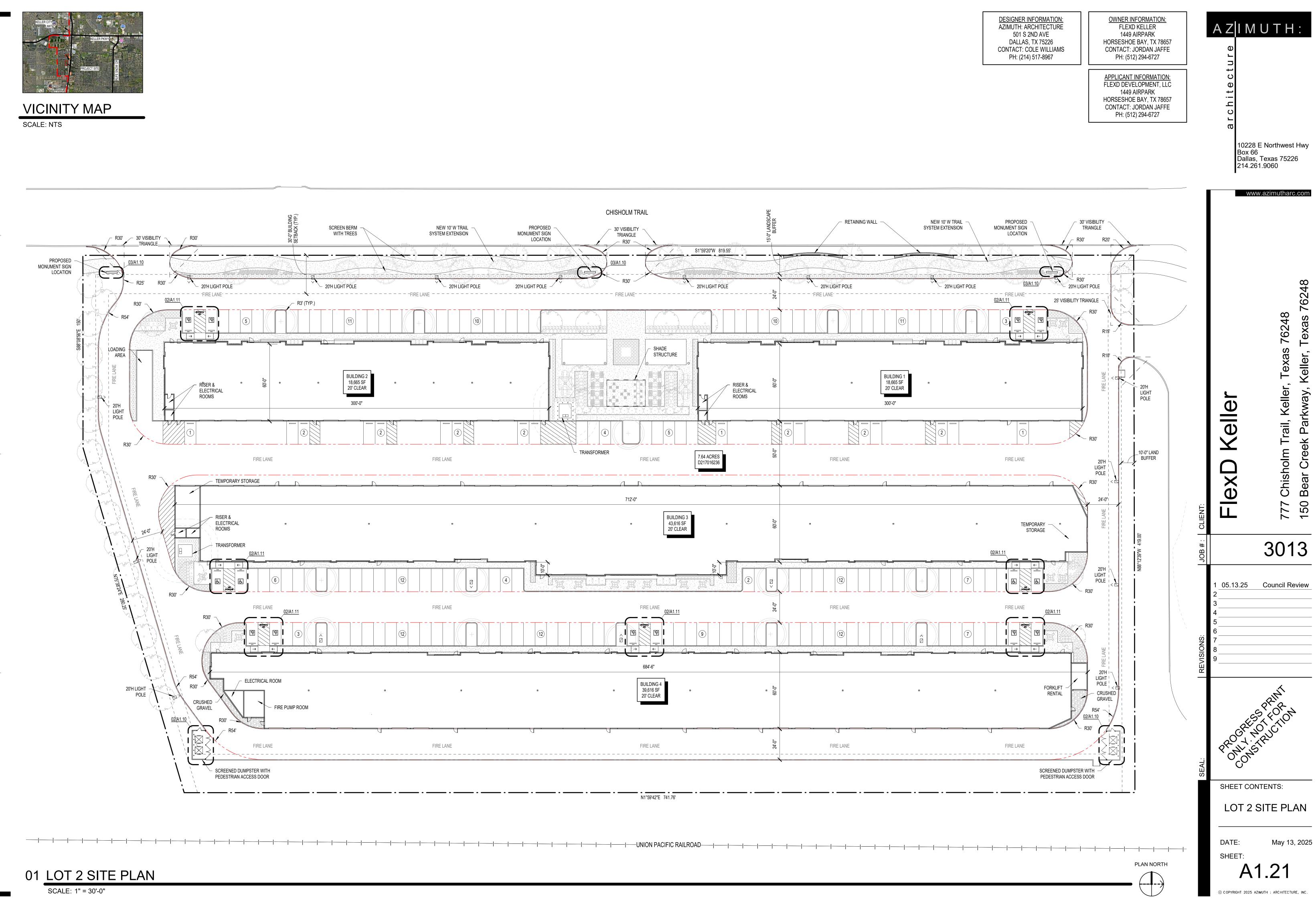


03 ACCESSIBLE SIGNAGE SCALE: 3/4" = 1'-0"











VICINITY MAP

SCALE: NTS



OPEN AREA CALCULATIONS:

OPEN AREA: 24,463 SF

LOT SQUARE FOOTAGE: 134,634

24,463 / 134,634 = .182

18.2% OPEN AREA

DESIGNER INFORMATION: AZIMUTH: ARCHITECTURE 501 S 2ND AVE DALLAS, TX 75226 CONTACT: COLE WILLIAMS PH: (214) 517-8967

OWNER INFORMATION: FLEXD KELLER 1449 AIRPARK HORSESHOE BAY, TX 78657 CONTACT: JORDAN JAFFE PH: (512) 294-6727

APPLICANT INFORMATION: FLEXD DEVELOPMENT, LLC 1449 AIRPARK HORSESHOE BAY, TX 78657 CONTACT: JORDAN JAFFE PH: (512) 294-6727



SHEET CONTENTS:

DATE:

SHEET:

LOT 1 OPEN AREA

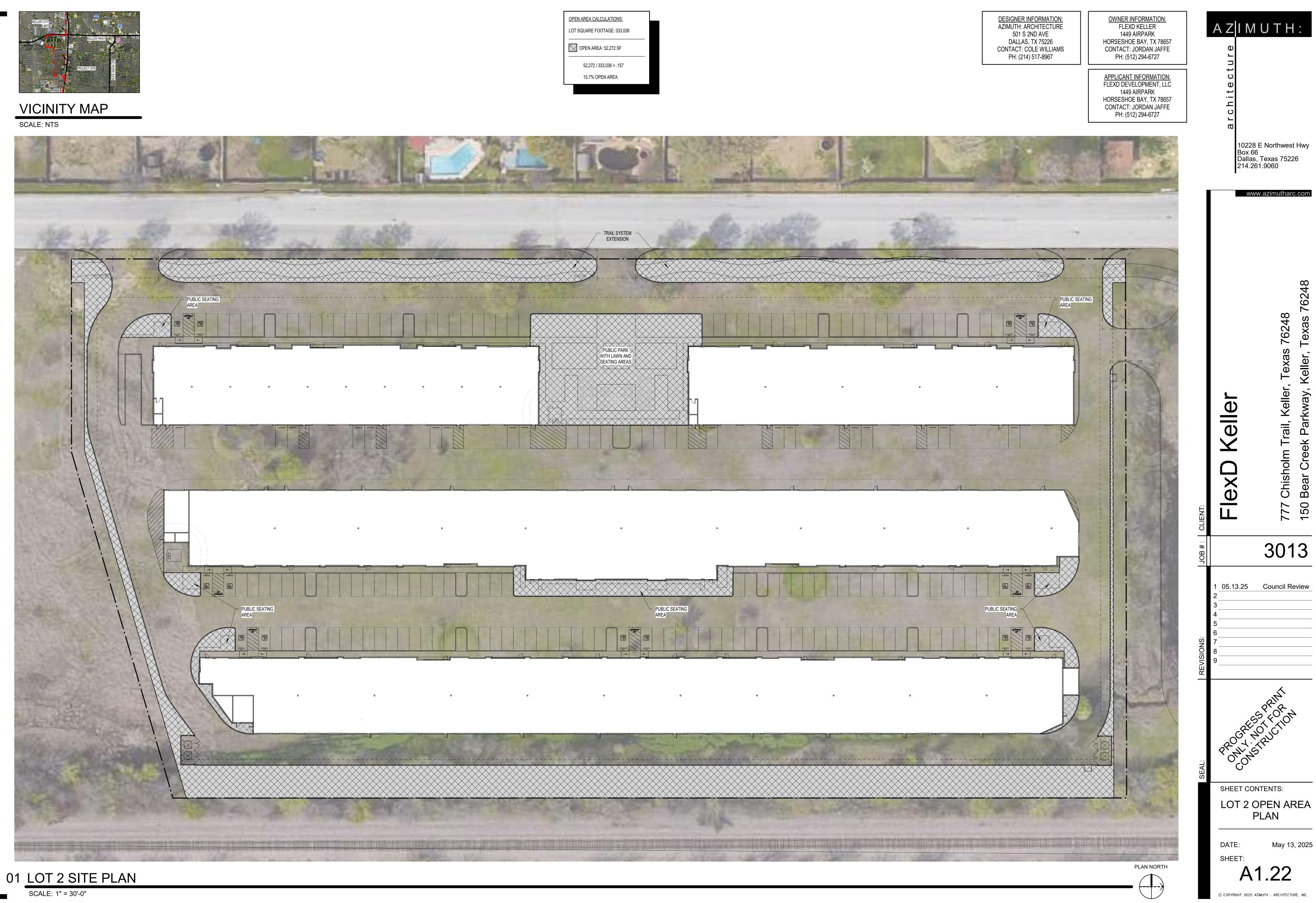
PLAN

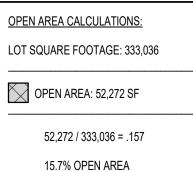
A1.12

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May 13, 2025







MATERIAL LEGEND

SPLIT FACE CMU

PAINTED CONCRETE TILT-WALL

ALUMINUM & GLASS STOREFRONT

PAINTED METAL

BRICK VENEER

Note: Masonry percentages are calculated based on the total area of the associated facade minus glass.

Roof System: 60 mil white TPO mechanically fastened over polyisocyanurate (R-9 min.)

Note: All facades to be finished with similar architectural elements and materials including minimum 75% masonry.

Permitted elevations will include masonry/tilt-wall mix to meet and exceed UDC masonry requirements. Buildings will feature textured surfaces/architectural elements to enhance wall surfaces.

All building elevations will be comprised of 100% tilt-wall + masonry, less glass, canopies, and door openings.

Similar architectural elements, materials, and colors will be carried through each building on the sites. The elevations presented in this exhibit are representative of a consistent design style that will carry through each building on both sites.



ENLARGED ELEVATION - NORTH / SOUTH - BUILDING 1 Scale: 1" = 10'-0"



ENLARGED ELEVATION - EAST - BUILDING 1

Scale: 1" = 20'-0"



ENLARGED ELEVATION - WEST - BUILDING 1 Scale: 1" = 20'-0"

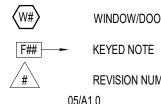


CHISOLM TRAIL STREET ELEVATION - BUILDINGS 1 & 2

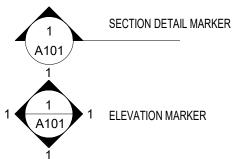


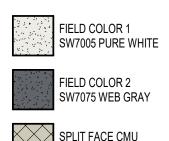
BEAR CREEK BUSINESS PARK ELEVATIONS

AZIMUTH:architecture



WINDOW/DOOR TYPE





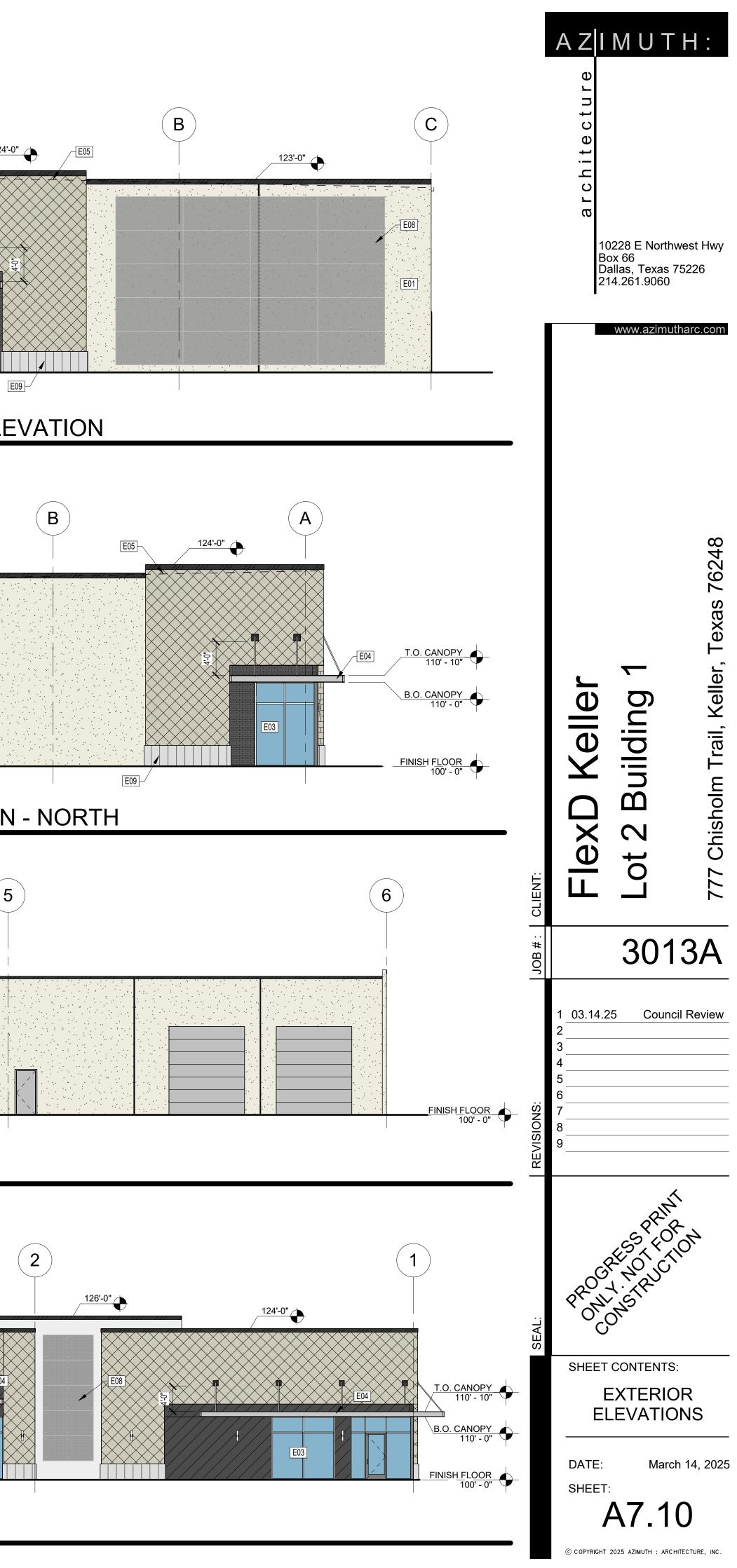


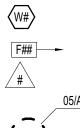
	REVISION NUMBER A1.0 DETAIL DESIGNATIC			ELEVATION MARKER		FIELD COLOR 2 SW7075 WEB GRAY	[PLASTER TBD GLAZING									A
ELEV E01 PAINTED C E02 PANEL REV	CONCRETE TILT-WALL VEAL (REF. 01/A10.00)		NOT	E06CONTINUOUS GUTTERE07DOWNSPOUT			-								-¢	<u>T.O. CANOPY</u> 110' - 10"	
	/I & GLASS STOREFRO /I PREFAB CANOPY OOF BEYOND	NI		E08 WALL MOUNTED TRELL	IS											<u>B.O. CANOPY</u> 110' - 0"	E03
						RIAL CALCULATIONS									-•	<u>FINISH</u> F <u>LOOR</u> 100' - 0"	
ELEVATION NORTH	TOTAL AREA 1,443 SF	GLASS/OPENINGS AREA 75 SF	G/O% 5.2%	CONCRETE TILT WALL AREA 943 SF	T.W.% 68.9%	SPLIT FACE CMU AREA 374 SF	27.3%	BRICK VENEER AREA 51 SF	B.V.% 3.7%	PLASTER AREA	PL%	TOTAL MASONRY PERCENTAGE					
SOUTH	1,443 SF	75 SF	5.2%	943 SF	68.9%	374 SF	27.3%	51 SF	3.7%	-	0%	100%					SOUTH E
EAST WEST	6,601 SF 7,711 SF	1,832 SF 1,099 SF	27.8% 14.3%	4,769 SF 1,925 SF	100% 29.1%	- 2,299 SF	0% 34.8%	- 1,754 SF	0% 26.5%	- 634 SF	0%	100%			SC	ALE: 1/8" = 1'-0"	
																ALE: 1/8" = 1'-0"	ELEVATIO
		122'-0"			2						3)		4			



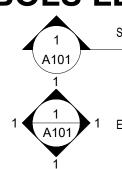
SCALE: 3/32" = 1'-0"

	4	3	
E02			

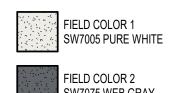




WINDOW/DOOR TYPE KEYED NOTE REVISION NUMBER



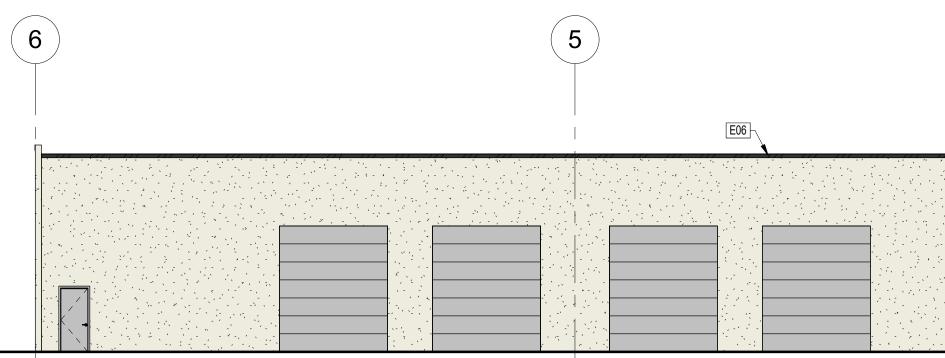
SECTION DETAIL MARKER





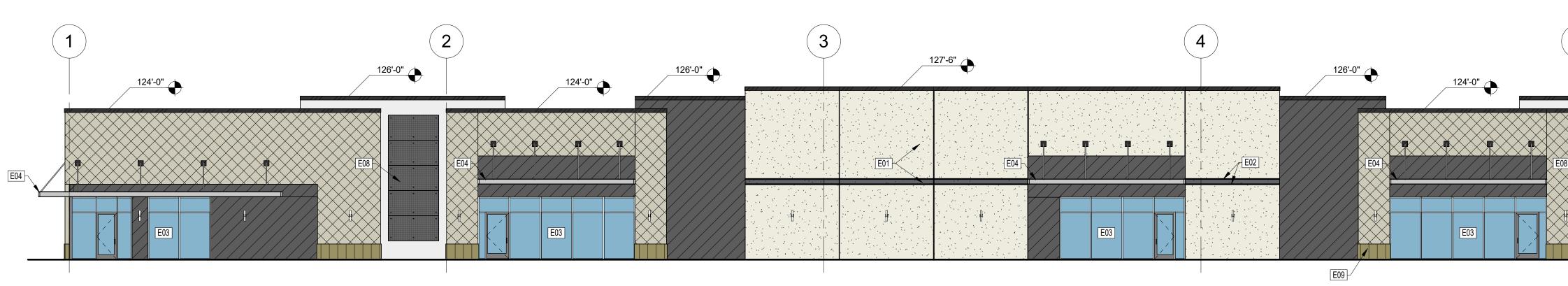


	KEYED NOTE REVISION NUMBER I. <u>0</u> DETAIL DESIGNATIO	A101 1 1 A101 1 1 1 1	1 ELEVATION MARKER		FIELD COLOR 2 SW7075 WEB GRAY SPLIT FACE CMU TBD		PLASTER TBD GLAZING					A 124'-0" E05
ELEVA E01 PAINTED CO E02 PANEL REVE E03 ALUMINUM & E04 ALUMINUM P E05 LINE OF ROC	DNCRETE TILT-WALL EAL (REF. 01/A10.00) & GLASS STOREFROM PREFAB CANOPY		TES: E06 CONTINUOUS GUTTER E07 DOWNSPOUT E08 WALL MOUNTED TRELI E09 BASE TRIM									
					RIAL CALCULATIONS							
ELEVATION NORTH	TOTAL AREA 1,443 SF	GLASS/OPENINGS AREA G/O% 75 SF 5.2%		T.W.% 68.9%	SPLIT FACE CMU AREA 374 SF	CMU% 27.3%	BRICK VENEER ARE	A B.V.% 3.7%	PLASTER AREA	PL% 0%	TOTAL MASONRY PERCENTAGE	04 EXTERIOR SOUTH ELEV
SOUTH	1,443 SF	75 SF 5.2%		68.9%	374 SF	27.3%	51 SF	3.7%	-	0%	100%	SCALE: 1/8" = 1'-0"
EAST	6,601 SF 7,711 SF	1,832 SF 27.8% 1,099 SF 14.3%		100% 29.1%	- 2,299 SF	0% 34.8%	- 1,754 SF	0% 26.5%	- 634 SF	0% 9.6%	100%	
												02 EXTERIOR NORTH ELEV SCALE: 1/8" = 1'-0"
6					5						4	3
					 	E06				/	122'-0"	
									(<u>E01</u>) (TYP.)			



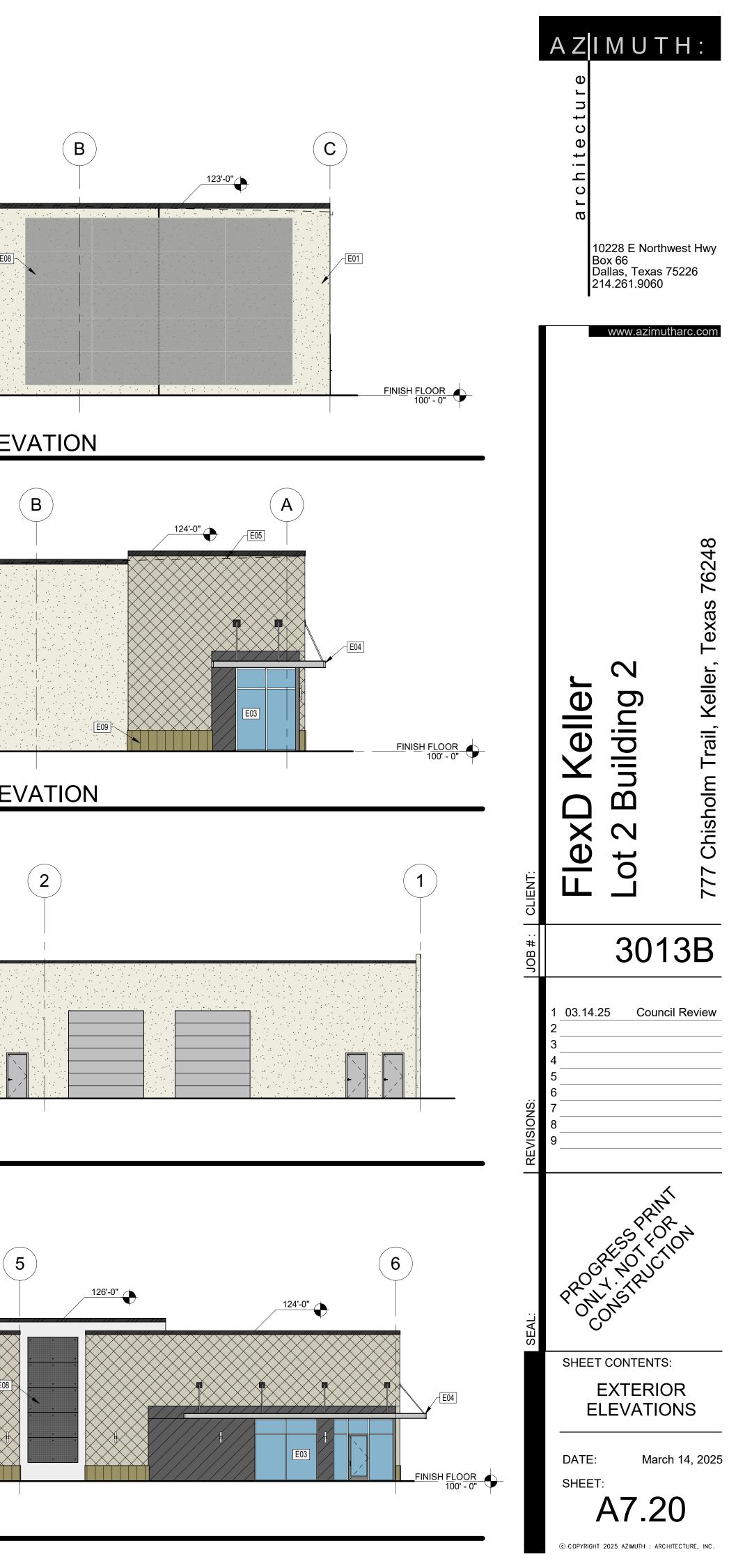
03 EXTERIOR EAST ELEVATION

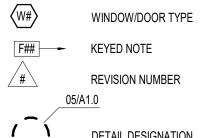
SCALE: 3/32" = 1'-0"



01 EXTERIOR ELEVATION - WEST

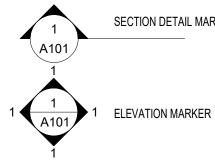
SCALE: 3/32" = 1'-0"





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KEYED NOTE **REVISION NUMBER** 05/A1.0 DETAIL DESIGNATION



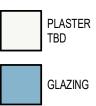
SECTION DETAIL MARKER



FIELD COLOR 2 SW7075 WEB GRAY

SPLIT FACE CMU TBD

QUIK-BRIK CMU TBD

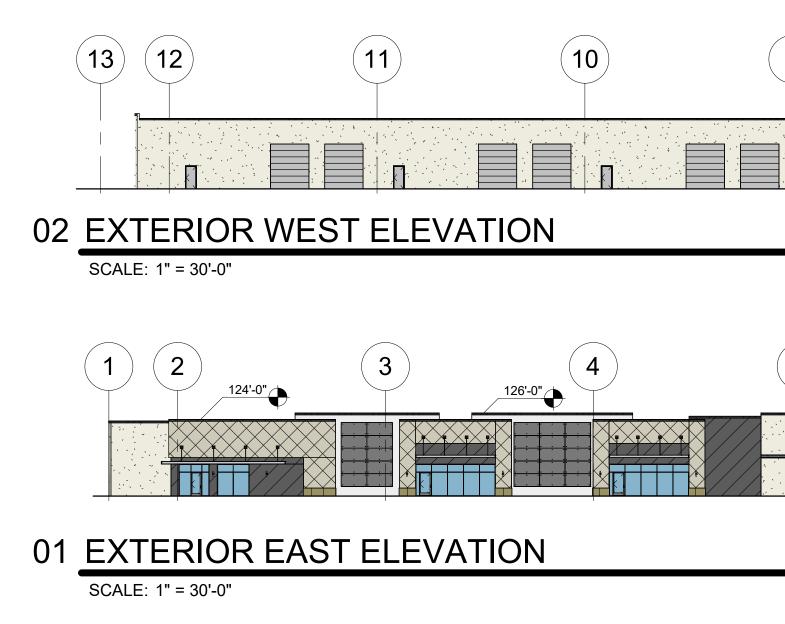


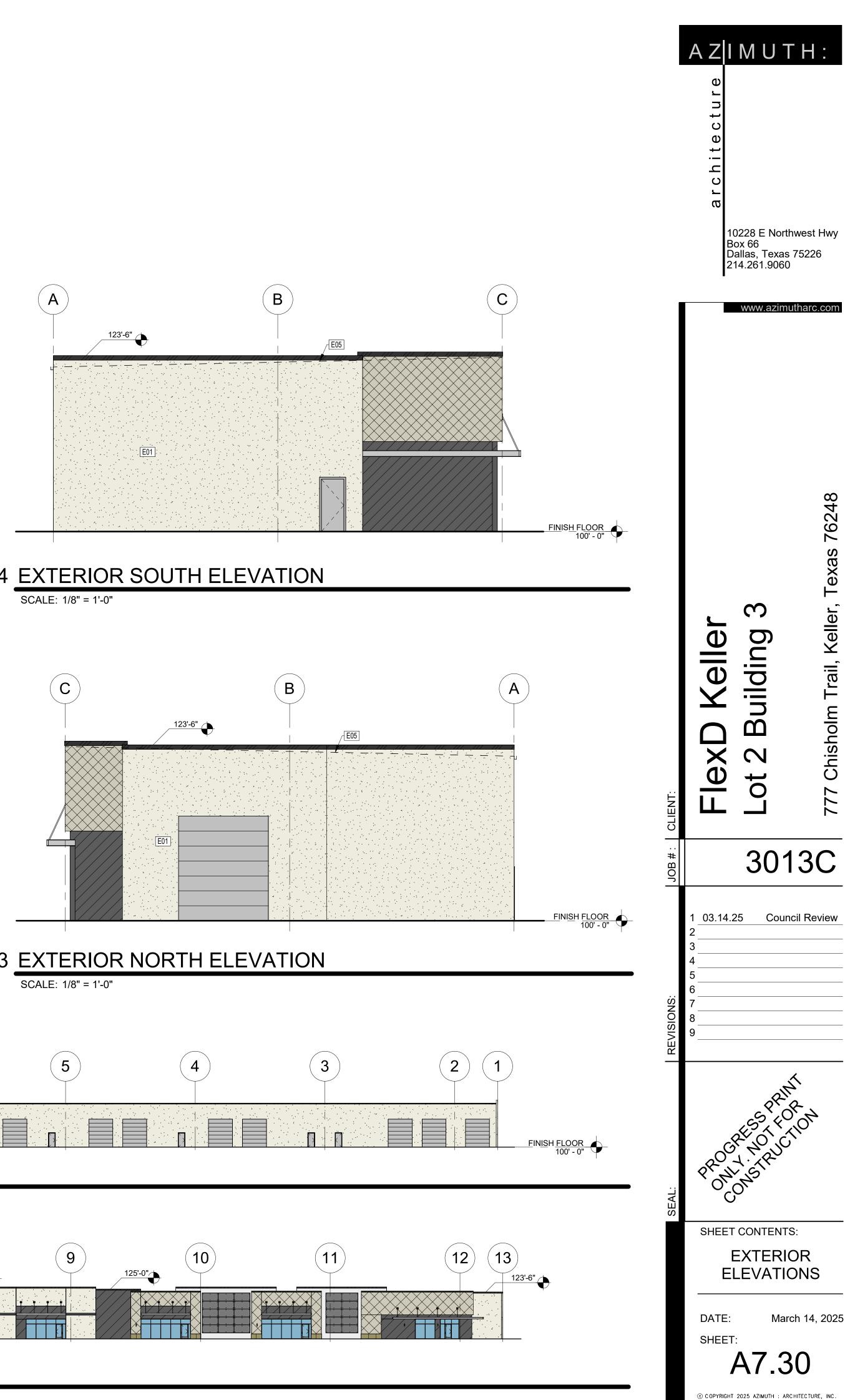
ELEVATION KEYED NOTES:

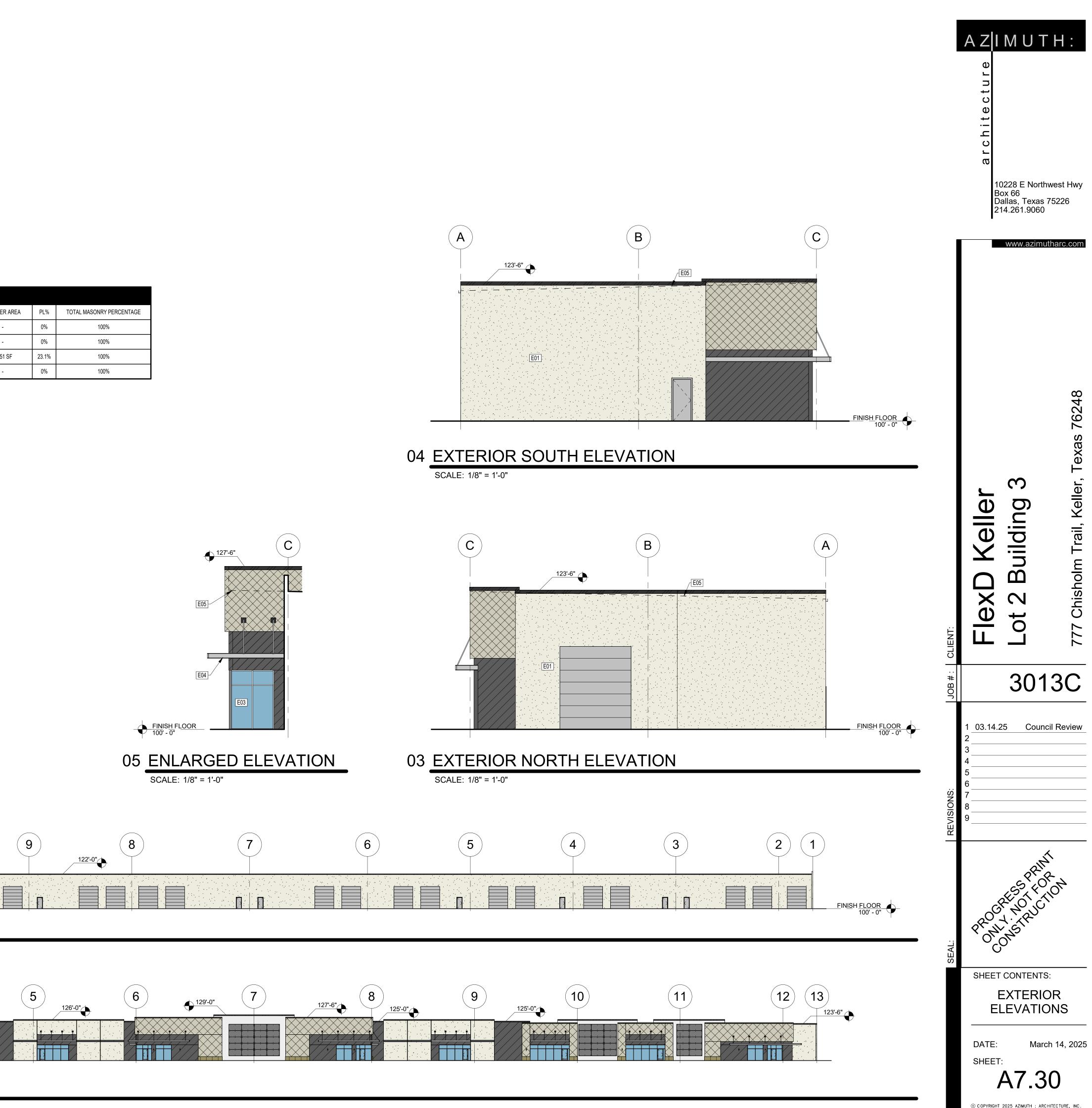
- E01 PAINTED CONCRETE TILT-WALL
- E02 PANEL REVEAL (REF. 01/A10.00)
- E03 ALUMINUM & GLASS STOREFRONT E04 ALUMINUM PREFAB CANOPY
- E05 LINE OF ROOF BEYOND

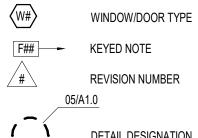
- E06 CONTINUOUS GUTTER E07 DOWNSPOUT
- E08 WALL MOUNTED TRELLIS
- E09 BASE TRIM

	MATERIAL CALCULATIONS											
ELEVATION	TOTAL AREA	GLASS/OPENINGS AREA	G/0%	CONCRETE TILT WALL AREA	T.W.%	SPLIT FACE CMU AREA	CMU%	BRICK VENEER AREA	B.V.%	PLASTER AREA	PL%	TOTAL MASONRY PERCENTAGE
NORTH	1,406 SF	168 SF	11.9%	1,062 SF	85.7%	92 SF	7.4%	84 SF	6.8%	-	0%	100%
SOUTH	1,411 SF	25 SF	1.8%	946 SF	68.3%	224 SF	16.2%	216 SF	15.6%	-	0%	100%
EAST	18,398 SF	2,189 SF	11.9%	3,620 SF	22.3%	4,948 SF	30.5%	3,880 SF	23.9%	3,751 SF	23.1%	100%
WEST	15,122 SF	3,782 SF	25.0%	11,340 SF	100%	-	0%	-	0%	-	0%	100%



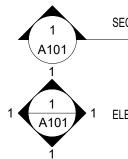






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KEYED NOTE **REVISION NUMBER** 05/A1.0 DETAIL DESIGNATION



ELEVATION MARKER

FIELD COLOR 2

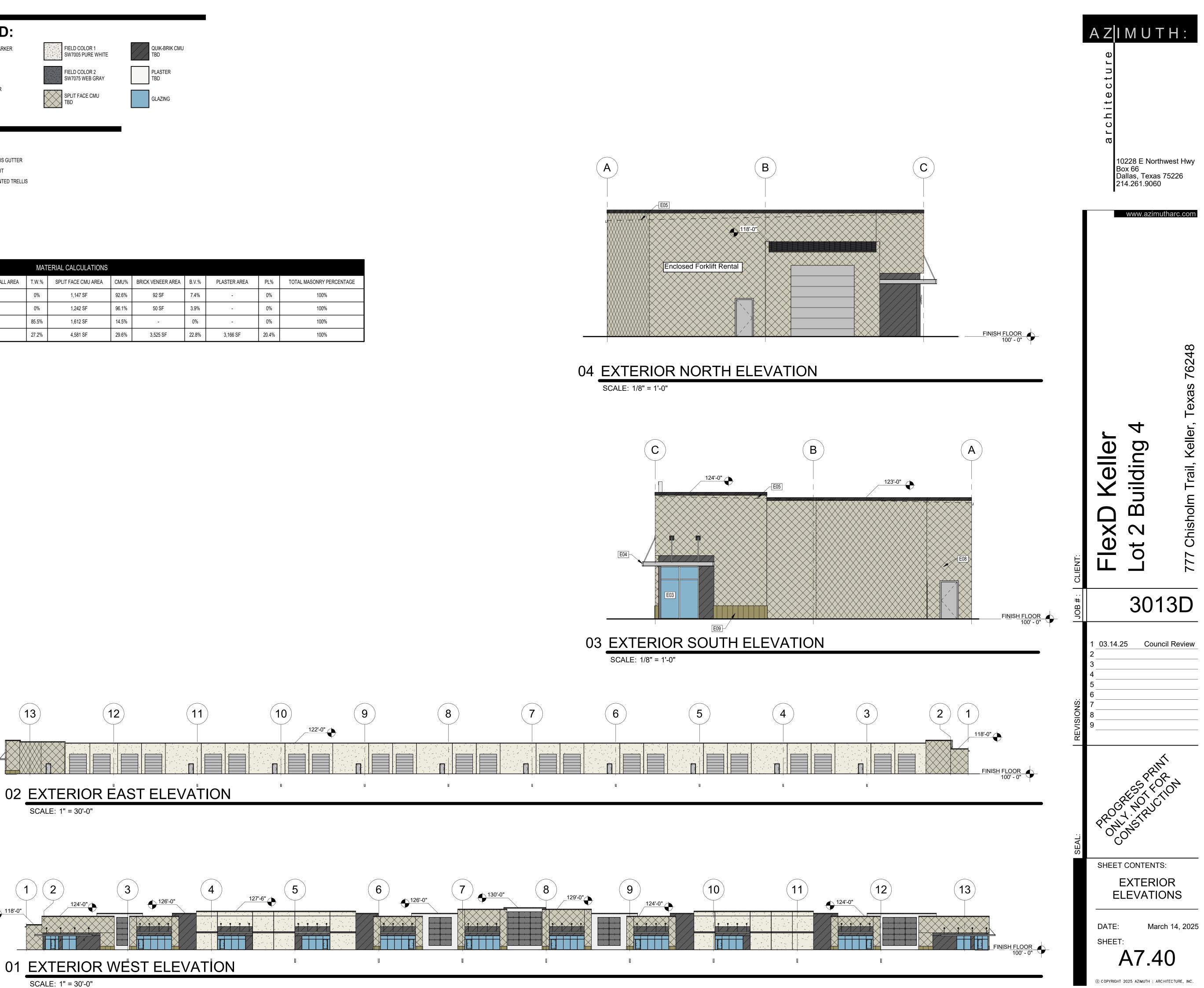


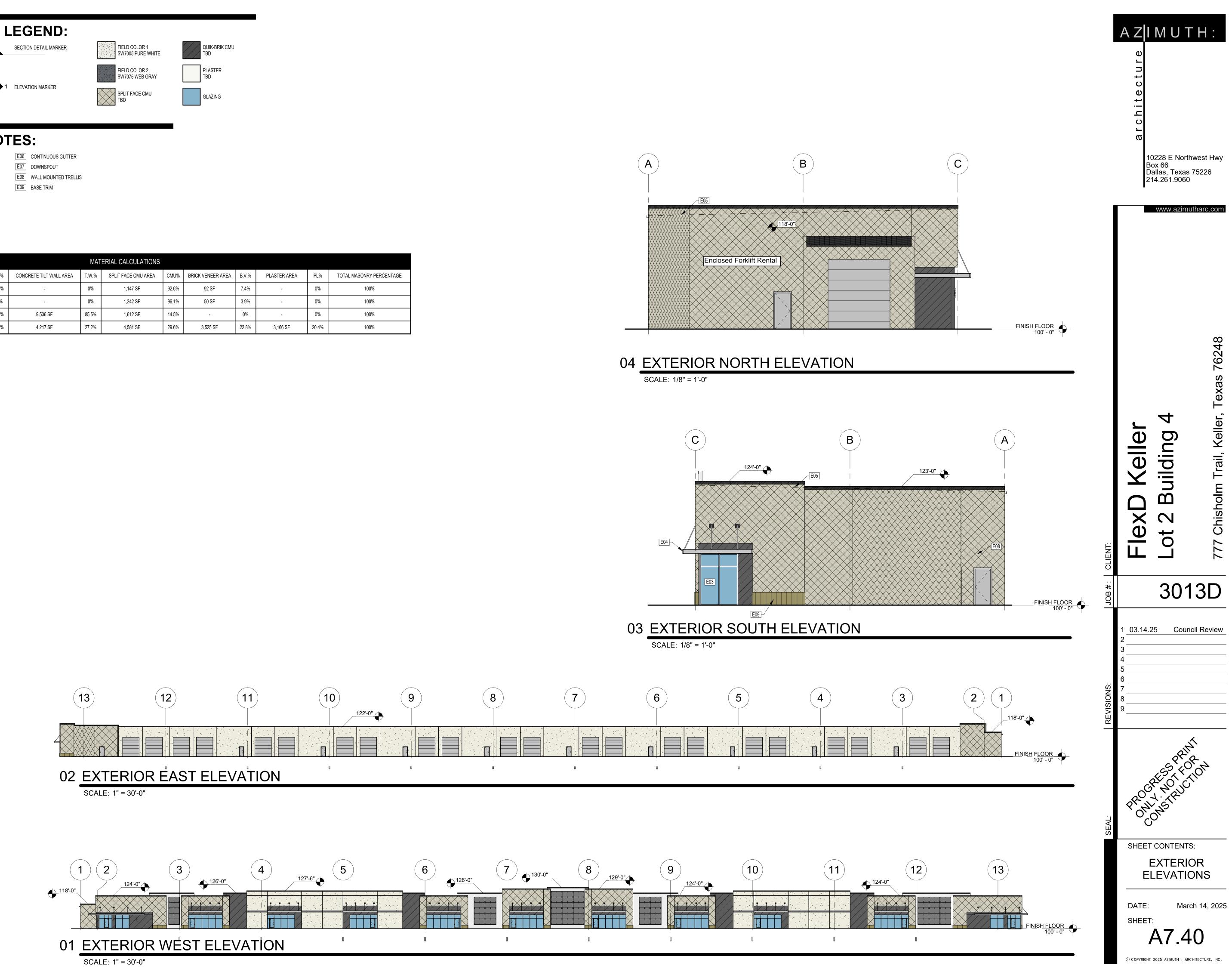
TBD

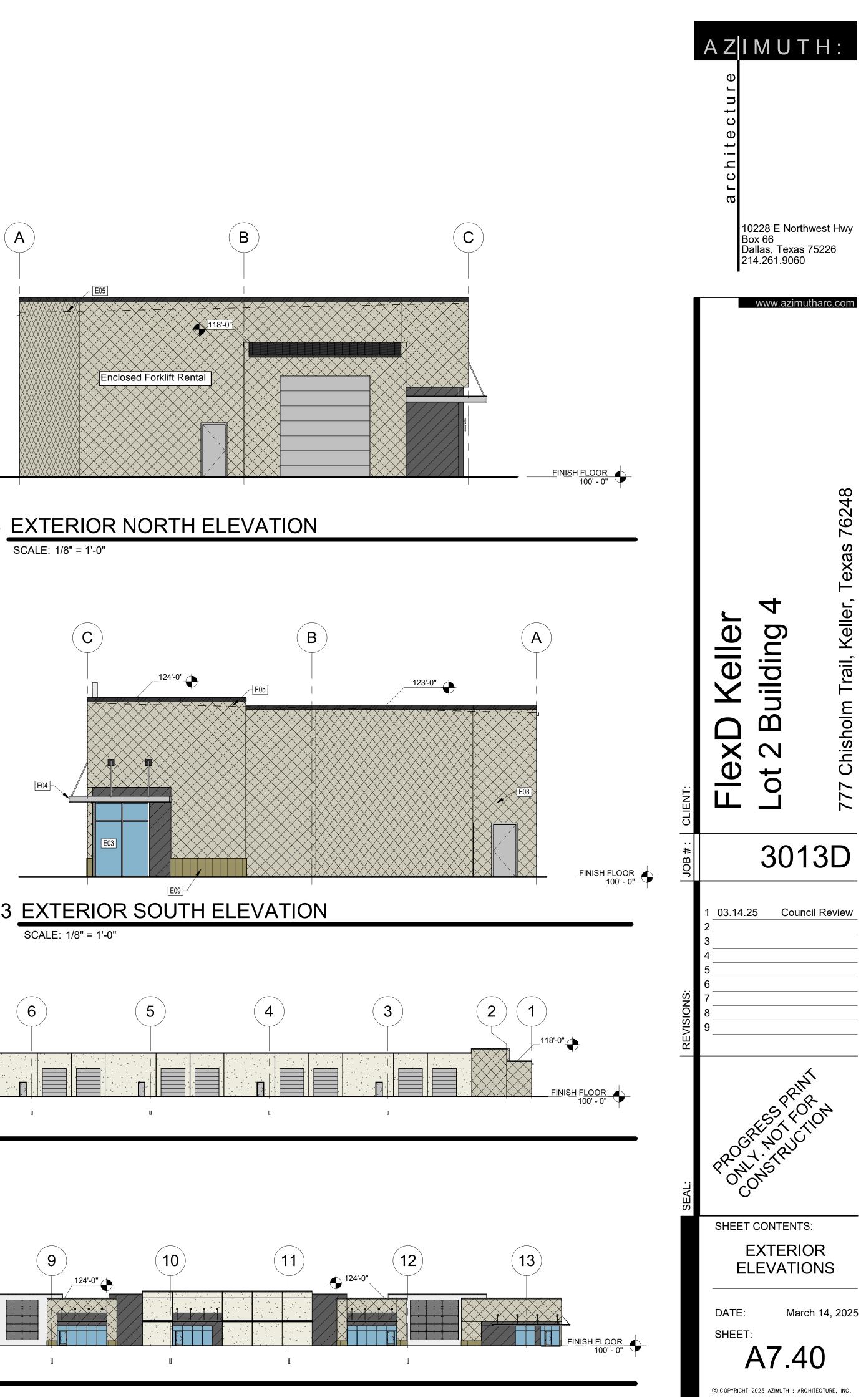
ELEVATION KEYED NOTES:

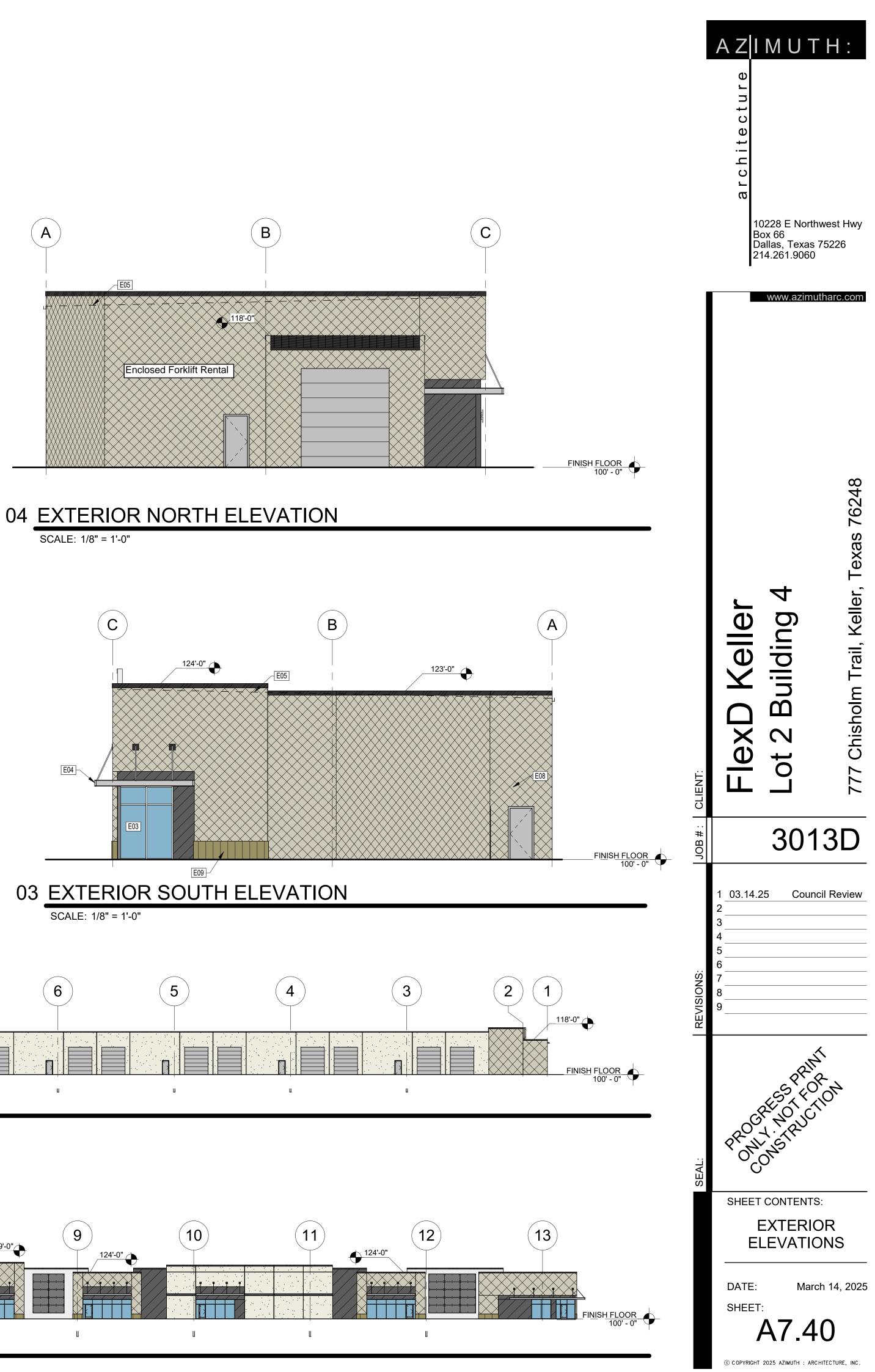
- E01 PAINTED CONCRETE TILT-WALL
- E02 PANEL REVEAL (REF. 01/A10.00)
- E03 ALUMINUM & GLASS STOREFRONT
- E04 ALUMINUM PREFAB CANOPY E05 LINE OF ROOF BEYOND
- E06 CONTINUOUS GUTTER E07 DOWNSPOUT
- E08 WALL MOUNTED TRELLIS
- E09 BASE TRIM

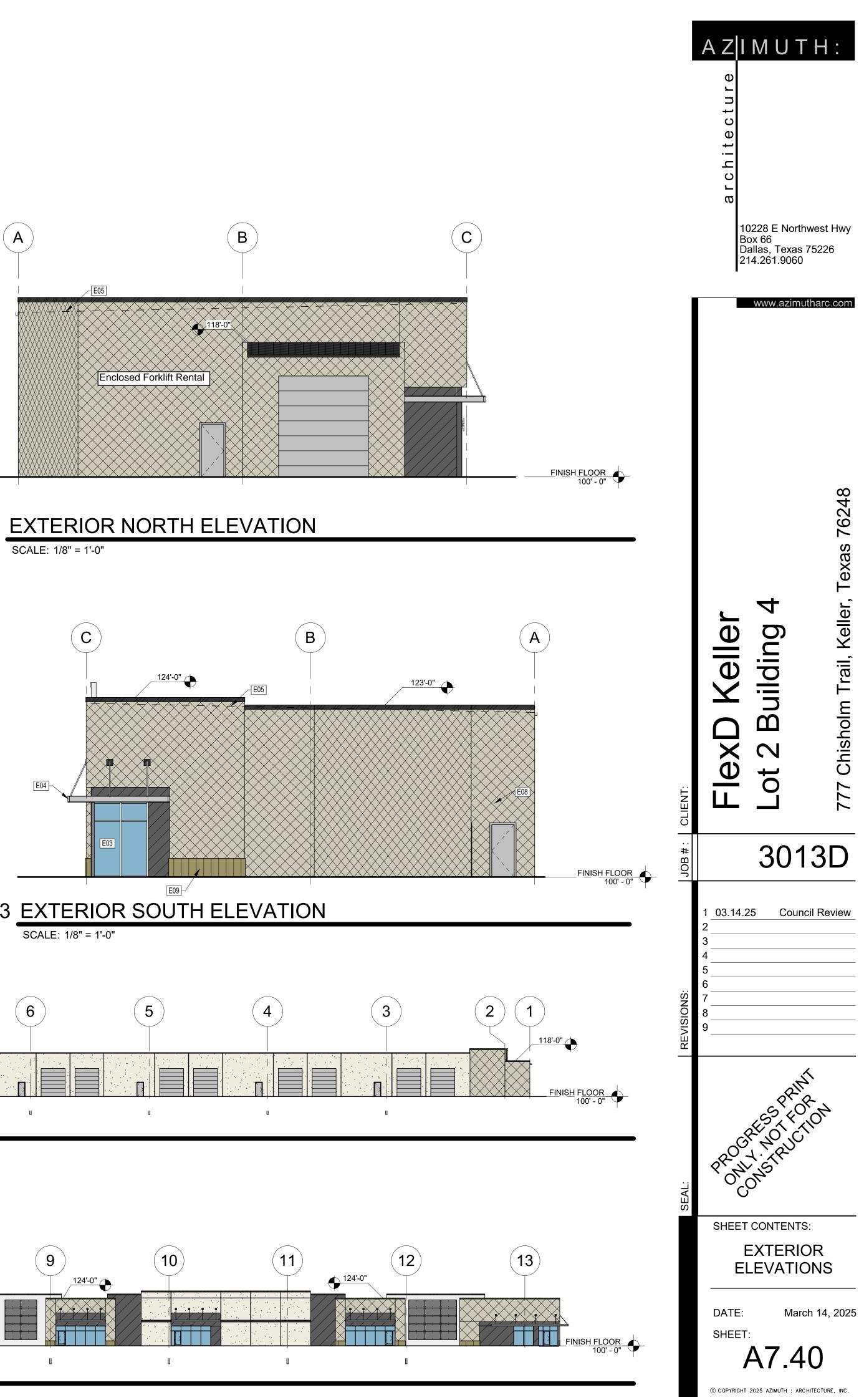
	MATERIAL CALCULATIONS											
ELEVATION	TOTAL AREA	GLASS/OPENINGS AREA	G/0%	CONCRETE TILT WALL AREA	T.W.%	SPLIT FACE CMU AREA	CMU%	BRICK VENEER AREA	B.V.%	PLASTER AREA	PL%	TOTAL MASONRY PERCENTAGE
NORTH	1,432 SF	193 SF	13.5%	-	0%	1,147 SF	92.6%	92 SF	7.4%	-	0%	100%
SOUTH	1,393 SF	101 SF	7.3%	-	0%	1,242 SF	96.1%	50 SF	3.9%	-	0%	100%
EAST	15,098 SF	3,950 SF	26.2%	9,536 SF	85.5%	1,612 SF	14.5%	-	0%	-	0%	100%
WEST	17,984 SF	2,495 SF	13.9%	4,217 SF	27.2%	4,581 SF	29.6%	3,525 SF	22.8%	3,166 SF	20.4%	100%

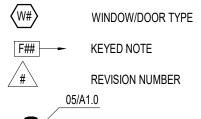








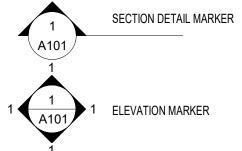




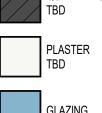
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KEYED NOTE **REVISION NUMBER** 05/A1.0 1

DETAIL DESIGNATION



FIELD COLOR 1 SW7005 PURE WHITE FIELD COLOR 2 SW7075 WEB GRAY

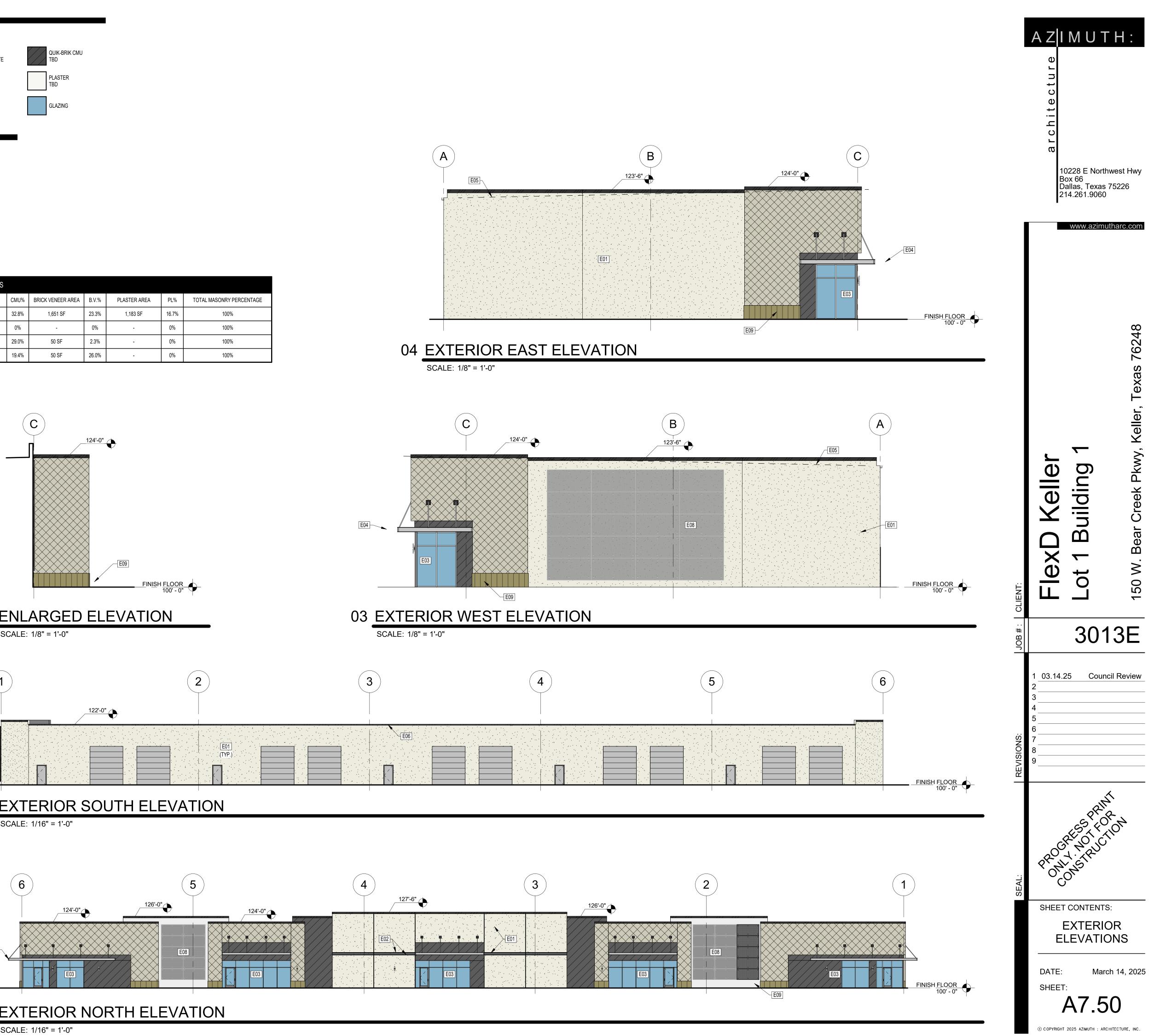


ELEVATION KEYED NOTES:

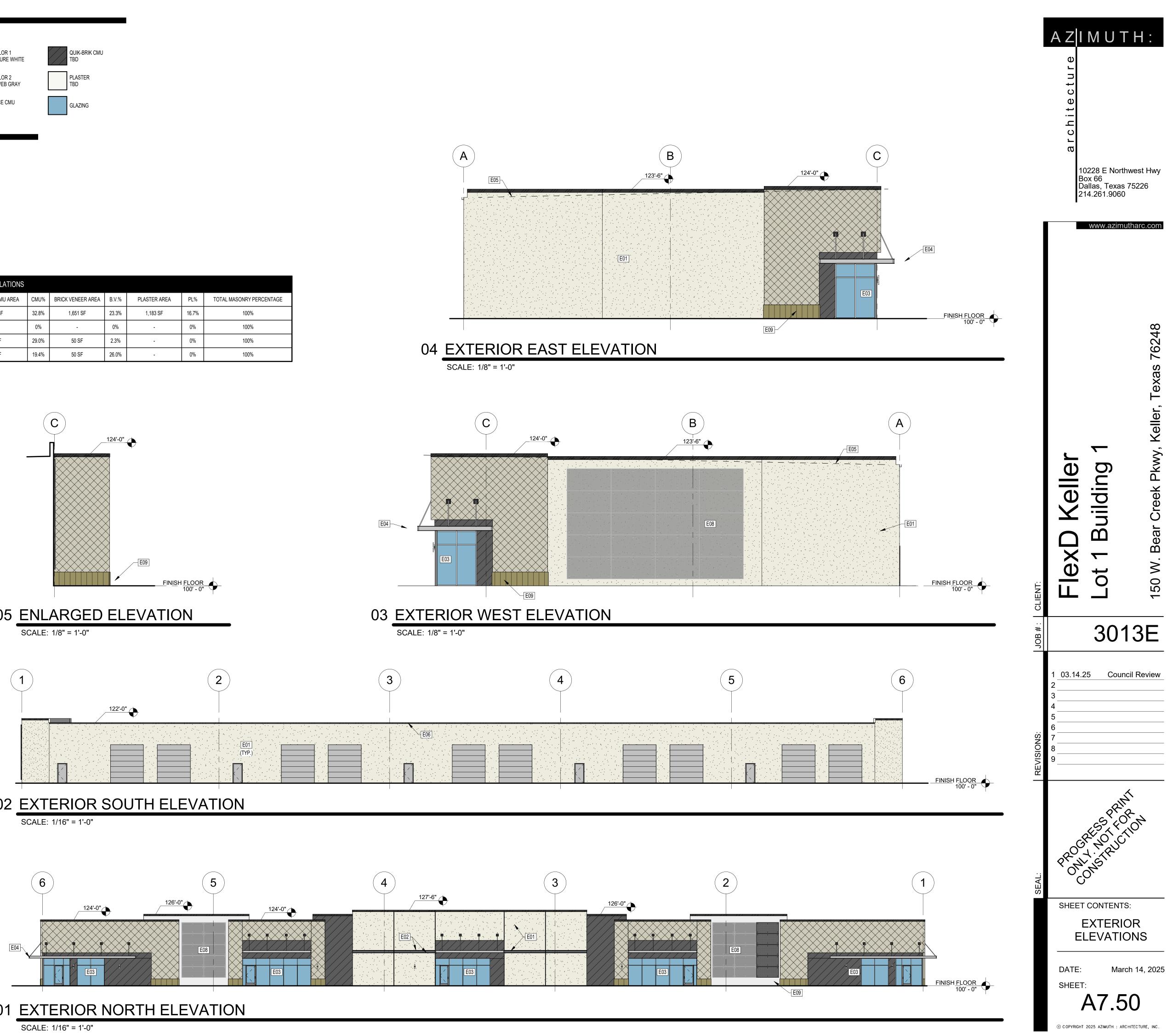
- E01 PAINTED CONCRETE TILT-WALL
- E02 PANEL REVEAL (REF. 01/A10.00)
- E03 ALUMINUM & GLASS STOREFRONT E04 ALUMINUM PREFAB CANOPY
- E05 LINE OF ROOF BEYOND

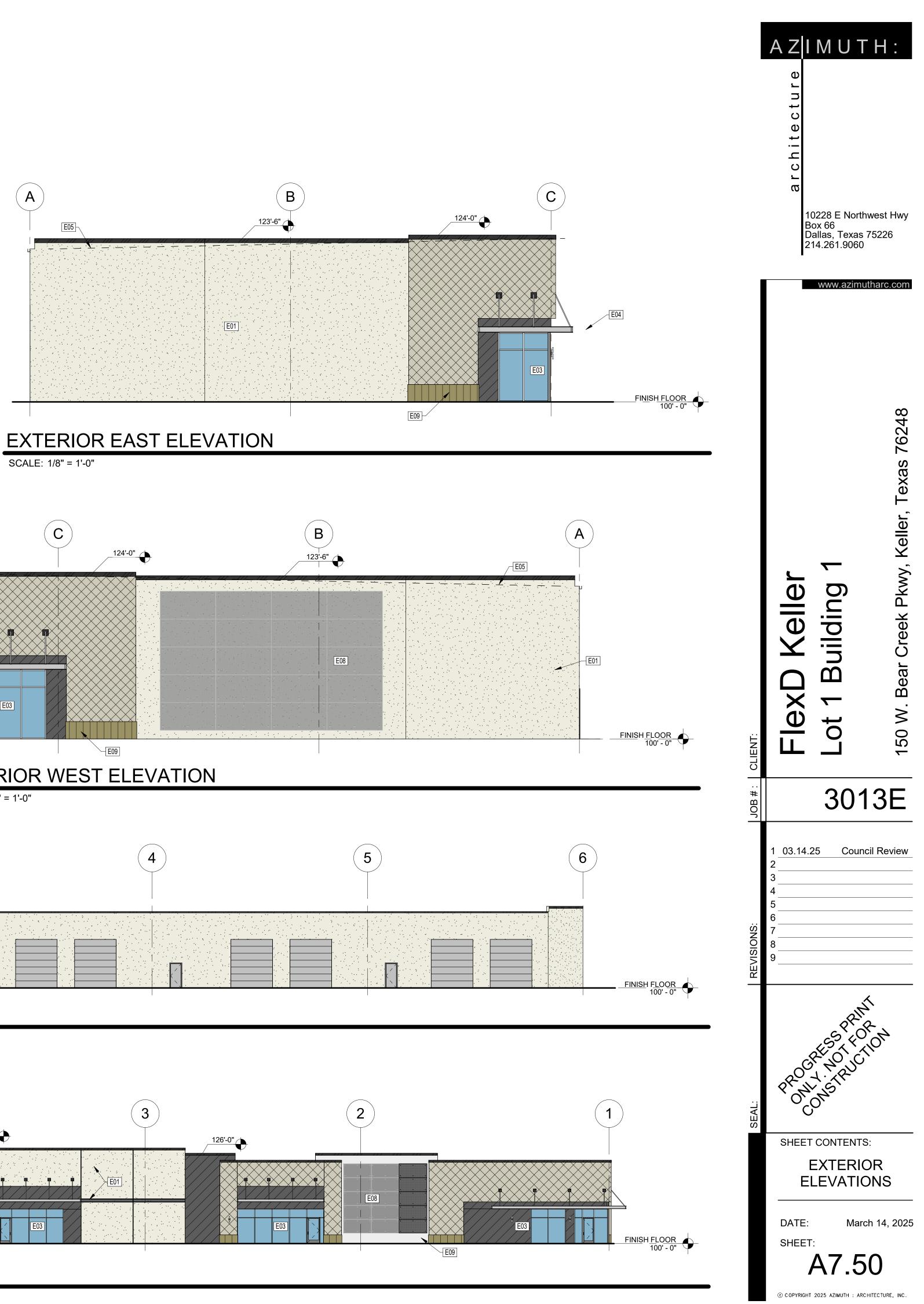
- E06 CONTINUOUS GUTTER
- E07 DOWNSPOUT
- E08 WALL MOUNTED TRELLIS
- E09 BASE TRIM

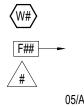
_													
	MATERIAL CALCULATIONS												
ELEVATION	TOTAL AREA	GLASS/OPENINGS AREA	G/0%	CONCRETE TILT WALL AREA	T.W.%	SPLIT FACE CMU AREA	CMU%	BRICK VENEER AREA	B.V.%	PLASTER AREA	PL%	TOTAL MASONRY PERCENTAGE	
NORTH	8,185 SF	1,099 SF	13.4%	1,925 SF	27.2%	2,327 SF	32.8%	1,651 SF	23.3%	1,183 SF	16.7%	100%	
SOUTH	7,059 SF	1,807 SF	25.6%	5,252 SF	100%	-	0%	-	0%	-	0%	100%	
EAST	2,205 SF	76 SF	3.4%	1,281 SF	60.2%	618 SF	29.0%	50 SF	2.3%	-	0%	100%	
WEST	2,000 SF	76 SF	3.8%	1,500 SF	78.0%	374 SF	19.4%	50 SF	26.0%	-	0%	100%	

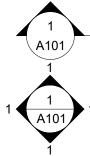


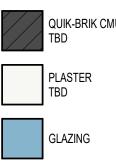








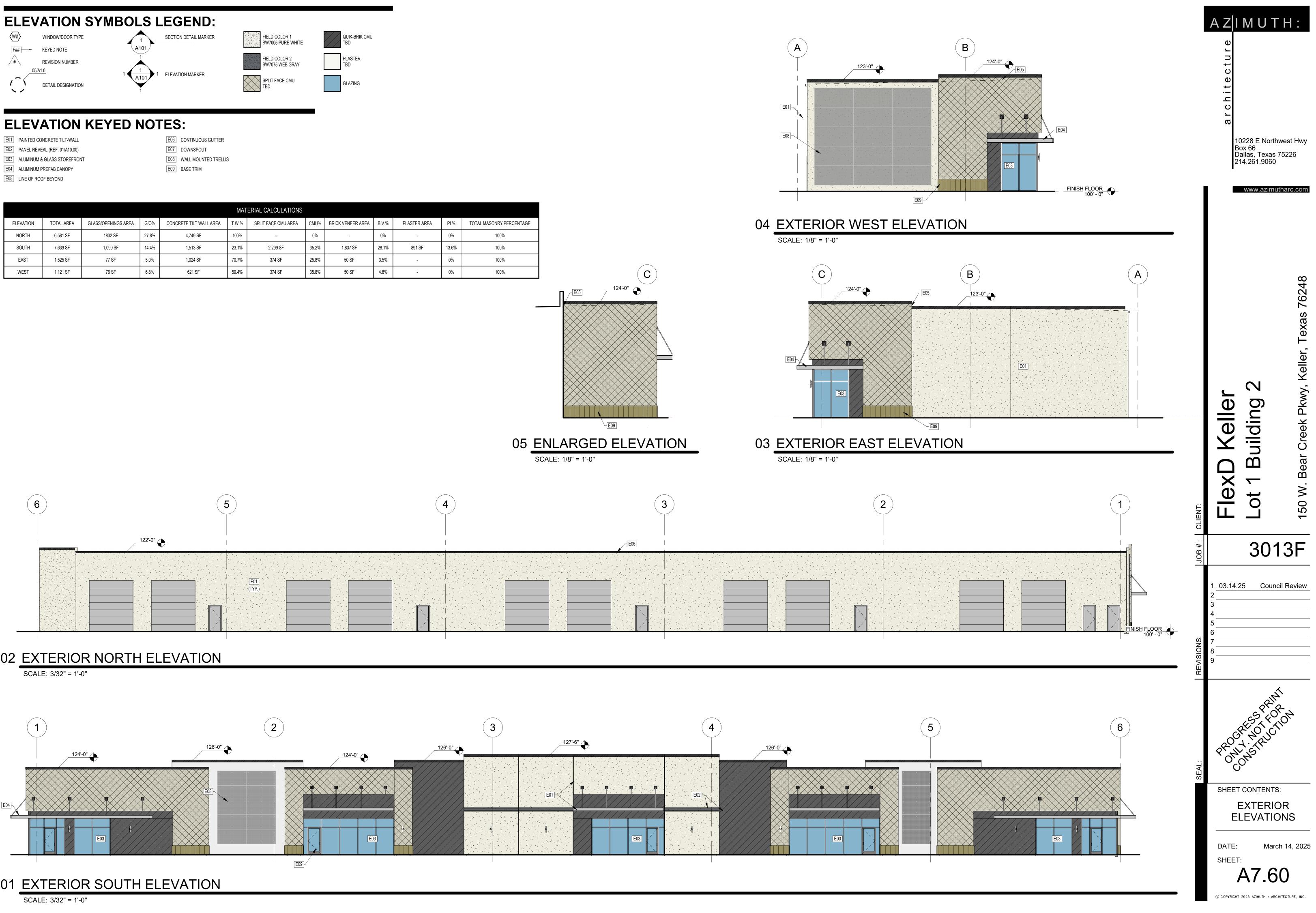




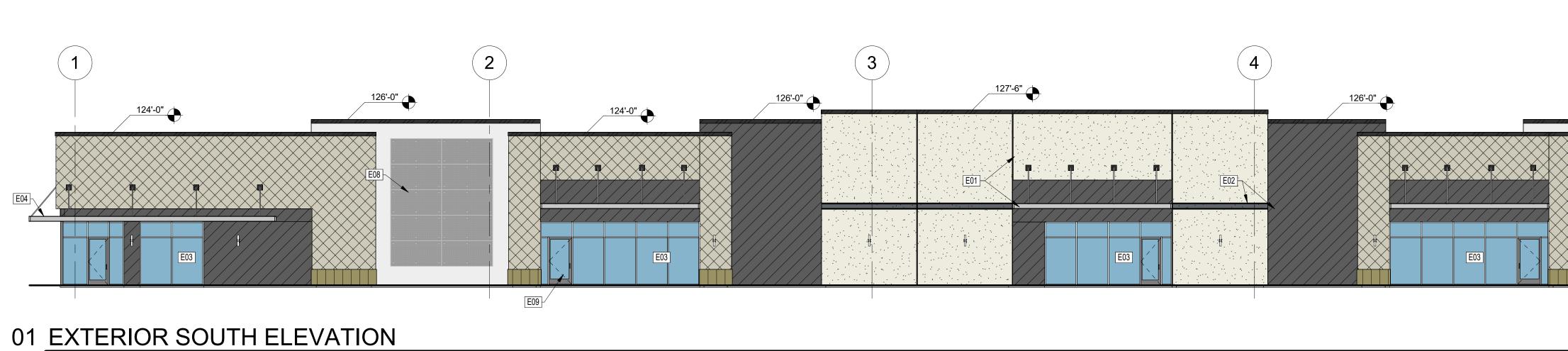
ELEVATION KEYED NOTES:

- E01 PAINTED CONCRETE TILT-WALL

					MAT	ERIAL CALCULATIONS				
ELEVATION	TOTAL AREA	GLASS/OPENINGS AREA	G/0%	CONCRETE TILT WALL AREA	T.W.%	SPLIT FACE CMU AREA	CMU%	BRICK VENEER AREA	B.V.%	PLAST
NORTH	6,581 SF	1832 SF	27.8%	4,749 SF	100%	-	0%	-	0%	
SOUTH	7,639 SF	1,099 SF	14.4%	1,513 SF	23.1%	2,299 SF	35.2%	1,837 SF	28.1%	89
EAST	1,525 SF	77 SF	5.0%	1,024 SF	70.7%	374 SF	25.8%	50 SF	3.5%	
WEST	1,121 SF	76 SF	6.8%	621 SF	59.4%	374 SF	35.8%	50 SF	4.8%	

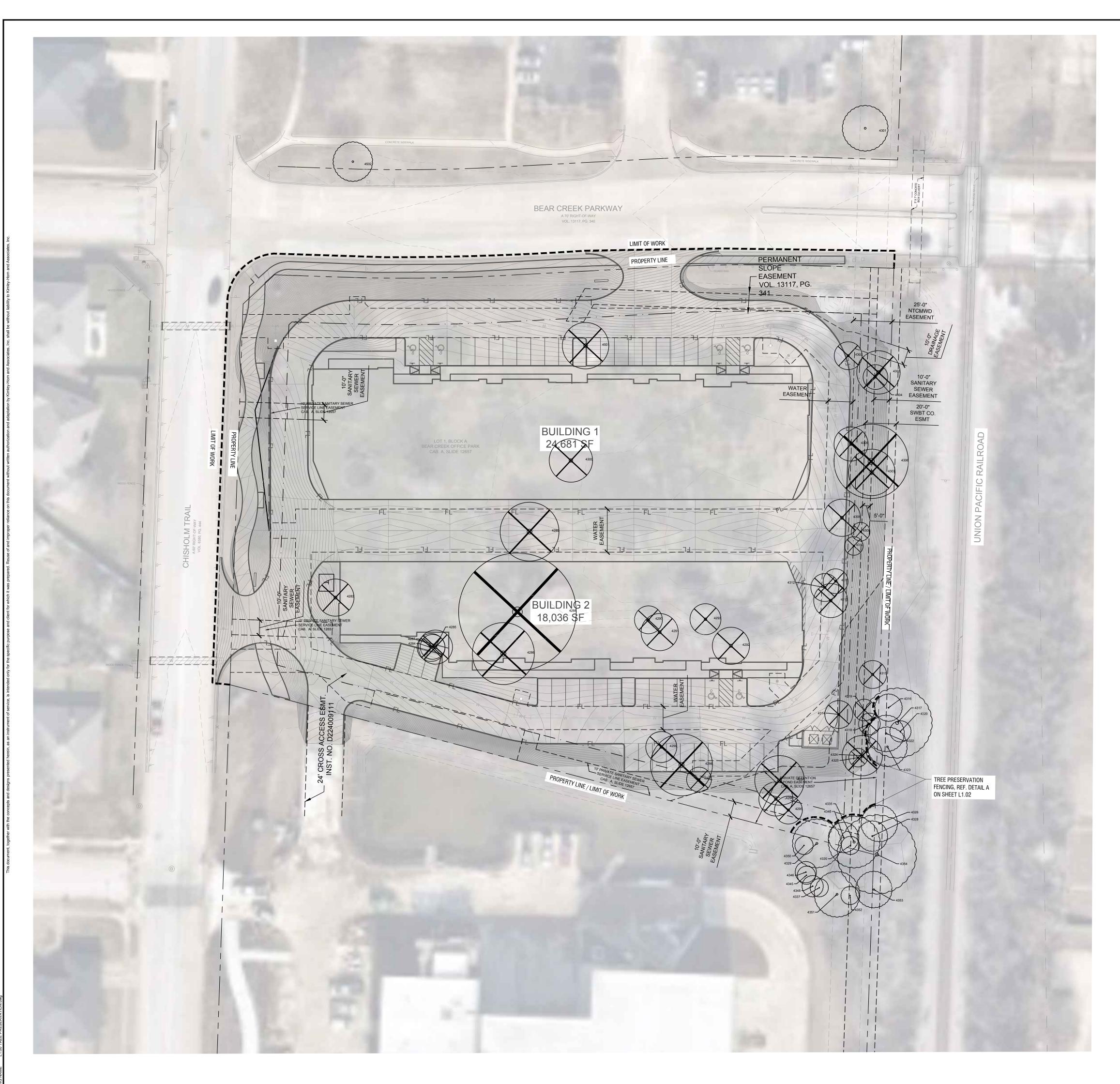


02 EXTERIOR NORTH ELEVATION





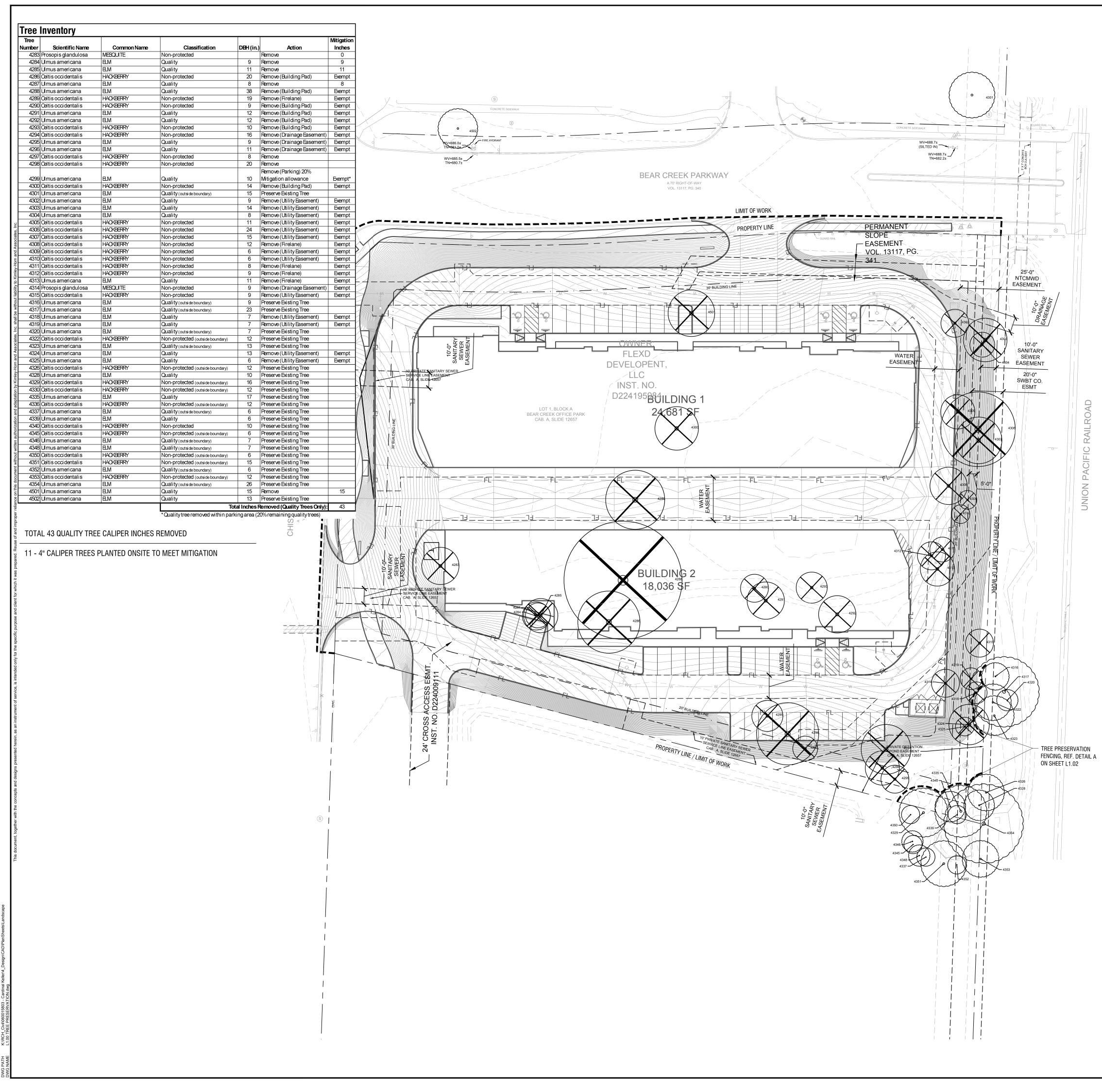
ES =S - SAVED - SAVED TTED BY



SYMBOL LEGE	ND:	
\mathbf{X}	EXISTING TREE TO BE REMOVED	
·	EXISTING TREE ON-SITE TO REMAIN	TREE TO BE SAVED
	TREE PROTECTION FENCING	4' HT. PROTECTION FENCING, TO BE LOCATED AT LIMIT OF GRADING AROUND EXISTING VEGETATION

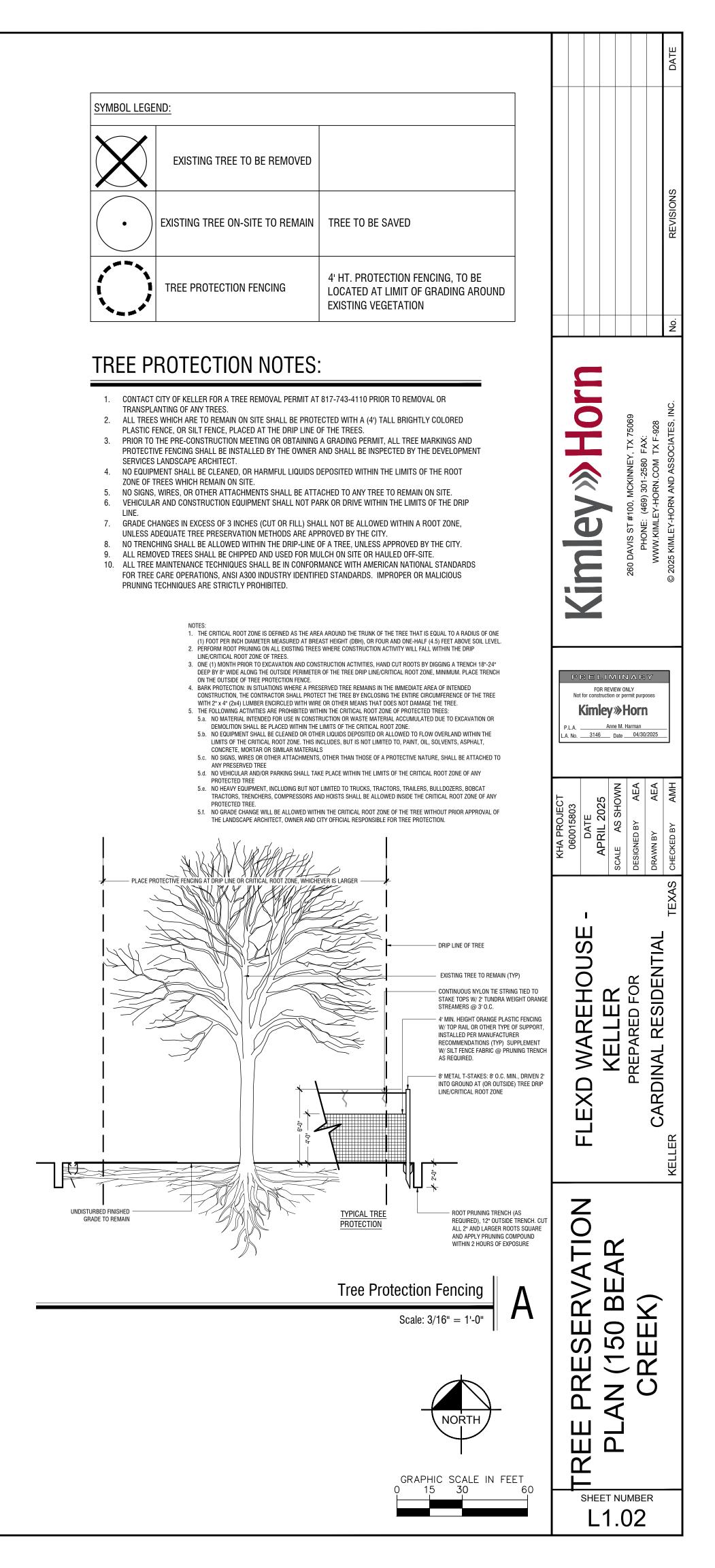
				No. REVISIONS DATE
Kim ev » Horn		260 DAVIS ST #100, MCKINNEY, TX 75069	WWW.KIMLEY-HORN.COM TX F-928	© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
DATE No. 3146	R REVIEW truction or ICY MANNE M	ONLY permit purp Horri . Harman . 04/31	oses	TEXAS CHECKED BY AMH
FLEXD WAREHOUSE -	KELLER	PREPARED FOR	CARDINAL RESIDENTIAL	
		Define BEAR CREEK)	ĒR	

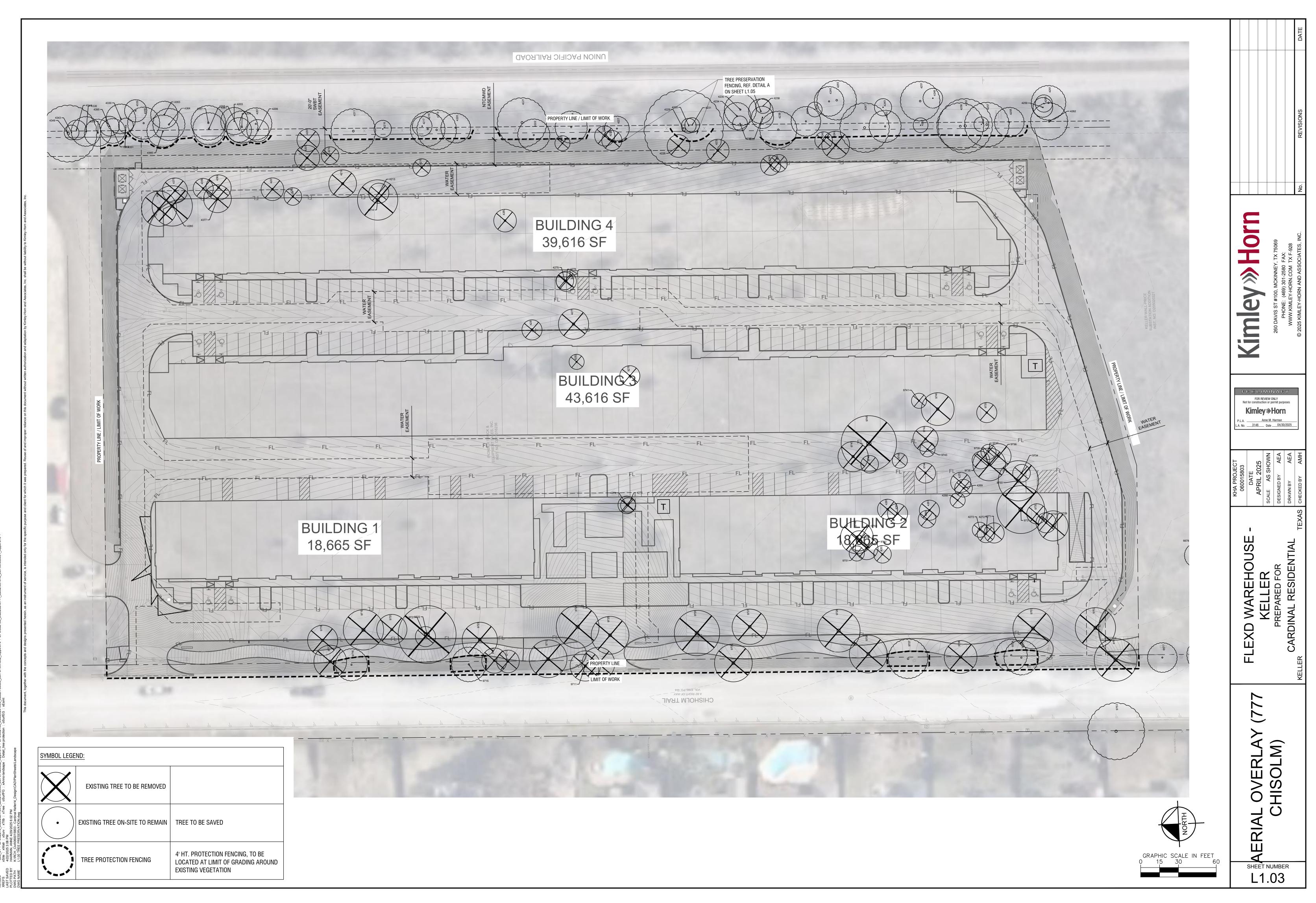
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RAPHIC	SCALE	IN	FE



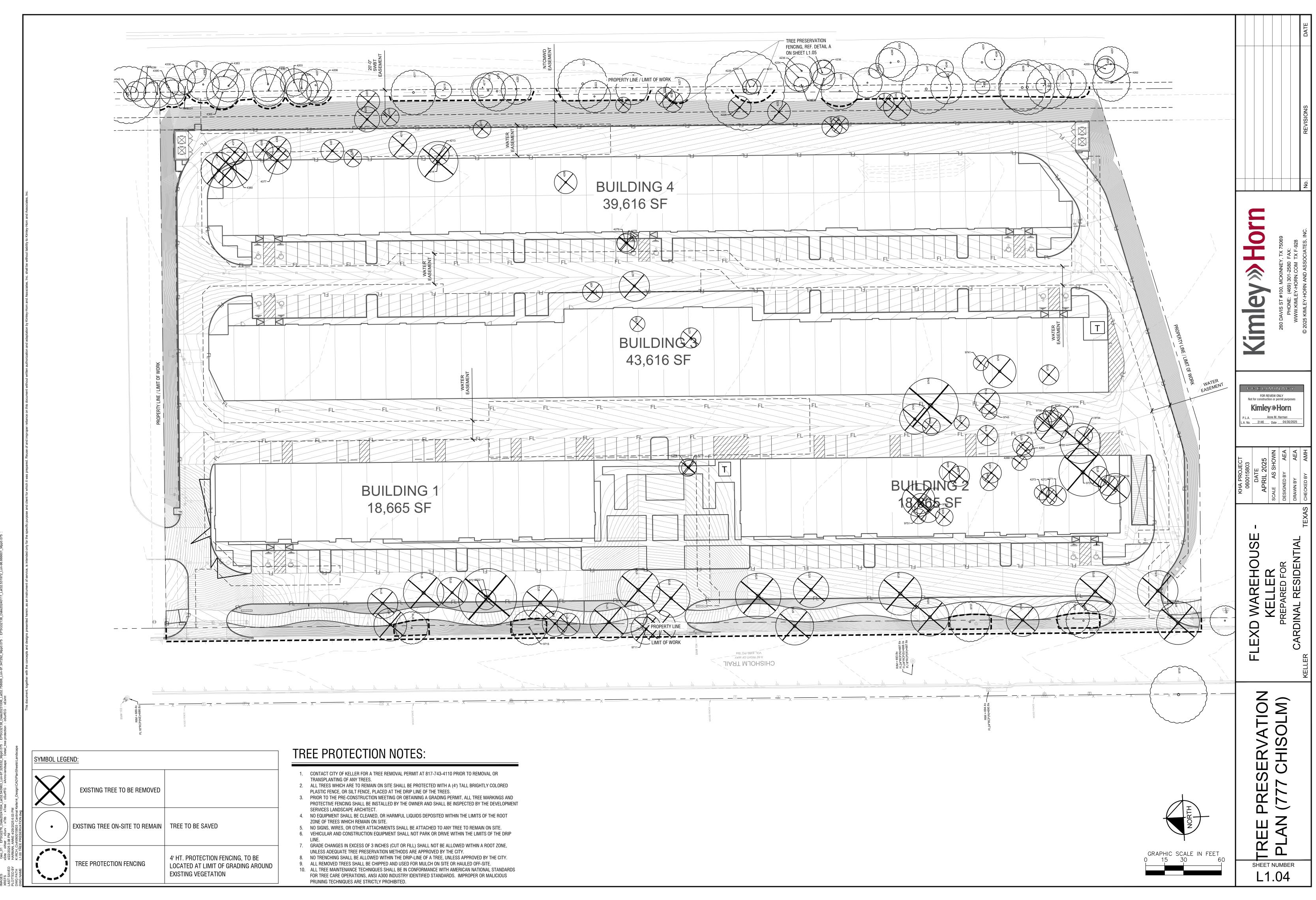
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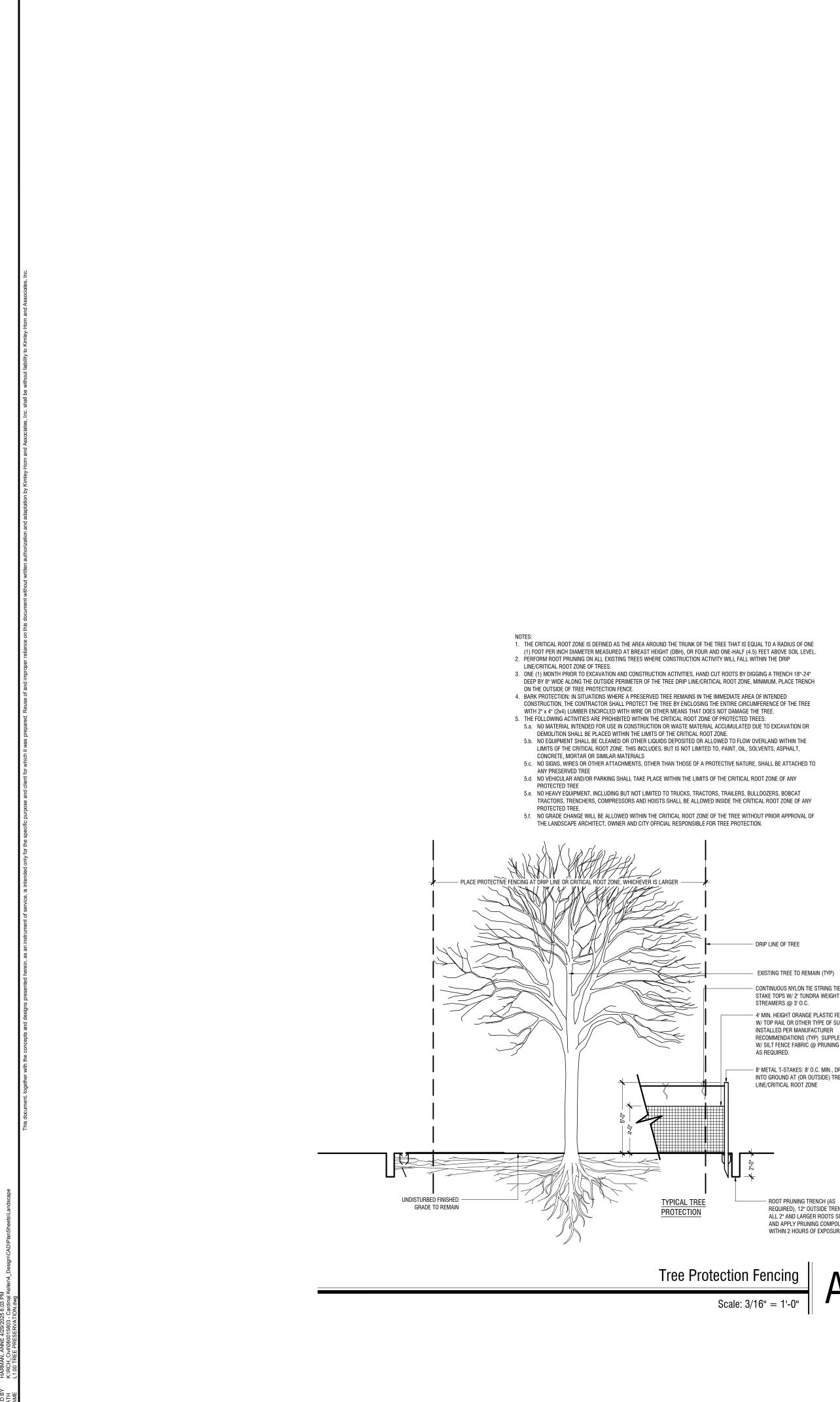
SAVED 4/22/2025 3:08 PM TED BY HARMAN, ANNE 4/29/2025 6:02 PM





Geo_01 : EPSG2276 _ xSite : xWatr : xSurv : 4/22/2025 3:08 PM HARMAN, ANNE 4/29/20 K:NCH_Civil060015603 L1.00 TREE PRESERVA



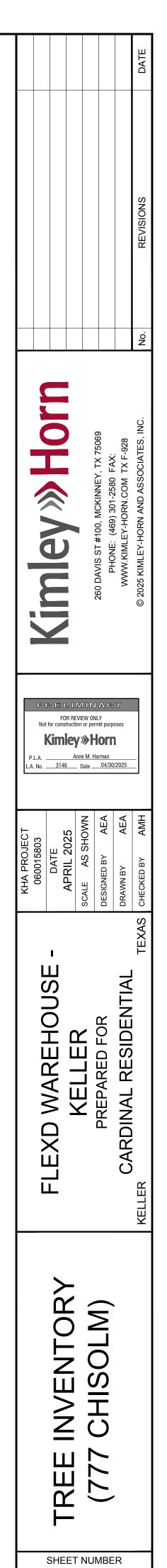


Tree	-			DBH		Mitigati
Number	Scientific Name	Common Name	Classification	(in.)	Action	Inches
	Umus americana	EM	Quality	9	Remove (Firelane)	Exemp
	Celtis occidentalis	HACKBERRY	Non-protected	7	Remove (Firelane)	Exemp
	Juniperus virginiana		Quality (outside boundary)	, 11	Preserve Existing Tree	
	Celtis occidentalis				•	
		HACKBERRY	Non-protected (outside boundary)	13	Preserve Existing Tree	
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	10	Preserve Existing Tree	
4206	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	9	Preserve Existing Tree	
4207	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	13	Preserve Existing Tree	
4208	Umus americana	EM	Quality	9	Remove (Utility Easement)	Exemp
	Umus americana	EM	Quality	10	Remove (Utility Easement)	Exemp
	Umus americana		Quality	7	Remove (Utility Easement)	Exemp
						LACITY
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	18	Preserve Existing Tree	
	Umus americana	EM	Quality	11	Remove (Firelane)	Exem
4213	Umus americana	EM	Quality	8	Remove (Firelane)	Exem
4214	Umus americana	EM	Quality	16	Remove (Building Pad)	Exem
4215	Umus americana	EM	Quality	7	Remove (Firelane)	Exem
4216	Umus americana	EM	Quality (outside boundary)	7	Preserve Existing Tree	
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	8	Preserve Existing Tree	
	Celtis occidentalis	HACKBERRY		14	Preserve Existing Tree	
			Non-protected (outside boundary)		-	
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	16	Preserve Existing Tree	
4220	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	12	Preserve Existing Tree	
4221	Umus americana	EM	Quality (outside boundary)	20	Preserve Existing Tree	
4222	Celtis occidentalis	HACKBERRY	Non-protected	13	Preserve Existing Tree	
	Umus americana	EM	Quality	6	Remove (Utility Easement)	Exem
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	13	Preserve Existing Tree	
	Umus americana	EM	Quality	8	Remove (Utility Easement)	Exem
4226	Celtis occidentalis	HACKBERRY	Non-protected	8	Remove (Utility Easement)	Exem
4227	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	10	Preserve Existing Tree	
	Umus americana		Quality	9	Remove (Utility Easement)	Exem
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	32	Preserve Existing Tree	
4230	Umus americana	EM	Quality (outside boundary)	6	Preserve Existing Tree	
4231	Umus americana	EM	Quality (outside boundary)	6	Preserve Existing Tree	
4232	Umus americana	EM	Quality	9	Remove (Utility Easement)	Exem
4233	Umus americana	EM	Quality (outside boundary)	6	Preserve Existing Tree	
	Umus americana	EM	Quality (outside boundary)	11	Preserve Existing Tree	
	Umus americana		• , •,		•	
			Quality (outside boundary)	13	Preserve Existing Tree	
	Umus americana	EM	Quality (outside boundary)	9	Preserve Existing Tree	
4237	Umus americana	EM	Quality (outside boundary)	10	Preserve Existing Tree	
4238	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	6	Preserve Existing Tree	
4239	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	15	Preserve Existing Tree	
	Celtis occidentalis	HACKBERRY	Non-protected	8	Remove (Firelane)	Exem
			-		, ,	
	Umus americana	EM	Quality	7	Remove (Firelane)	Exem
	Celtis occidentalis	HACKBERRY	Non-protected	11	Remove (Utility Easement)	Exem
4243	Celtis occidentalis	HACKBERRY	Non-protected	7	Remove (Utility Easement)	Exem
4244	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	12	Preserve Existing Tree	
4245	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	6	Preserve Existing Tree	
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	12	Preserve Existing Tree	
					•	
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	20	Preserve Existing Tree	
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	8	Preserve Existing Tree	
4249	Umus americana	EM	Quality (outside boundary)	7	Preserve Existing Tree	
4250	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	13	Preserve Existing Tree	
4251	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	16	Preserve Existing Tree	
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary		Preserve Existing Tree	
	Celtis occidentalis	HACKBERRY			Preserve Existing Tree	
			Non-protected (outside boundary)	22	3	
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	6	Preserve Existing Tree	
4255	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	16	Preserve Existing Tree	
4256	Umus americana	EM	Quality (outside boundary)	19	Preserve Existing Tree	
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	18	Preserve Existing Tree	
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	12	Preserve Existing Tree	
	Umus americana			8	•	
			Quality (outside boundary)		Preserve Existing Tree	
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	7	Preserve Existing Tree	
	Pyrud calleryana	BRADFORD PEAR	Non-protected (outside boundary)	14	Preserve Existing Tree	
4262	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	15	Preserve Existing Tree	
4263	Umus americana	EM	Quality	7	Remove (Building Pad)	Exem
	Celtis occidentalis	HACKBERRY	Non-protected	8	Remove (Building Pad)	Exem
	Robinia pseudoacad		Non-protected	8	Remove (Building Pad)	Exem
			•		· • /	
	Umus americana	EM	Quality	7	Remove (Building Pad)	Exem
	Umus americana	EM	Quality	8	Remove (Building Pad)	Exem
4268	Umus americana	EM	Quality	6	Remove (Building Pad)	Exem
4269	Celtis occidentalis	HACKBERRY	Non-protected	7	Remove	
		1	· · · · · · · · · · · · · · · · · · ·		Remove (Parking) 20%	
1270	Umus americana	ЕМ	Quality	8	Mitigation allowance	Exemp
					-	
	Umus americana	EM	Quality	8	Remove (Building Pad)	Exem
	Umus americana	EM	Quality	7	Remove (Building Pad)	Exem
	Umus americana	EM	Quality	6	Remove (Building Pad)	Exem
4274	Juniperus virginiana	ŒDAR	Quality	7	Remove	7
	Juniperus virginiana		Quality	6	Remove	6
	Umus americana		Quality	8	Remove (Building Pad)	Exem
			•		· • /	
4277	Umus americana	EM	Quality	12	Remove (Firelane)	Exem
					Remove (Parking) 20%	
4070	Umus americana	EM	Quality	8	Mitigation allowance	Exemp
42/8	Celtis occidentalis	HACKBERRY	Non-protected	7	Remove	
	Umus americana		Quality	9	Remove (Building Pad)	Exem
4279					· • /	
4279 4280		EM	Quality	8	Remove (Firelane)	Exem
4279 4280 4281	Umus americana			-	U Neuro es un (Durit ell'un es De el)	Gom
4279 4280 4281	Umus americana Juniperus virginiana		Quality	6	Remove (Building Pad)	Exem
4279 4280 4281 4282				6 6	Preserve Existing Tree	DXem
4279 4280 4281 4282 4331	Juniperus virginiana Celtis occidentalis	CEDAR HACKBERRY	Non-protected (outside boundary)	6	Preserve Existing Tree	Dieli
4279 4280 4281 4282 4331 4332	Juniperus virginiana Celtis occidentalis Celtis occidentalis	CEDAR HAOKBERRY HAOKBERRY	Non-protected (outside boundary) Non-protected (outside boundary)	6 9	Preserve Existing Tree Preserve Existing Tree	Exem
4279 4280 4281 4282 4331 4332 4342	Juniperus virginiana Celtis occidentalis Celtis occidentalis Celtis occidentalis	CEDAR HACKBERRY HACKBERRY HACKBERRY	Non-protected (outside boundary) Non-protected (outside boundary) Non-protected (outside boundary)	6 9 10	Preserve Existing Tree Preserve Existing Tree Preserve Existing Tree	
4279 4280 4281 4282 4331 4332 4342 4343	Juniperus virginiana Celtis occidentalis Celtis occidentalis	CEDAR HAOKBERRY HAOKBERRY	Non-protected (outside boundary) Non-protected (outside boundary)	6 9	Preserve Existing Tree Preserve Existing Tree	Exemp

- CONTINUOUS NYLON TIE STRING TIED TO STAKE TOPS W/ 2' TUNDRA WEIGHT ORANGE STREAMERS @ 3' O.C. - 4' MIN. HEIGHT ORANGE PLASTIC FENCING W/ TOP RAIL OR OTHER TYPE OF SUPPORT, INSTALLED PER MANUFACTURER RECOMMENDATIONS (TYP) SUPPLEMENT W/ SILT FENCE FABRIC @ PRUNING TRENCH - 8' METAL T-STAKES: 8' O.C. MIN., DRIVEN 2' INTO GROUND AT (OR OUTSIDE) TREE DRIP LINE/CRITICAL ROOT ZONE

> - Root Pruning Trench (As REQUIRED), 12" OUTSIDE TRENCH. CUT ALL 2" AND LARGER ROOTS SQUARE AND APPLY PRUNING COMPOUND WITHIN 2 HOURS OF EXPOSURE

4055				44	Deserve Edictive Trees	
	Ulmus americana Celtis occidentalis	ELM HACKBERRY	Quality (outside boundary)	11 13	Preserve Existing Tree	
	Pyrud calleryana	BRADFORD PEAR	Non-protected (outside boundary) Non-protected	13	Preserve Existing Tree Remove (Firelane)	Evomot
	Umus americana		Quality	8	Remove (Firelane)	Exempt Exempt
	Umus americana		Quality	16	Remove (Building Pad)	Exempt
	Umus americana		Quality (outside boundary)	13	Preserve Existing Tree	Litempt
	Umus americana		Quality	10	Remove (Firelane)	Exempt
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	11	Preserve Existing Tree	Exempt
	Umus americana	EM	Quality (outside boundary)	13	Preserve Existing Tree	
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	13	Preserve Existing Tree	
	Umus americana	EM	Quality	10	Remove (Firelane)	Exempt
	Umus americana	EM	Quality	10	Remove (Building Pad)	Exempt
	Umus americana		Quality (outside boundary)	8	Preserve Existing Tree	Excitipt
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	14	Preserve Existing Tree	
	Umus americana	EM	Quality (outside boundary)	12	Preserve Existing Tree	
	Umus americana	EM	Quality	17	Remove (Firelane)	Exempt
	Umus americana	EM	Quality	16	Remove (Firelane)	Exempt
	Umus americana		Quality	16	Remove (Firelane)	Exempt
	Umus americana		Quality	13	Preserve Existing Tree	Livempt
	Umus americana	EM	Quality	13	Preserve Existing Tree	
	Umus americana		Quality	14	Remove (Right-of-way)	Exempt
	Umus americana		Quality	13	Preserve Existing Tree	Licempt
	Umus americana Umus americana		Quality	15	Remove	15
	Umus americana Umus americana		Quality	15	Remove (Right-of-way)	
			-			Exempt
	Umus americana Umus americana		Quality Quality	13 12	Remove (Firelane) Remove (Firelane)	Exempt Exempt
			-		Remove	 15
	Umus americana	EM	Quality	15		
	Umus americana	E.M.	Quality	9	Remove (Right-of-way)	Exempt
	Umus americana	EM	Quality	10	Remove (Right-of-way)	Exempt
	Umus americana	EM	Quality	14	Preserve Existing Tree	
	Umus americana	EM	Quality	13	Preserve Existing Tree	40
	Umus americana	EM	Quality	13	Remove	13
	Umus americana	EM	Quality	12	Remove (Firelane)	Exempt
	Umus americana	EM	Quality	16	Remove (Firelane)	Exempt
	Ulmus americana	EM	Quality	12	Remove (Firelane)	Exempt
	Umus americana	EM	Quality	8	Remove (Firelane)	Exempt
	Umus americana	EM	Quality	23	Remove (Firelane)	Exempt
	Umus americana	EM	Quality	14	Remove	14
	Ulmus americana	EM	Quality	17	Remove (Firelane)	Exempt
	Umus americana	EM	Quality	15	Remove (Firelane)	Exempt
	Umus americana	EM	Quality	18	Remove (Firelane)	Exempt
	Umus americana	EM	Quality	14	Remove (Firelane)	Exempt
	Ulmus americana	EM	Quality	17	Remove (Firelane)	Exempt
	Celtis occidentalis	HACKBERRY	Non-protected	12	Remove (Building Pad)	Exempt
	Celtis occidentalis	HACKBERRY	Non-protected	8	Remove (Building Pad)	Exempt
	Umus americana	EM	Quality	19	Remove (Building Pad)	Exempt
	Celtis occidentalis	HACKBERRY	Non-protected	8	Remove (Building Pad)	Exempt
	Celtis occidentalis	HACKBERRY	Non-protected	16	Remove	
	Ulmus americana	EM	Quality	7	Remove	7
	Celtis occidentalis	HACKBERRY	Non-protected	13	Remove (Firelane)	Exempt
	Prosopis glandulosa		Non-protected	10	Remove (Firelane)	Exempt
	Ulmus americana	ВМ	Quality	6	Remove (Firelane)	Exempt
	Celtis occidentalis	HACKBERRY	Non-protected	7	Remove (Firelane)	Exempt
	Ulmus americana	ВМ	Quality	8	Remove (Building Pad)	Exempt
	Celtis occidentalis	HACKBERRY	Non-protected	13	Remove (Building Pad)	Exempt
	Ulmus americana	EM	Quality	6	Remove (Building Pad)	Exempt
	Celtis occidentalis	HACKBERRY	Non-protected	10	Remove	
9743	Celtis occidentalis	HACKBERRY	Non-protected	6	Remove (Firelane)	Exempt
9744	-	MISC. TREE	Quality	8	Remove	8
9745	Celtis occidentalis	HACKBERRY	Non-protected	6	Remove (Firelane)	Exempt
9746	Celtis occidentalis	HACKBERRY	Non-protected	7	Remove (Firelane)	Exempt
9747	Ulmus americana	EM	Quality	12	Remove (Firelane)	Exempt
9748	Ulmus americana	ЕМ	Quality	22	Remove (Firelane)	Exempt
9749	Ulmus americana	ЕМ	Quality	13	Remove (Building Pad)	Exempt
9750	Celtis occidentalis	HACKBERRY	Non-protected	8	Remove (Building Pad)	Exempt
	Ulmus americana	EM	Quality	6	Remove (Building Pad)	Exempt
	Ulmus americana	EM	Quality	9	Remove (Building Pad)	Exempt
	Celtis occidentalis	HACKBERRY	Non-protected (outside boundary)	23	Preserve Existing Tree	•
		1			-	
			Total Inche	es Ren	noved (Quality Trees Only):	85



TOTAL 85 QUALITY TREE CALIPER INCHES REMOVED

22 - 4" CALIPER TREES PLANTED ONSITE TO MEET MITIGATION

L1.05

LANDSCAPE GENERAL NOTES:

CITY OF KELLER LANDSCAPE CODE CALCULATIONS:

1.	LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.	
2.	IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF	
	ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE	Site Data
	DRAWINGS.	Total Site Area
3.	ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND	Parking Spaces Provid
	MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED,	Total Trees
4	DESTROYED, OR REMOVED.	Total Mitigation Requi
4.	LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.	Open Space
5.	FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE	15% Open Space 134,635 x 15% = 20,
	A SMOOTH CONDITION PRIOR TO PLANTING.	Landscape Buffe
6.	ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S	

- 6. ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
- LANDSCAPE CONTRACTOR TO PROVIDE STEEL EDGING BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE 8. PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. LATEST EDITION AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- 10. ALL NEW PLANTING AREAS TO BE AMENDED PER SPECIFICATIONS. 11. ANY PLANT MATERIAL THAT DOES NOT SURVIVE SHALL BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN THIRTY (30) DAYS.
- 12. PLANT MATERIAL SHALL BE PRUNED AS NECESSARY TO CONTROL SIZE BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY AND PEDESTRIAN PASSAGE OR TO ACHIEVE A CONTINUOUS OPAQUE HEDGE IF REQUIRED.
- 13. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
- 14. ALL LIME STABILIZED SOIL & INORGANIC SELECT FILL FOR BUILDING SHOULD BE REMOVED FROM PLANTING AREAS TO A DEPTH OF 24" & REPLACED WITH ORGANIC IMPORTED TOPSOIL FILL.
- 15. CONTRACTOR TO PROVIDE 12 MONTH WARRANTY AND MAINTENANCE FOR ALL PLANT MATERIAL FROM DATE OF SUBSTANTIAL COMPLETION.
- 16. ALL TREES OVERHANGING PEDESTRIAN PATHWAYS TO BE PRUNED TO BE 7' CLEAR. ALL
- TREES OVERHANGING FIRE LINE / VEHICULAR STREET TO BE PRUNED TO BE 14' CLEAR. 17. ALL AREAS OUTSIDE LIMIT OF WORK DISTURBED BY CONSTRUCTION ACTIVITY TO BE FINE GRADED AND PLANTED WITH BERMUDA HYDROMULCH WITH TEMPORARY IRRIGATION UNTIL ESTABLISHED.
- 18. ALL LANDSCAPE AREAS, WHETHER REQUIRED OR NOT, MUST BE EQUIPPED WITH A FULLY AUTOMATIC ELECTRONIC LANDSCAPE IRRIGATION SYSTEM DESIGNED AND INSTALLED IN COMPLIANCE WITH CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY AND CITY OF CARROLLTON LANDSCAPE IRRIGATION REGULATIONS. A FULLY DETAILED IRRIGATION PLAN WILL BE SUBMITTED WITH CONSTRUCTION PLANS.
- 19. ALL LANDSCAPED AREAS ARE TO BE MAINTAINED IN ACCORDANCE WITH CITY **REGULATIONS.**

KELLER FLEXDEV	1
City of Keller	
Code Calculations Cha	t
150 Bear Creek Parl	way
Site Data	
Total Site Area	
Parking Spaces Provided	
Total Trees	
Total Mitigation Required (43 Caliper Inches)	11 - 4
Open Space	
15% Open Space 134,635 x 15% = 20,195 SF	
Landscape Buffer	
30' min. landscape buffer adjacent to residential uses or zoning	
15' min. landscape buffer adjacent to all other public streets	
10' min. landscape buffer adjacent to side and rear propert lines when adjacent to non-residential uses or zoning	
Minimum three inch (3") caliper canopy trees spaced based on projected nature tree canopy widths in a straight line near the center of all other required buffers (60' max spacing)	
Bear Creek Parkway (392.2 LF not including drive and triangle of visibility)	
<u>Chisolm Trail</u> (218.68 LF not including drive and triangle of visibility) 218.68 LF / 60 FT = 4 Trees	
*Existing trees of equal or greater size located within a required buffer may be counted toward the buffer tree requirement	
Parking Lot Landscaping	
Parking lots shall be 100% screened with shrubs or berms adjacent to all	

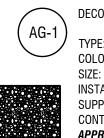
arking Lot Lanuscaping	
arking lots shall be 100% screened with shrubs or berms adjacent to all	
ublic streets	
Large tree / Island (size of one parking space)	
Large trees / Island (size of two parking space)	

15% min. of all parking lots shall be landscaped

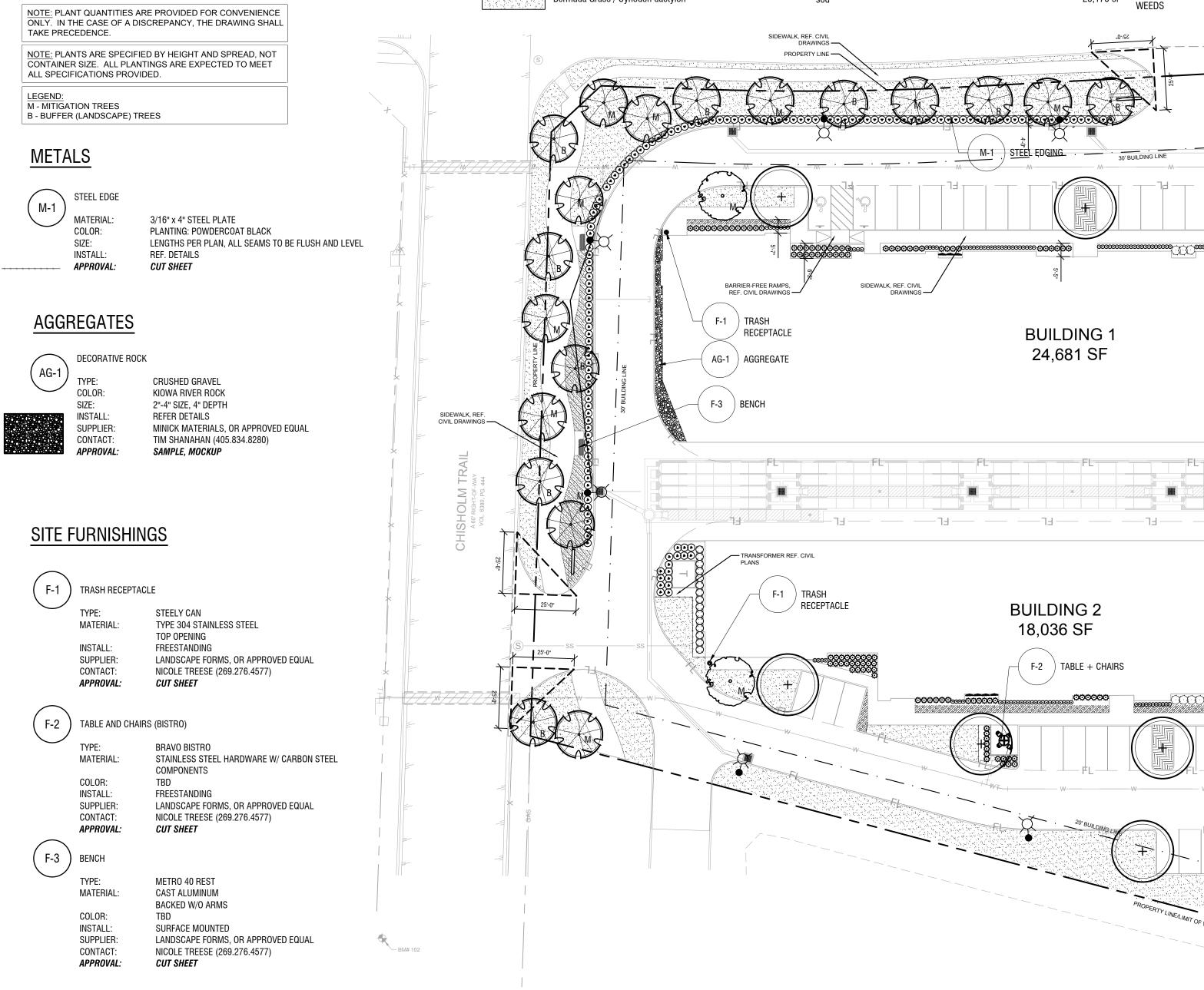
8,435 Total SF x 15% = 1,265 SF

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHAL
TAKE PRECEDENCE.





CRUSHED GRAVEL KIOWA RIVER ROCK 2"-4" SIZE, 4" DEPTH REFER DETAILS



CAST ALUMINUM
BACKED W/O ARMS
TBD
SURFACE MOUNTED
LANDSCAPE FORMS, OR APPRO
NICOLE TREESE (269.276.4577)
CUIT QUEET

,	
AC	SF
3.09	134,635
51	
34	
4" Caliper Trees Replac	ced Onsite (54 Inches)
Required	Provided
20,195 SF	8,386 SF Trail System 12,472 SF Open Area
Required	Provided
YES	YES
YES	YES
YES	YES
YES	YES
7	7
4	4
Required	Provided
YES	YES
9	9
-	-
1,265 SF	2,204 SF

PL	_ANT	SCHEDULES:							LEGEND:				DAT
<u>SYM</u>	IBOL	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING		QTY	REMARKS		PROPERTY LINE SETBACK LINE			
	ES +	Lacebark Elm / Ulmus parvifolia	4" cal	12`-14` ht	As Shown		9	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER, 7 CLEAR		PROPOSED EASEMENT EXISTING EASEMENT PROPOSED FIRE LANE			
A Start		Live Oak / Quercus virginana	4" cal	12`-14` ht	As Shown		2	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER, 7`CLEAR AT SIDEWALKS, 14` CLEAR AT FIRELANE		EXISTING OVERHEAD POWER BARRIER FREE RAMP (BFR) NUMBER OF PARKING SPAC			REVISIONS
A Row		Shantung Maple / Acer truncatum	4" cal	12`-14` ht	As Shown		23	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, 7' CLEAR AT SIDEWALKS, 14' CLEAR AT FIRELANE	10 ∝ ∳-	ROW EXISTING POWER POLE EXISTING FIRE HYDRANT			RE
SHR		Brodie Juniper / Juniperus virginiana 'Brodie'	7 gal	48" ht. min.	As shown		7	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	S D 	EXISTING SANITARY SEWER EXISTING STORM MANHOLE EXISTING SIGN	MANHOLE		No.
	◦) ∧₁	Dwarf English Boxwood / Buxus sempervirens 'Suffruticosa'	3 gal	12" h X 12" w	18" OC		124	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	B M	BUFFER TREE MITIGATION TREE			
	12.5	Dwarf Maiden Grass / Miscanthus sinensis 'Yakushima'	3 gal	24" h x 18" w			189	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED					
	*)	Dwarf Wax Myrtle / Myrica cerifera	3 gal	18" h x 24" w			147	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED		KIMLE	LANDSCAPE ARCHITECT Y-HORN AND ASSOCIATES, INC. 0 DAVIS STREET, SUITE 100		<u> </u>
	\Rightarrow	Nellie Stevens Holly / Ilex x `Nellie R Stevens`	15 gal	5`hX2`w	48" OC		11	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED			MCKINNEY, TEXAS 75069 ELEPHONE: (469) 301-2580 TBPE NO. F-928	75069	
م ع ۲	$\sum_{i=1}^{n}$	Star Jasimine / Trachelospermum jasminoides Wintergem Boxwood / Buxus microphylla var. japonica 'Winter Gem'	7 gal 3 gal	24" h x 24" w 24" h x 24" w			15 15	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED		CON	ITACT: ANNE HARMAN, PLA, LI	COM TX F	
					30 00							ACKINNEY 301-2580	
<u>SYM</u>		COMMON / BOTANICAL NAME	CONT.	<u>SIZE</u>		<u>SPACING</u>	<u>QTY</u>	REMARKS			NORTH	#100, N (469)	HORN
		<u>COVERS</u> Asian Jasmine / Trachelospermum asiaticum	4"pot	6" h X 6" w		12" o.c.	298	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED				DAVIS ST #	KIMLEY-
		Berkeley Sedge / Carex divulsa	1 gal	6" h X 12" w		12" o.c.	766	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED					2025 K
		Mexican Feather Grass / Nassella tenuissima	1 gal	12"H x 12"W		18" o.c.	348	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED		GR A Q	APHIC SCALE IN FEET 15 30 60		O
SOD	<u>)</u>	Bermuda Grass / Cynodon dactylon	sod				25,175 sf	SOD TO HAVE TIGHT, SAND FILLED JOINTS AND BE FREE OF WEEDS				×	
	-1	SIDEWALK, RE DR/					-u ⁻¹	szł					
	S					en an an an Artain						FOR REVIEW ONLY Not for construction or permit purposes	
				ÌP	1-12	TOD	$\overline{\mathbb{A}}$					P.L.A. Anne M. Harman	
	×				Sogoosa							L.A. No. <u>3146</u> Date <u>04/30/2025</u>	<u>;</u>
			X		M-1	 <u>STEE</u> L EDGING	30						
								M M M M M M M M M M M M M M M M M M M				UECT 803 E 2025 SHOWN AEA AEA	AMH
			NP Y	P								PROJEC 015803 ATE IL 2025 AS SHO BY P	BΥ
	-15			-								KHA F 060 060 APR ALE ALE SIGNED	ECKED
			2000000			5. 5. 5.							GH
	25	BARRIER-FREE RAMPS, REF. CIVIL DRAWINGS	5	SIDEWALK, REF. CIVIL DRAWINGS —]			TABLE + CHAIRS F-2					EXA:
	R	F-1 TRASH RECEPTACLE				BUILD	ING 1	TRASH F-1				р і ІШ _	
		AG-1 AGGREGATE				24,68		RECEPTACLE			ROAL		
	PROPE							AGGREGATE AG-1			AILF	O K	<i>∠</i> ⊔
LK, REF. AWINGS	G	F-3 BENCH											ן נ
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WAY 444	C.										NO		I A L
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25'-0"			IL					\langle					ر يە
X		F-1) TF	ASH CEPTACLE										KELLF
	¥ 20		UEP TAULE			BUILDIN 18,036		TRASH RECEPTACLE					
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LANDSCAPE GENERAL NOTES:

CITY OF KELLER LANDSCAPE CODE CALCULATIONS:

- 1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- 3. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- 4. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- 5. FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- 6. ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
- 7. LANDSCAPE CONTRACTOR TO PROVIDE STEEL EDGING BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
- 8. ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. LATEST EDITION AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- 9. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- 10. ALL NEW PLANTING AREAS TO BE AMENDED PER SPECIFICATIONS. 11. ANY PLANT MATERIAL THAT DOES NOT SURVIVE SHALL BE REPLACED WITH AN EQUIVALENT
- SIZE AND SPECIES WITHIN THIRTY (30) DAYS. 12. PLANT MATERIAL SHALL BE PRUNED AS NECESSARY TO CONTROL SIZE BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY AND PEDESTRIAN PASSAGE OR TO ACHIEVE A CONTINUOUS OPAQUE HEDGE IF REQUIRED.
- 13. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
- 14. ALL LIME STABILIZED SOIL & INORGANIC SELECT FILL FOR BUILDING SHOULD BE REMOVED FROM PLANTING AREAS TO A DEPTH OF 24" & REPLACED WITH ORGANIC IMPORTED TOPSOIL FILL.
- 15. CONTRACTOR TO PROVIDE 12 MONTH WARRANTY AND MAINTENANCE FOR ALL PLANT MATERIAL FROM DATE OF SUBSTANTIAL COMPLETION.
- 16. ALL TREES OVERHANGING PEDESTRIAN PATHWAYS TO BE PRUNED TO BE 7' CLEAR. ALL TREES OVERHANGING FIRE LINE / VEHICULAR STREET TO BE PRUNED TO BE 14' CLEAR.
- 17. ALL AREAS OUTSIDE LIMIT OF WORK DISTURBED BY CONSTRUCTION ACTIVITY TO BE FINE GRADED AND PLANTED WITH BERMUDA HYDROMULCH WITH TEMPORARY IRRIGATION UNTIL ESTABLISHED.
- 18. ALL LANDSCAPE AREAS, WHETHER REQUIRED OR NOT, MUST BE EQUIPPED WITH A FULLY AUTOMATIC ELECTRONIC LANDSCAPE IRRIGATION SYSTEM DESIGNED AND INSTALLED IN COMPLIANCE WITH CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY AND CITY OF CARROLLTON LANDSCAPE IRRIGATION REGULATIONS. A FULLY DETAILED IRRIGATION PLAN WILL BE SUBMITTED WITH CONSTRUCTION PLANS.
- 19. ALL LANDSCAPED AREAS ARE TO BE MAINTAINED IN ACCORDANCE WITH CITY REGULATIONS.

KELLER FLEXDE	V
City of Keller	
Code Calculations Ch	nart
777 Chisolm Tr	ail
Site Data	ler s Chart Trail 22 - 4 22 - 4
Total Site Area	Code Calculations Chart 777 ChisoIm Trail 777 ChisoIm Trail vided vided quired (85 Caliper Inches) 22 - 4 49,955 SF buffer adjacent to residential uses or zoning buffer adjacent to all other public streets buffer adjacent to side and rear propert lines when idential uses or zoning n (3") caliper canopy trees spaced based on projected widths in a straight line near the center of all other Press vided or greater size located within a required buffer ward the buffer tree requirement 5.25 LF not including service drive and triangle of FT = 12 Trees qual or greater size located within a required buffer ward the buffer tree requirement caping a 100% screened with shrubs or berms adjacent to all d (size of one parking space) rking lots shall be landscaped x 15% = 4,111 SF
Parking Spaces Provided	
Total Trees	
Total Mitigation Required (85 Caliper Inches)	22 - 4
Open Space	
15% Open Space	
333,036 x 15% = 49,955 SF	
Landscape Buffer	
30' min. landscape buffer adjacent to residential uses or zoning	
15' min. landscape buffer adjacent to all other public streets	
10' min. landscape buffer adjacent to side and rear propert lines when	
adjacent to non-residential uses or zoning	
Minimum three inch (3") caliper canopy trees spaced based on projected	
mature tree canopy widths in a straight line near the center of all other	
required buffers (60' max spacing)	
Chisolm Trail (705.25 LF not including service drive and triangle of	
visibility)	
705.25 LF / 60 FT = 12 Trees	
*Existing trees of equal or greater size located within a required buffer	
may be counted toward the buffer tree requirement	
Parking Lot Landscaping	
Parking lots shall be 100% screened with shrubs or berms adjacent to all	
public streets	
1 Large tree / Island (size of one parking space)	
*15% min. of all parking lots shall be landscaped	
27,408 Total SF x $15\% = 4,111$ SF	
Variance Requested for 5ft Landscape Bed at Building Façade	
1	

** Parking Lot trees relocated due to utility conflicts

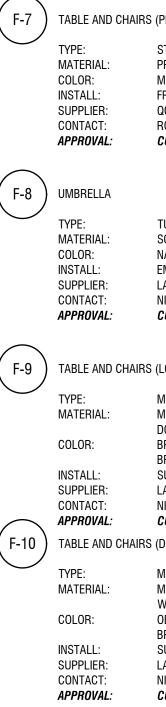
NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

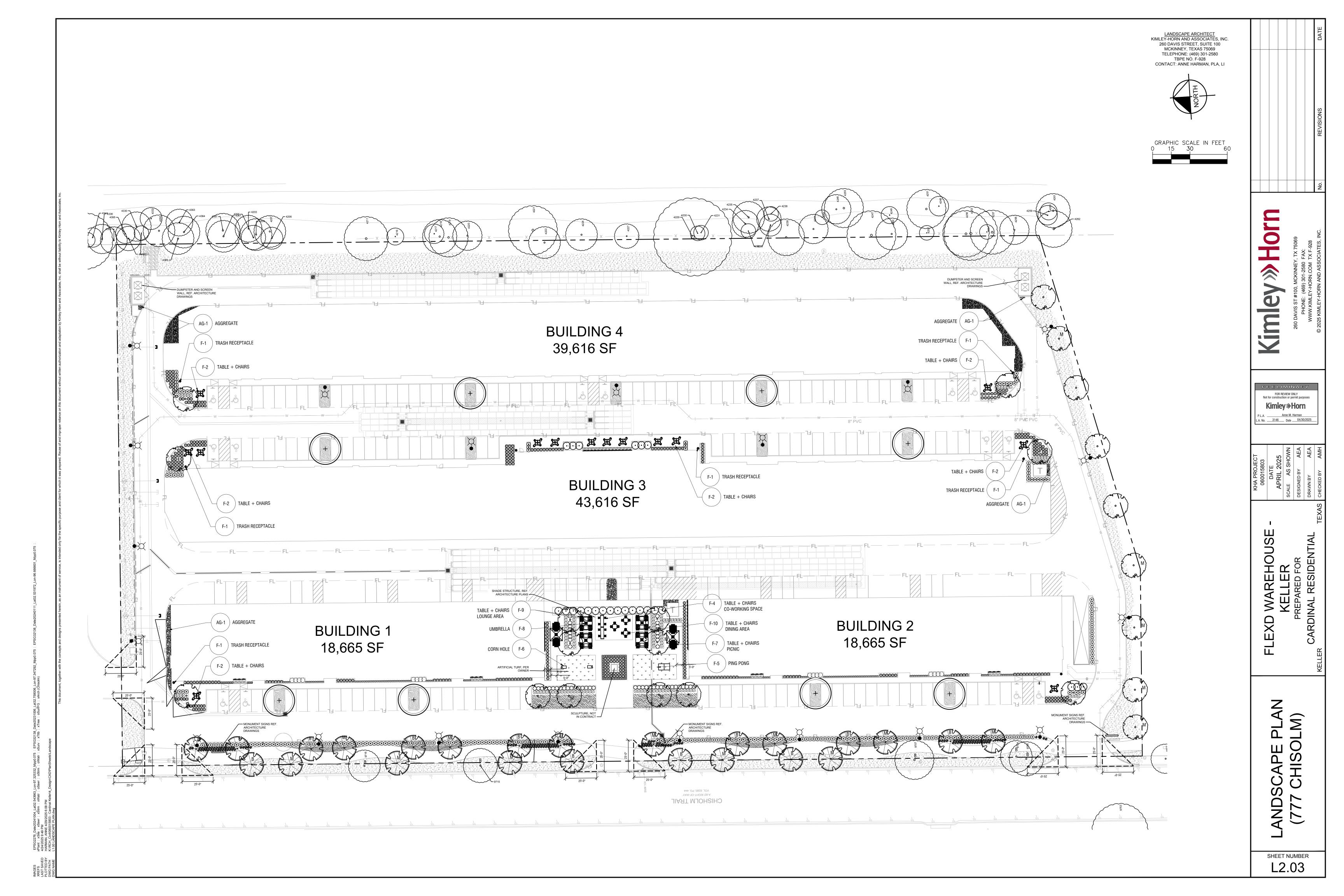
NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

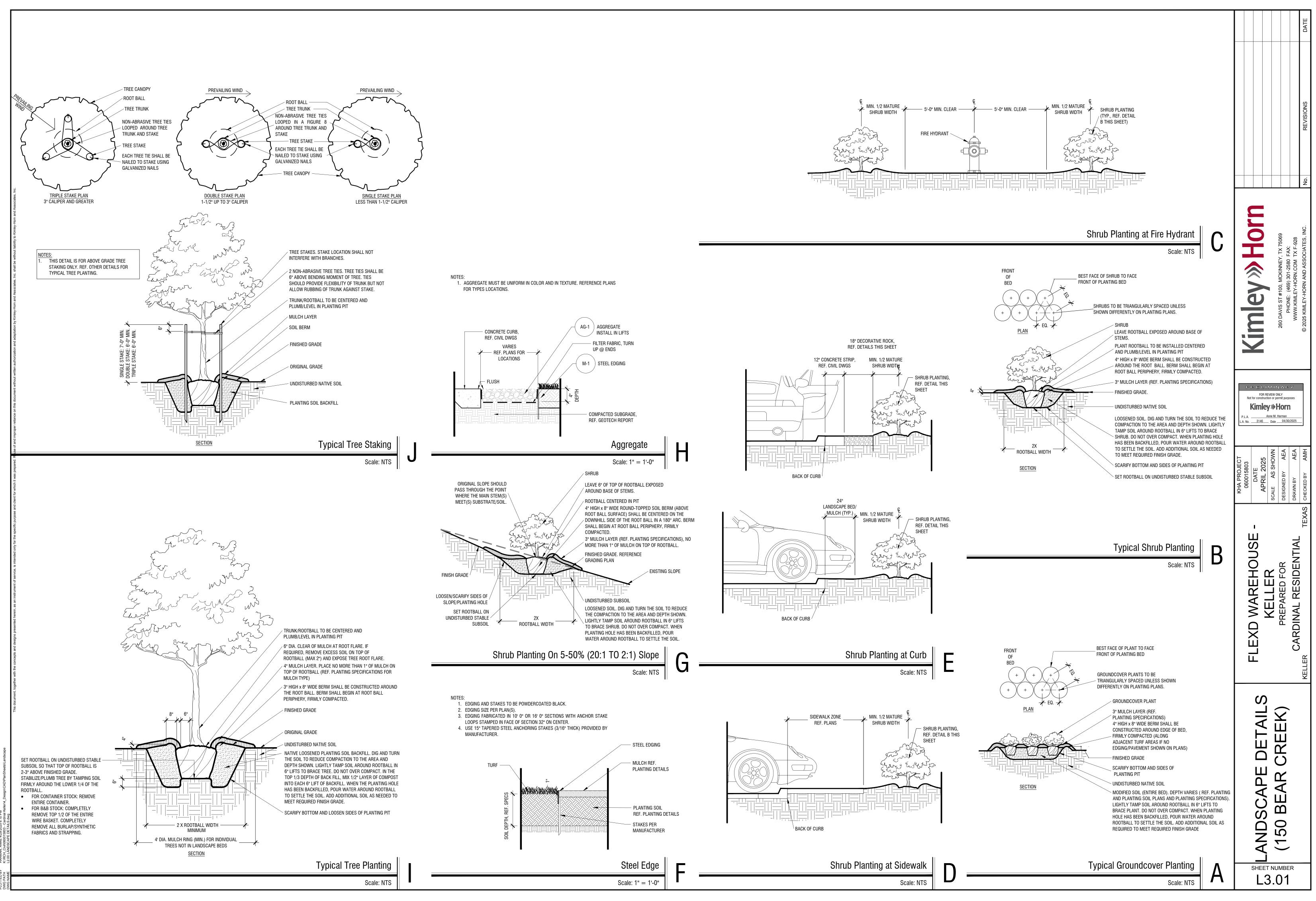
LEGEND: M - MITIGATION TREES B - BUFFER (LANDSCAPE) TREES

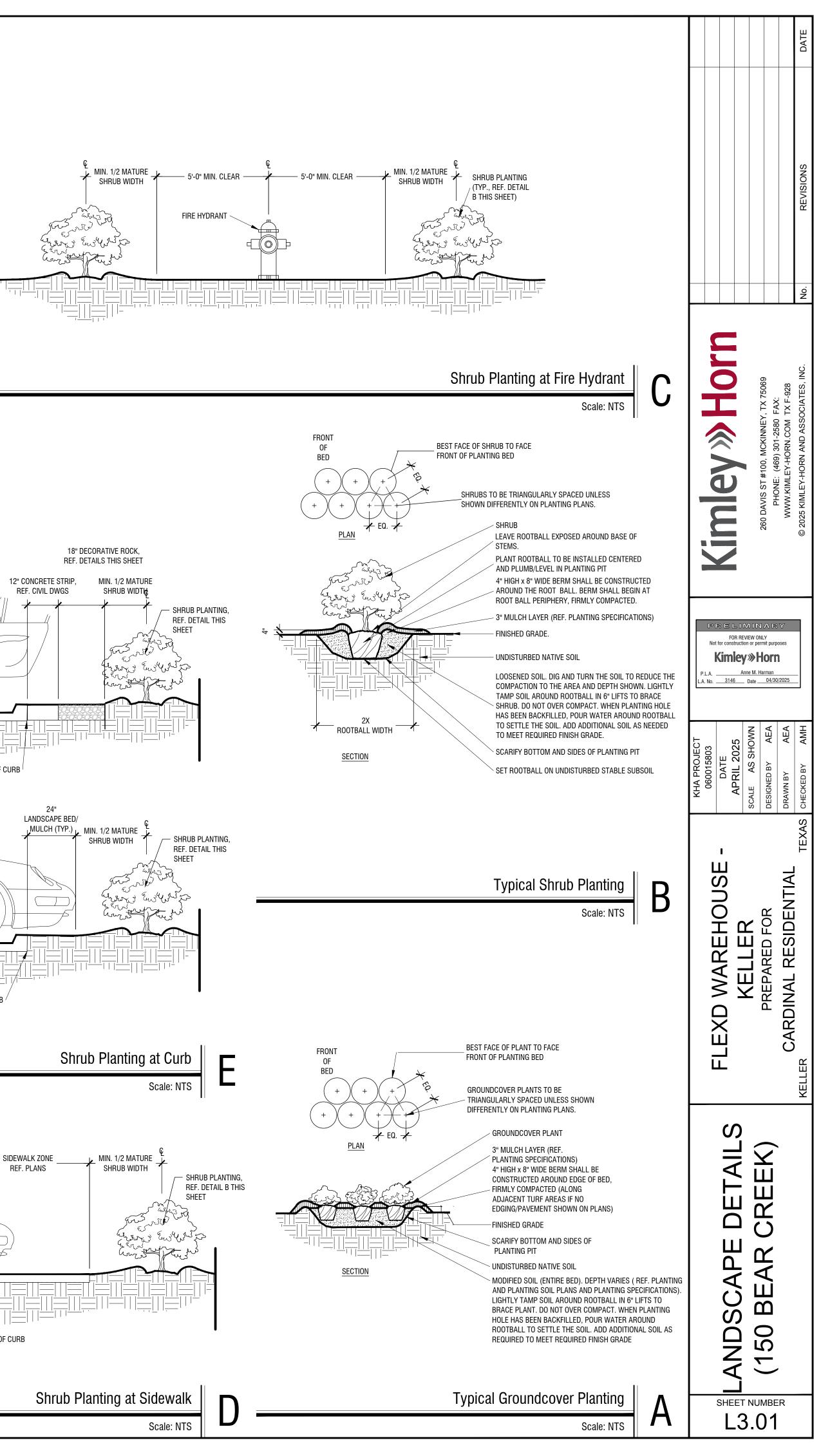
AC	SF
7.65	333,036
19	9
5	5
4" Caliper Trees Repl	aced Onsite (88 Inches)
Required	Provided
	25,481 SF Trail System
49,955 SF	24,898 SF Open Area
Required	Provided
YES	YES
YES	YES
YES	YES
110	110
YES	YES
12	12
Deguined	Duquidad
Required	Provided
YES	YES
21	21**
4,118 SF	5,584 SF

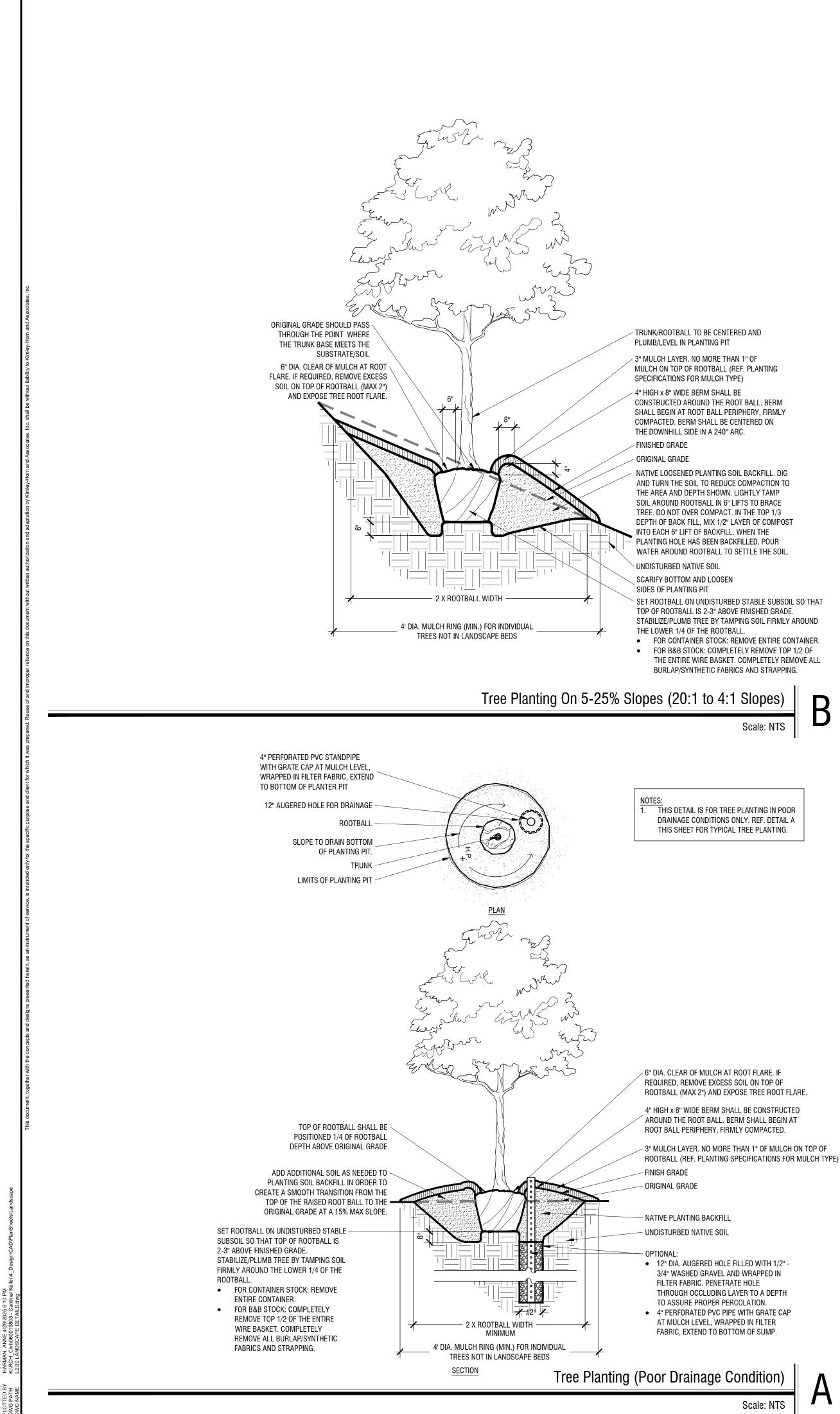
	PLANT SCHEDULES (777 CHISOLM T	RAIL):						LEGEND:		
SYM	BOL COMMON / BOTANICAL NAME	CONT.	SIZE	<u>SPACING</u>		QTY	REMARKS		PROPERTY LINE SETBACK LINE	
	ES + Lacebark Elm / Ulmus parvifolia	4" cal	12`-14` ht	As Shown		8	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER, 7` CLEAR	FL	PROPOSED EASEMENT EXISTING EASEMENT PROPOSED FIRE LANE	
	Live Oak / Quercus virginana	4" cal	12`-14` ht	As Shown		23	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER, 7 CLEAR AT SIDEWALKS, 14		EXISTING OVERHEAD POWER LINE BARRIER FREE RAMP (BFR)	
	Shantung Maple / Acer truncatum	4" cal	12`-14` ht	As Shown		24	CLEAR AT FIRELANE B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, 7' CLEAR AT SIDEWALKS, 14' CLEAR AT FIRELANE	(1) \\ \\ \\	NUMBER OF PARKING SPACES PER ROW EXISTING POWER POLE EXISTING FIRE HYDRANT	
	AMENTAL TREES	30 gal	8`-10` ht	As Shown		24	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, MULTI-TRUNK (3 MIN.), TREE FORM	С С С С	EXISTING SANITARY SEWER MANHOLE EXISTING STORM MANHOLE EXISTING SIGN	
<u>SHR</u>							WELL-DRANOTED, MOETI-THONK (3 MIN.), THE FORM		BUFFER TREE MITIGATION TREE	
	Brodie Juniper / Juniperus virginiana 'Brodie'	7 gal	48" ht. min.	As shown		16	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	<u>METALS</u>		
	Dwarf English Boxwood / Buxus sempervirens 'Suffruticosa'	3 gal	12" h X 12" w			192	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	(M-1) STEEL EDGE		75069
	Dwarf Maiden Grass / Miscanthus sinensis 'Yakushima'	3 gal	24" h x 18" w			385	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	MATERIAL: COLOR: SIZE:	3/16" x 4" STEEL PLATE PLANTING: POWDERCOAT BLACK LENGTHS PER PLAN, ALL SEAMS TO BE FLUSH AND LEVEL	
	Dwarf Wax Myrtle / Myrica cerifera	3 gal	18" h x 24" w			269	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	INSTALL:	REF. DETAILS CUT SHEET	MCKINNEY, 301-2580
	 Dwarf Yaupon / Ilex vomitoria `Nana` Mealy Blue Sage / Salvia farinacea 	3 gal 1 gal	24" h x 24" w 18" h X 18" w			122 148	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED			, - H 500,
	Mealy Blue Sage / Salvia farinacea Star Jasimine / Trachelospermum jasminoides	1 gai 7 gal	18" h X 18" w 24" h x 24" w			148 48	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	AGGREGATE	S	ST #10 DNE: (4
تع ۲	Wintergem Boxwood / Buxus microphylla var. japonica 'Winter Gen		24" h x 24" w			48 50	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED			D DAVIS ST #10 PHONE: (2 WWW.KIMLEY
	X				0040005			(AG-1) TYPE:	CRUSHED GRAVEL	260
<u>SYM</u>		<u>CONT.</u>	<u>SIZE</u>		<u>SPACING</u>	<u>QTY</u>	REMARKS	COLOR: SIZE:	KIOWA RIVER ROCK 2"-4" SIZE, 4" DEPTH REFER DETAILS	
	UND COVERS Asian Jasmine / Trachelospermum asiaticum	4"pot	6" h X 6" w		12" o.c.	1,937	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	SUPPLIER: CONTACT:	MINICK MATERIALS, OR APPROVED EQUAL TIM SHANAHAN (405.834.8280)	
	Berkeley Sedge / Carex divulsa	1 gal	6" h X 12" w		12" o.c.	171	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	APPROVAL:	SAMPLE, MOCKUP	
	Mexican Feather Grass / Nassella tenuissima	1 gal	12"H x 12"W		18" o.c.	849	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	SITE FURNIS	<u>HINGS</u>	PRELIMINARY FOR REVIEW ONLY Not for construction or permit purposes
<u>SOD</u>	Bermuda Grass / Cynodon dactylon	sod				25,406 sf	SOD TO HAVE TIGHT, SAND FILLED JOINTS AND BE FREE OF WEEDS			Kimley >> Horn P.L.A.
								(F-1) TRASH REG	STEELY CAN	
								MATERIAL:	TYPE 304 STAINLESS STEEL TOP OPENING	
								INSTALL: SUPPLIER: CONTACT: <i>APPROVAL</i>	NICOLE TREESE (269.276.4577)	KHA PROJECT 060015803 DATE APRIL 2025 ALE AS SHOWN SIGNED BY AEA
								F-2 TABLE AND	D CHAIRS (BISTRO)	KHA PF 0600 D/ APRII SCALE / DESIGNED I DESIGNED I
								ТҮРЕ:	BRAVO BISTRO	DR DE SC
								MATERIAL: COLOR: INSTALL:	: STAINLESS STEEL HARDWARE W/ CARBON STEEL COMPONENTS TBD FREESTANDING	
								SUPPLIER: CONTACT: APPROVAL	LANDSCAPE FORMS, OR APPROVED EQUAL NICOLE TREESE (269.276.4577)	
						(F-	TABLE AND CHAIRS (PICNIC)	F-3 BENCH		OUSI OUSI OR ENTIAI
							TYPE: STANDARD PICNIC (Q-STD90PT) MATERIAL: PRECAST CONCRETE	TYPE: MATERIAL:	METRO 40 REST CAST ALUMINUM	
							COLOR: MISSION WHITE INSTALL: FREESTANDING	COLOR:	BACKED W/O ARMS TBD	ARE ARED ARED ARED
							SUPPLIER:QCP CORP, OR APPROVED EQUALCONTACT:ROB ZIELINSKI (817.401.4261)APPROVAL:CUT SHEET	INSTALL: SUPPLIER: CONTACT:	NICOLE TREESE (269.276.4577)	
								APPROVAL	CUT SHEET	
						(F-	3 UMBRELLA TYPE: TUCCI PLANTATION MAX CLASSIC	(F-4) TABLE AND TYPE:	D CHAIRS (CO-WORKING SPACE) GO OUTDOORTABLE + CHIPMAN STOOL	
							MATERIAL: SQUARE W/ JAVA ALUMA-TEAK POLE FINISH COLOR: NATURAL (SUNBRELLA FABRIC)	MATERIAL:	: CAST ALUMINUM (TABLE + CHAIR) STANDING HEIGHT W/O POWER (TABLE)	
							INSTALL: EMBEDED - IN GROUND SECURITY MOUNT SUPPLIER: LANDSCAPE FORMS, OR APPROVED EQUAL CONTACT: NICOLE TREESE (269.276.4577)	COLOR: INSTALL: SUPPLIER:	BRONZE METALLIC (TABLE + CHAIR) SURFACE MOUNTED (TABLE) + FREESTANDING (STOOL) LANDSCAPE FORMS, OR APPROVED EQUAL	
							APPROVAL: CUT SHEET	SUPPLIER: Contact: <i>Approval</i>	NICOLE TREESE (269.276.4577)	
						(F-	TABLE AND CHAIRS (LOUNGE AREA)	F-5 PING PONG	3	
							TYPE: MORRISON TABLE + HARPO LOUNGE CHAIR MATERIAL: METAL INSERT SQUARE LOUNGE HEIGHT(TABLE)	TYPE: MATERIAL:	STANDARD PICNIC (Q-PP) PRECAST CONCRETE	
							DOMESTICALLY SOURCED THERMALLY MODIFIED ASH (CHAIR COLOR: BRONZE METALLIC METAL INSERT AND FRAME (TABLE)	R) COLOR: INSTALL:	MISSION WHITE FREESTANDING	
							BRONZE METALLIC (CHAIR) INSTALL: SURFACE MOUNT (TABLE) + FREESTANDING (CHAIR) SUPPLIER: LANDSCAPE FORMS, OR APPROVED EQUAL	SUPPLIER: Contact: Approval	ROB ZIELINSKI (817.401.4261)	
							CONTACT: NICOLE TREESE (269.276.4577) APPROVAL: CUT SHEET	\bigcirc		Т Ш Z
						(F-1		(F-6) CORN HOL		
							TYPE: MORRISON TABLE + EVERY DAY CHAIR MATERIAL: METAL INSERT SQUARE DINING HEIGHT (TABLE) W/O ARMS (CHAIR)	TYPE: MATERIAL: COLOR:	MISSION WHITE	
							COLOR: OBSIDIAN (METAL INSERT)/BRONZE METALLIC (FRAME)(TABL BRONZE METALLIC (CHAIR)		FREESTANDING QCP CORP, OR APPROVED EQUAL	
							SUPPLIER:LANDSCAPE FORMS, OR APPROVED EQUALCONTACT:NICOLE TREESE (269.276.4577)	CONTACT: APPROVAL		ーンウン
							APPROVAL: CUT SHEET			Ň











GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

- 1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, ND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED. 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.
- ALL EXISTING BUILDINGS WALKS WALLS PAVING PIPING AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.
- C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE. CAUSED BY CARELESS OPERATION OF EQUIPMENT STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PER CENT PER INCH OVER FOUR (4 INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER
- D. MATERIALS 1. GENERAL
- SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN.

MATERIALS SAMPLES MULCH ONE (1) CUBIC FOOT TOPSOIL ONE (1) CUBIC YARD PLANTS ONE (1) OF EACH VARIETY

B. PROTECTION OF EXISTING STRUCTURES

- 2. PLANT MATERIALS A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS NOMENCIATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES 1942 EDITION ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS STATED IN THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE
- AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST. THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER. B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR
- ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT
- C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY: SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE
- E. TOPSOIL 1. ASTM D5268, NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN 1-INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL
- 2. SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED ON-SITE OR EXISTING TOPSOIL INDISTIRBED BY GRADING OR EXCAVATION OPERATIONS. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- 3. VERIFY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY, AND SUPPLY ADDITIONAL IMPORTED TOPSOIL AS NEEDED. FOUR (4) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL TURF AREAS. TWENTY FOUR (24) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL PLANTING AREAS WITHIN INTERIOR LANDSCAPE ISLANDS AND FOUNDATION PLANTINGS. FOR ALL OTHER PLANTING AREAS, TWELVE (12) INCHES OF TOPSOIL MINIMUM TO BE PROVIDED
- 4. IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIEN 5. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6
- INCHES DEEP; DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, OR MARSHES. 6 VERIEY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS OBTAIN WRITTEN CONFIRMATION THAT PERMITS ARE CURRENT AND ACTIVE
- 7. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL. PERMITS
- SHALL BE CURRENT AND ACTIVE. 8 AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW.
- a. ORGANIC SOIL AMENDMENTS
- 1. MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW. SAWDUST, OR OTHER BEDDING MATERIALS: FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, AND MATERIAL HARMFUL TO PLANT GROWTH.
- 2. BACK TO NATURE COTTON BURR COMPOST OR APPROVED EQUIVALENT 3. COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST,
- PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL.
- 4. PECAN HULLS: COMPOSTED PECAN HULLS FOR LOCAL SOURCE.
- 5. BIOSOLIDS: USE GRADE 1 CONTAINING LOWER PATHOGEN LEVELS.
- 6. WORM CASTINGS: EARTHWORMS.
- b. INORGANIC SOIL AMENDMENTS
- 1. LIME: ASTM C602, CLASS O AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8 SIEVE AND MINIMUM OF 55 PERCENT PASSING NO. 60 SIEVE. 2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR, WITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT
- PASSING NO. 40 SIEVE 3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT **IRON AND 10 PERCENT SULFUF**
- 4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM
- 5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.
- c. PLANTING SOIL MIX

I. WATER

- 1. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MINICK MATERIALS OR APPROVED 2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL MIXED WITH 15 PERCENT
- ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND. INSTALL TO DEPTHS PER PLANTING DETAILS (12" MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
- 2. SOD/SEED AREA TOPSOIL ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, WITH 25% (MIN.) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN, AND 99% MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES IN 1 GAL (MIN.) CONTAINER.
- WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER. J. COMMERCIAL FERTILIZER
- COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA. IT SHALL BE UNFORM IN COMPOSITION DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS. FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCES. THE FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S SPECIFICATIONS:
- 1. SHRUBS AND TREES MILORGANITE, OR APPROVED EQUAL 2. ANNUALS AND GROUNDCOVERS OSMOCOTE/SIERRA BLEND 14-14-14 3. SOD - 8-8-8 FERTILIZER
- IN ADDITION TO SURFACE APPLIED FERTILIZERS, ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS 24-10-5 FORMULA, 21 GRAM OR EQUAL. THESE TABLETS SHALL BE PLACED AT A DEPTH OF ROOT BALL AT THE RATE AS SPECIFIED BY MANUFACTURER. K. MULCH

L. DIGGING AND HANDLING

- 1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSIT TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
- 2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS
- 3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.
- 4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE
- PER DETAIL 5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND
- PREPARED SUB- BASES. M. CONTAINER GROWN STOCK
- 1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION. 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN N THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- 3. PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE. 4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT N. COLLECTED STOCK
- WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE. THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY O. NATIVE STOCK
- PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW P. MATERIALS LIST
- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE BIDDERS TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSIONS OF BIDS. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE
- Q. FINE GRADING 1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED 2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
- 3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

R. PLANTING PROCEDURES

- 1 CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER ALL MORTAR CEMENT AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- 2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.
- 3 SUBGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". SITE CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATIOI BY SITE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT OR OWNER.
- 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE
- 5 GENERAL COMPLY WITH APPLICABLE FEDERAL STATE COUNTY AND LOCAL REGULATIONS. GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS AT ALL TIMES WORKMANI IKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED 6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SECTION H) TEST ALL TREE PITS. WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION LINTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW FULL HOSE STREAM ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.

- 8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES. 9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION H OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:
- TWO (2) TABLETS PER 1 GAL. PLANT THREE (3) TABLETS PER 3 GAL. PLAN - FOUR (4) TABLETS PER 10 GAL PLAN
- LARGER MATERIAL TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER 10, TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT. THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING.
- 11. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES. STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH. 12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED
- BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. 13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. TILL INTO TOP 4" THE PLANTING SOIL MIX AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
- 14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE LANDSCAPE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING. THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF THEIR INTENTIONS AND AGREE TO HOLD IARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT ANY TREES FALL DOWN AND DAMAGE PERSON OR PROPERTY
- 15. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER AND VINE BED AND TREE PI 16. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER. "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE

RECOMMENDED BY THE MANUFACTURER.

• 12" DIA. AUGERED HOLE FILLED WITH 1/2" -3/4" WASHED GRAVEL AND WRAPPED IN FILTER FABRIC. PENETRATE HOLE THROUGH OCCLUDING LAYER TO A DEPTH TO ASSURE PROPER PERCOLATION. • 4" PERFORATED PVC PIPE WITH GRATE CAP AT MULCH LEVEL, WRAPPED IN FILTER FABRIC, EXTEND TO BOTTOM OF SUMP.

Scale: NTS

Scale: NTS

AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED

S. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER. 2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY

ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE WHOLE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH THAT IS UP TO THE REQUIRED GRADE

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. APPLY FERTILIZER AT RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM. UTILIZING APPROVED MECHANICAL SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE (3) INCHES. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY. 4. SODDING

A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE B. THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND. C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS. PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A FOUR INCH MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

D. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS. THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS O THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE

A. PROVIDE FRESH, CLEAN, NEW CROP LAWN SEED MIXTURE. FURNISH TO OWNER DEALERS GUARANTEED STATEMENT OF COMPOSITION OF MIXTURE AND PERCENTAGE OF PURITY AND GERMINATION OF EACH VARIETY B. SEED MIXTURE: PROVIDE SEED OF GRASS SPECIES AND VARIETIES, PROPORTIONS BY WEIGHT AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED. SEED MIXTURES VARY BY REGION AND SEASON AND SHALL COMPLY WITH STATE DO AND LOCAL SOIL CONSERVATION SERVICE STANDARDS FOR LAWN TURF

C. DO NOT PERFORM SEEDING IN WINDY CONDITIONS.

E. PERMANENTLY SEED AND MULCH CUT AND FILL SLOPES AS CONSTRUCTION PROCEEDS TO EXTENT CONSIDERED DESIRABLE AND PRACTICAL. IN THE EVENT IT IS NOT PRACTICAL TO SEED AREAS. SLOPES SHALL BE STABILIZED WITH STRAW MULCH AND TACKIFIER, BONDED FIBER MATRIX, NETTING, BLANKETS OR OTHER MEANS TO REDUCE THE EROSIVE POTENTIAL OF THE AREA.

D. SEEDING SHALL BE DISPERSED IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.

F. SEED LAWN AREAS BY SOWING EVENLY WITH APPROVED MECHANICAL SEEDER AT RATE OF MINIMUM OF 6 POUNDS PER 1,000 SQUARE FEET. AMOUNT WILL VARY BASED ON VARIETY AND/OR SPECIES. CULTI-PACKER OR APPROVED SIMILAR EQUIPMENT MAY BE USED TO COVER SEED AND TO FORM SEEDBED IN ONE OPERATION. IN AREAS INACCESSIBLE TO CUTI-PACKER, LIGHTLY RAKE SEEDED GROUND WITH FLEXIBLE RAKES AD ROLL WITH WATER BALLAST ROLLER. AFTER ROLLING, MULCH WITH STRAW MULCH AT THE RATE OF 2 TONS PER ACRE.

G. SURFACE LAYER OF SOIL FOR SEEDED AREAS SHALL BE KEPT MOIST DURING GERMINATION PERIOD. WATER SEEDED AREAS TWICE FIRST WEEK TO MINIMUM DEPTH OF 6 INCHES WITH FINE SPRAY AND ONCE PER WEEK THEREAFTER AS NECESSARY TO SUPPLEMENT NATURAL RAIN TO EQUIVALENT OF 6 INCHES DEPTH. H. CONTRACTOR TO REAPPLY SEED AS NECESSARY IN ORDER TO GET ALL SEEDED AREAS ESTABLISHED AS INTENDED.

6. LAWN MAINTENANCE

5. SEEDING

A. WITHIN THE CONTRACT LIMITS. THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).

B. WATER EVERY DAY FOR TEN (10) SUCCESSIVE DAYS. THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) FOR TWO (2) ADDITIONAL WEEKS. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO DEPTH OF FOUR (4) INCHES. CONTRACTOR TO DETERMINE IF SITE IS IN A DROUGHT RESTRICTION AREA AND MUST FOLLOW CITY/ COUNTY PROTOCOL IF ANY ARE IN PLACE. T. CLEAN-UP

LIPON COMPLETION OF ALL PLANTING WORK AND REFORE FINAL ACCEPTANCE. THE CONTRACTOR SHALL REMOVE ALL MATERIAL FOURPMENT AND DEBRIS RESULTING FROM HIS WORK ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

U. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE. V. MAINTENANCE (ALTERNATE BID ITEM)

1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS. W. GUARANTEE

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.

2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF 90 CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.

3. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER. 4 IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND

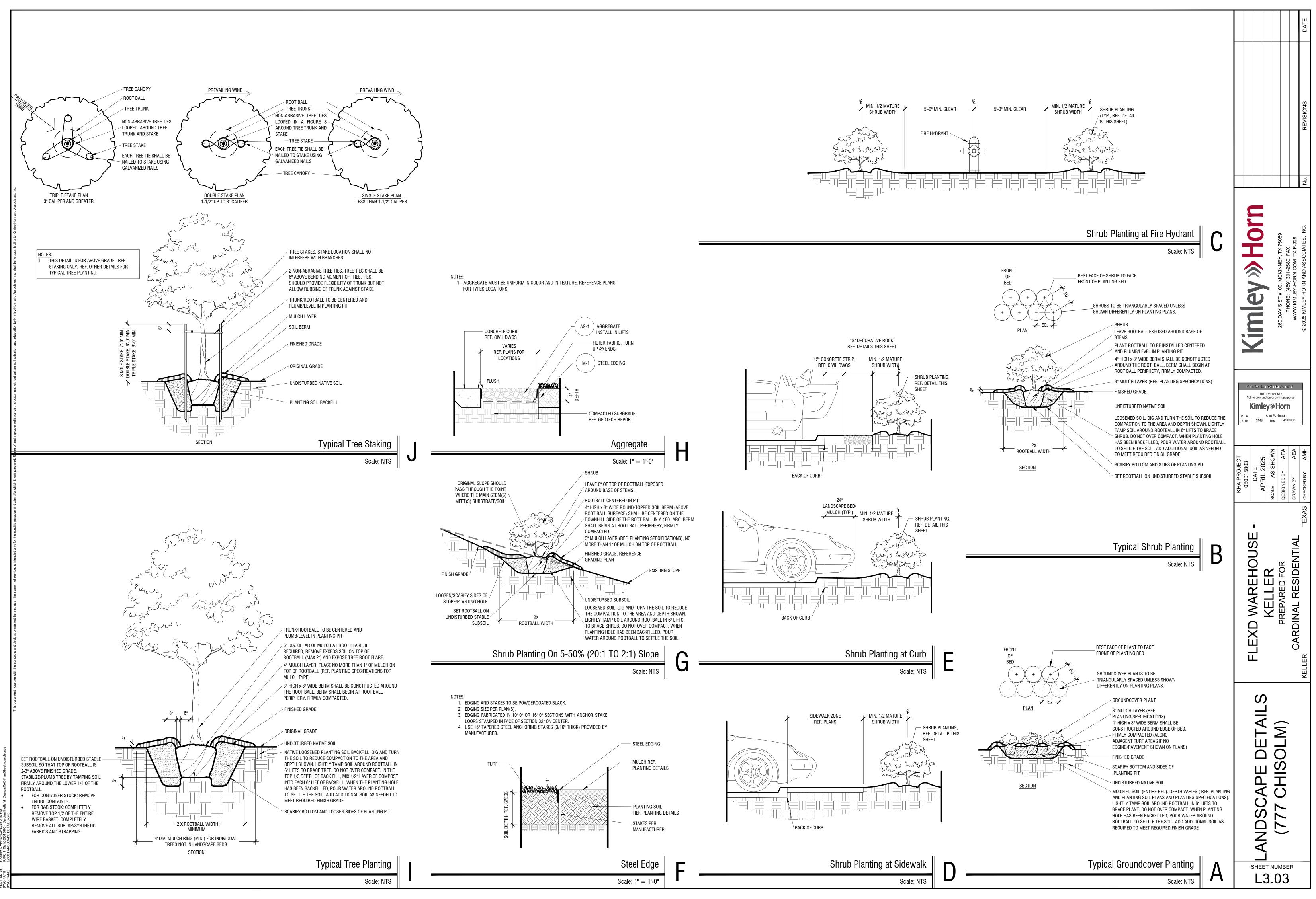
IRRIGATION) MAINTENANCE. THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTH PLANT GROWTH IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE. X. FINAL INSPECTION AND ACCEPTANCE OF WORK

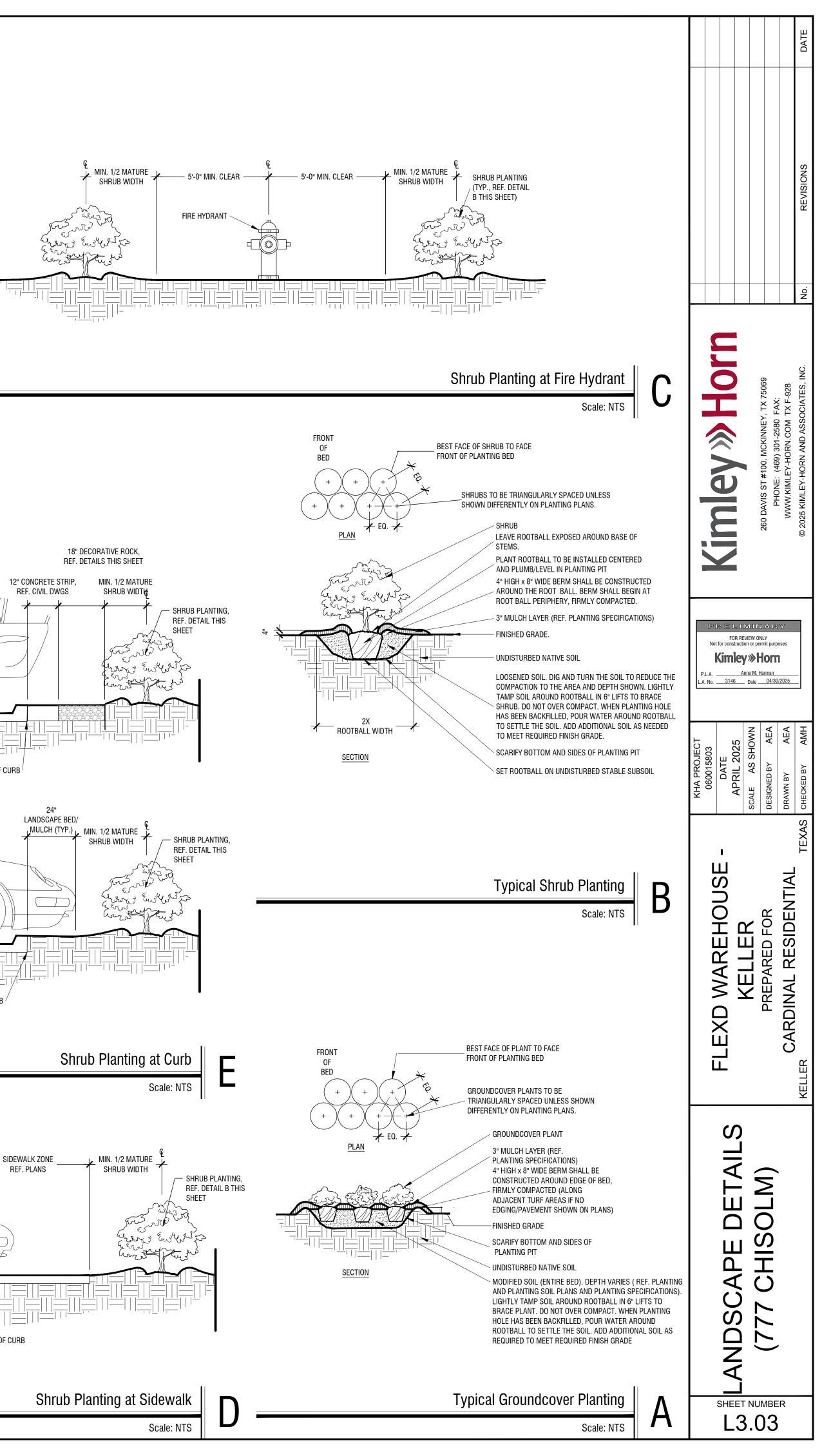
FINAL INSPECTION AT THE END OF THE GUARANTEE PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

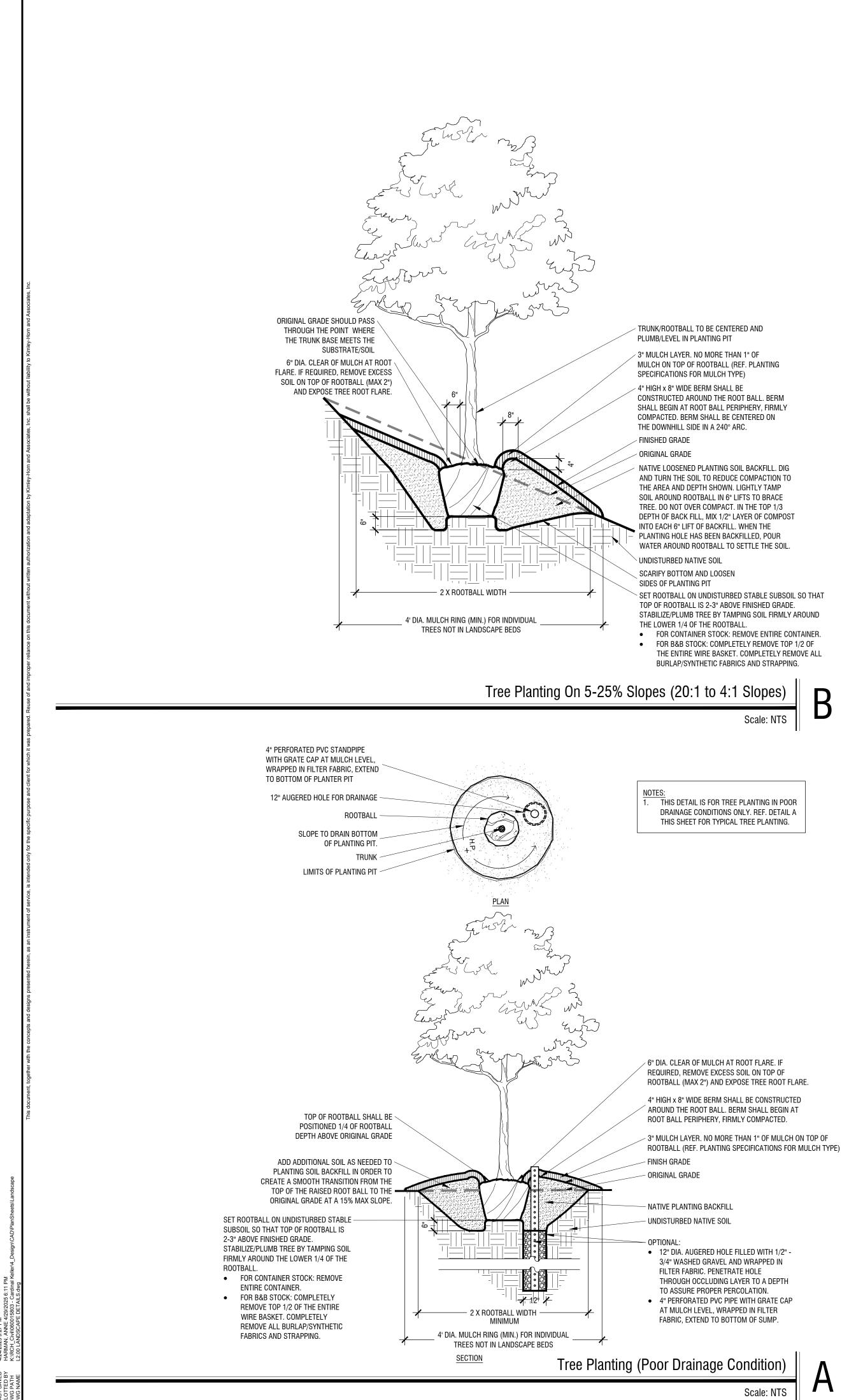
RELIM FOR REVIEW ONLY Not for construction or permit purpose **Kimley**»Horn P.L.A. _____ Anne M. Harman L.A. No. 3146 Date 04/30/2025 S SIDEN \cap T Ш Ш AR К DINAL \geq \bigcirc

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GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, ND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED. 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE. CAUSED BY CARELESS OPERATION OF EQUIPMENT STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PER CENT PER INCH OVER FOUR (4 INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER

D. MATERIALS 1. GENERAL

> SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN.

MATERIALS SAMPLES MULCH ONE (1) CUBIC FOOT TOPSOIL ONE (1) CUBIC YARD PLANTS ONE (1) OF EACH VARIETY

2. PLANT MATERIALS

B. PROTECTION OF EXISTING STRUCTURES

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS NOMENCIATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES 1942 EDITION ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS STATED IN THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST. THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY

UPON THE APPROVAL OF THE OWNER. B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY: SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE E. TOPSOIL

1. ASTM D5268, NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN 1-INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL

- 2. SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED ON-SITE OR EXISTING TOPSOIL UNDISTURBED BY GRADING OR EXCAVATION OPERATIONS. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- 3. VERIFY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY, AND SUPPLY ADDITIONAL IMPORTED TOPSOIL AS NEEDED. FOUR (4) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL TURF AREAS. TWENTY FOUR (24) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL PLANTING AREAS WITHIN INTERIOR LANDSCAPE ISLANDS AND FOUNDATION PLANTINGS. FOR ALL OTHER PLANTING AREAS, TWELVE (12) INCHES OF TOPSOIL MINIMUM TO BE PROVIDED.
- 4. IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIEN 5. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6
- INCHES DEEP; DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, OR MARSHES. 6. VERIFY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS. OBTAIN WRITTEN CONFIRMATION THAT PERMITS ARE CURRENT AND ACTIVE
- 7. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL. PERMITS
- SHALL BE CURRENT AND ACTIVE. 8 AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW.
- a. ORGANIC SOIL AMENDMENTS
- 1. MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW. SAWDUST, OR OTHER BEDDING MATERIALS: FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, AND MATERIAL HARMFUL TO PLANT GROWTH.
- 2. BACK TO NATURE COTTON BURR COMPOST OR APPROVED EQUIVALENT
- 3. COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL.
- 4. PECAN HULLS: COMPOSTED PECAN HULLS FOR LOCAL SOURCE.
- 5. BIOSOLIDS: USE GRADE 1 CONTAINING LOWER PATHOGEN LEVELS.
- 6. WORM CASTINGS: EARTHWORMS.
- b. INORGANIC SOIL AMENDMENTS
- 1. LIME: ASTM C602, CLASS O AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8 SIEVE AND MINIMUM OF 55 PERCENT PASSING NO. 60 SIEVE. 2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR, WITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT
- PASSING NO. 40 SIEVE 3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT
- **IRON AND 10 PERCENT SULFUF** 4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM
- 5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.
- c. PLANTING SOIL MIX

I. WATER

- 1. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MINICK MATERIALS OR APPROVED 2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL MIXED WITH 15 PERCENT
- ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND. INSTALL TO DEPTHS PER PLANTING DETAILS (12" MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN
- 2. SOD/SEED AREA TOPSOIL ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, WITH 25% (MIN.) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN, AND 99% MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES IN 1 GAL (MIN.) CONTAINER.

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER. J. COMMERCIAL FERTILIZER

COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA. IT SHALL BE UNFORM IN COMPOSITION DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS. FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCES. THE FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S SPECIFICATIONS:

1. SHRUBS AND TREES - MILORGANITE, OR APPROVED EQUAL 2. ANNUALS AND GROUNDCOVERS - OSMOCOTE/SIERRA BLEND 14-14-14

3. SOD - 8-8-8 FERTILIZER IN ADDITION TO SURFACE APPLIED FERTILIZERS, ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS 24-10-5 FORMULA, 21 GRAM OR EQUAL. THESE TABLETS SHALL BE PLACED AT A DEPTH OF ROOT BALL AT THE RATE AS SPECIFIED BY MANUFACTURER. K. MULCH

L. DIGGING AND HANDLING

PER DETAIL

1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSIT TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE

5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB- BASES.

M. CONTAINER GROWN STOCK 1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION. 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN N THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

3. PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE. 4 SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT N. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE. THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY O. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW P. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE BIDDERS TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSIONS OF BIDS. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

Q. FINE GRADING 1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED 2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

R. PLANTING PROCEDURES

1 CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER ALL MORTAR CEMENT AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIEV LOCATIONS OF ALL LITH THES. CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

3 SUBGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". SITE CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATIOI BY SITE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT OR OWNER.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING

5 GENERAL COMPLY WITH APPLICABLE FEDERAL STATE COUNTY AND LOCAL REGULATIONS. GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS AT ALL TIMES WORKMANI IKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED 6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SECTION H) TEST ALL TREE PITS. WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION LINTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW FULL HOSE STREAM ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED. 8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES

WHILE INSTALLING TREES. 9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION H OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:

- TWO (2) TABLETS PER 1 GAL. PLANT THREE (3) TABLETS PER 3 GAL. PLAN - FOUR (4) TABLETS PER 10 GAL PLAN

- LARGER MATERIAL - TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER 10, TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT. THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING.

11. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES. STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH. 12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT.

13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. TILL INTO TOP 4" THE PLANTING SOIL MIX AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION. 14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE LANDSCAPE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING. THE

OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF THEIR INTENTIONS AND AGREE TO HOLD IARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT ANY TREES FALL DOWN AND DAMAGE PERSON OF PROPERTY

15. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER AND VINE BED AND TREE PI 16. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER. "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

• 12" DIA. AUGERED HOLE FILLED WITH 1/2" -3/4" WASHED GRAVEL AND WRAPPED IN FILTER FABRIC. PENETRATE HOLE THROUGH OCCLUDING LAYER TO A DEPTH TO ASSURE PROPER PERCOLATION. • 4" PERFORATED PVC PIPE WITH GRATE CAP AT MULCH LEVEL. WRAPPED IN FILTER FABRIC, EXTEND TO BOTTOM OF SUMP.

Scale: NTS



AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED

CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.

S. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER. 2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY

ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE WHOLE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH THAT IS UP TO THE REQUIRED GRADE

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. APPLY FERTILIZER AT RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM. UTILIZING APPROVED MECHANICAL SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE (3) INCHES, HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WE PREPARED AREA THOROUGHLY. 4. SODDING

A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE B. THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND. C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS. PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A FOUR INCH MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

D. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS. THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS O THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE

A. PROVIDE FRESH, CLEAN, NEW CROP LAWN SEED MIXTURE. FURNISH TO OWNER DEALERS GUARANTEED STATEMENT OF COMPOSITION OF MIXTURE AND PERCENTAGE OF PURITY AND GERMINATION OF EACH VARIETY B. SEED MIXTURE: PROVIDE SEED OF GRASS SPECIES AND VARIETIES, PROPORTIONS BY WEIGHT AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED. SEED MIXTURES VARY BY REGION AND SEASON AND SHALL COMPLY WITH STATE DO AND LOCAL SOIL CONSERVATION SERVICE STANDARDS FOR LAWN TURF

C. DO NOT PERFORM SEEDING IN WINDY CONDITIONS.

E. PERMANENTLY SEED AND MULCH CUT AND FILL SLOPES AS CONSTRUCTION PROCEEDS TO EXTENT CONSIDERED DESIRABLE AND PRACTICAL. IN THE EVENT IT IS NOT PRACTICAL TO SEED AREAS. SLOPES SHALL BE STABILIZED WITH STRAW MULCH AND TACKIFIER, BONDED FIBER MATRIX, NETTING, BLANKETS OR OTHER MEANS TO REDUCE THE EROSIVE POTENTIAL OF THE AREA.

D. SEEDING SHALL BE DISPERSED IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.

F. SEED LAWN AREAS BY SOWING EVENLY WITH APPROVED MECHANICAL SEEDER AT RATE OF MINIMUM OF 6 POUNDS PER 1,000 SQUARE FEET. AMOUNT WILL VARY BASED ON VARIETY AND/OR SPECIES. CULTI-PACKER OR APPROVED SIMILAR EQUIPMENT MAY BE USED TO COVER SEED AND TO FORM SEEDBED IN ONE OPERATION. IN AREAS INACCESSIBLE TO CUTI-PACKER, LIGHTLY RAKE SEEDED GROUND WITH FLEXIBLE RAKES AD ROLL WITH WATER BALLAST ROLLER. AFTER ROLLING, MULCH WITH STRAW MULCH AT THE RATE OF 2 TONS PER ACRE.

G. SURFACE LAYER OF SOIL FOR SEEDED AREAS SHALL BE KEPT MOIST DURING GERMINATION PERIOD. WATEF SEEDED AREAS TWICE FIRST WEEK TO MINIMUM DEPTH OF 6 INCHES WITH FINE SPRAY AND ONCE PER WEEK THEREAFTER AS NECESSARY TO SUPPLEMENT NATURAL RAIN TO EQUIVALENT OF 6 INCHES DEPTH. H. CONTRACTOR TO REAPPLY SEED AS NECESSARY IN ORDER TO GET ALL SEEDED AREAS ESTABLISHED AS

6. LAWN MAINTENANCE

INTENDED.

5. SEEDING

A. WITHIN THE CONTRACT LIMITS. THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY). B. WATER EVERY DAY FOR TEN (10) SUCCESSIVE DAYS. THEN WATER THREE (3) TIMES PER WEEK (AT

EVEN INTERVALS) FOR TWO (2) ADDITIONAL WEEKS. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO DEPTH OF FOUR (4) INCHES. CONTRACTOR TO DETERMINE IF SITE IS IN A DROUGHT RESTRICTION AREA AND MUST FOLLOW CITY/ COUNTY PROTOCOL IF ANY ARE IN PLACE. T. CLEAN-UP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE. THE CONTRACTOR SHALL REMOVE ALL MATERIAL FOURPMENT AND DEBRIS RESULTING FROM HIS WORK ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

U. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE. V. MAINTENANCE (ALTERNATE BID ITEM)

1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS. W. GUARANTEE

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.

2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF 90 CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.

3. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER. 4 IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND

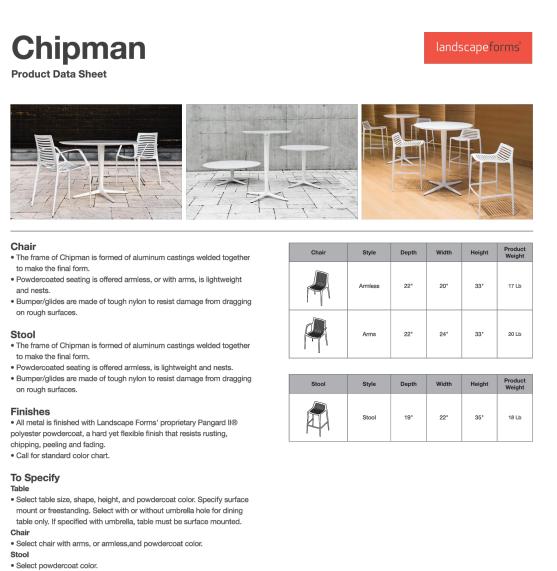
IRRIGATION) MAINTENANCE. THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTH PLANT GROWTH IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE. X. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE GUARANTEE PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

FOR REVIEW ONLY Not for construction or permit purpose Kimley »Horn P.L.A. _____ Anne M. Harman L.A. No. 3146 Date 04/30/2025 S SIDEN \bigcirc T Ш Ш AR К DINAL \geq C (`

SHEET NUMBER

L3.04



Designed by Robert Chipman Chipman is protects by U.S. Patent No. D694,543; D69,544; D746,074; D718,558

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3 Revised July 10, 2020 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048

Every Day Chair Product Data Sheet



Chair . The Every Day chair is designed to accommodate a variety of postures

• The Every Day chair is a freestanding chair available with or without arms. • The frame of the chair is formed from bent wire and steel strapping. Chairs are stackable, up to four high. • Glides are made of tough nylon to resist damage from dragging of rough surfaces.

Finishes

 All metal is finished with Landscape Forms' proprietary Pangard II polyester powdercoat, a hard yet flexible finish that resists rusting, chipping, peeling and fading. The Every Day Chair comes standard in one color, but can be customized in color combinations.

To Specify Specify the Every Day Chair, select with or without arms, and choose powdercoat color.

Designed by Landscape Forms

The Every Day chair is simple yet sophisticated, making it an excellent candidate for adaptable use throughout a variety of outdoor dining, gathering and multi-purpose event spaces. Precisely bent wire and steel strapping make for all-metal construction that can confidently withstand tacking and repeated reconfiguration. Available with or without arms, the chair's gentle curves and softened edges contribute to an inviting personality, while a sled base bolsters structural integrity and stability on a variety of surfaces. The Every Day chair is finished in our proprietary Pangard II® powdercoat, ensuring vibrant color that resists chipping, peeling, and fading outside in the elements.

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Style	Depth	Length	Height	Weight
With Arms	21"	22.75"	31.75"	22 lbs
Without Arms	21"	22.5"	31.75"	20 lbs

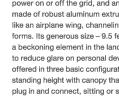
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1 Revised Novemver 03, 2023 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048

GO OutdoorTable Product Data Sheet





Dining Height Table is constructed of a cast and extruded aluminum frame with rolled steel surface panels • Table must be surface mounted, anchoring hardware is included The table features a unique mounting system that allows for leveling adjustment Table ships fully assembled

 Table is ADA compliant for dining-height table requirements Standing Height • Table is constructed of a cast and extruded aluminum frame with

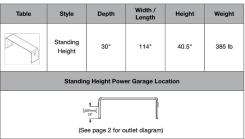
rolled steel surface panels Table must be surface mounted, anchoring hardware is included

 The table features a unique mounting system that allows for leveling adjustment Table ships fully assembled Standing height table is available with hardwired power options

 Power garages hosting charging ports are located on the outer leg panels • One or two power garages can be specified (for two garages,

placement is one on each outer leg panel) Power garages can feature GFCI charging ports · See charging port diagram for hardwired option arrangement plug in and connect, sitting or standing.

Dining Height



Harpo Lounge Chair **Product Data Sheet**



arms and a high backrest for exceptional comfort, while its robust bent and welded steel structure with slatted wood seats and backs provide performance and durability in high use public, corporate, campus and healthcare settings.

*Weights shown are in Jarrah

1 Revised October 11, 2024 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048

Lounge Chair · Lounge chair is available with freestanding, surface mount,

or embedded supports.

Steel supports are powdercoated. • Available only in jarrah, ipe, or domestically sourced thermally modified ash (DSTMA) 31/2" wide wood slats.

 Supports have arms welded on. Wood boards are available in eith

Finishes • Interior woods are finished with Landscape Forms' exclusive LF-80 wood finish, a clear, catalyzed acrylic lacquer. • Exterior woods are unfinished and will weather to a soft pewter gray,

requiring no future maintenance. All metal is finished with Landscape Forms' proprietary Pangard II® polyester powdercoat, a hard yet flexible finish that resists rusting, chipping, peeling and fading. A wide range of standard, optional and custom colors are available.

To Specify Specify Harpo Lounge Chair. Select wood type and powdercoat color. Specify surface mount, embedded or freestanding. Lounge Chair ships

fully assembled.

Designed by Miguel Milá for Urbidermis Click here for patent information related to this product.

landscapeforms.com | specify@landscapeforms.com

1 Revised January 14, 2025 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048

Landscape Forms is pleased to introduce the GO OutdoorTable, a new platform for outdoor activity. A true original, GO provides a focal point and gathering place, a large work surface with access to data and power on or off the grid, and an optional canopy with lighting. GO is nade of robust aluminum extrusions and castings. Its frame is hollow like an airplane wing, channeling technology within sleek and simple forms. Its generous size - 9.5 feet long and 30 inches wide - make it a beckoning element in the landscape. The optional canopy designed to reduce glare on personal devices acts as a spatial anchor. GO is offered in three basic configurations: dining height, standing height and standing height with canopy that enable people to work, meet or just



Metro40 Collection Product Data Sheet

• Rest length is 80", longer than typical three-person benches.

End frames are joined using concealed mortise and tenon connections

Available with one or two optional intermediate cast aluminum seat

• Equipped with "anti-glides:" cushioned plastic pads on the underside

of the frame that keep the bench from moving under seated loads

• Cast aluminum frame and aluminum extrusion slats are powder-coated.

Aluminum version can be two-toned: one color on the continuous

• The wood option for interior application is jarrah with LF 80 finish.

• Surface mount and embedded versions are shipped with a mounting kit

and protect the powdercoat finish from becoming scratched by

· Seat and back slats are aluminum extrusions or wood.

ribbon end frame and another color on the slats.

The wood for exterior applications is jarrah.

• Freestanding, surface mount or embedded.

Rest seat height is 18" and seat depth is 16".

dividers/skateboard deterrents.

Optional arms (available only on backed version)

Rest[™] Bench

concrete or floor.

• End frame is cast aluminum.

Materials

Installation

Shipped fully assembled.

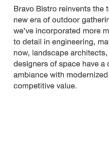


When Landscape Forms set out to develop the first comprehensive and integrated collection of site elements for the streetscape and transit core, it partnered with a world-leading expert. BMW Group Designworks brought to the challenge a deep understanding of the role of public transit in the life of the city, and unsurpassed mastery in form making and innovative use of materials. The Metro40 Collection, from benches and bollards to bus shelters and LED lighting, is a pioneering line of urban streetscape and transit elements with sophistication and global appeal for a world on the move. Used with Connect shelter or alone where space is at a premium, sitting and leaning rails provide a 'waiting room' amenity with minimal footprint.

	Style	Depth	Width	Height	Product Weight
	backed w/ arm	26 %*	80*	33 %"	Jarrah: 135 lb Alum: 167 lb
A	backed w/o arms	26 ½*	80*	33 ¼"	Jarrah: 125 lb Alum: 157 lb
	backless	20 %*	80"	18"	Jarrah: 91 lb Alum: 106 lb
ote: The backless v eat dividers cannot	version is alway be used at end	s armless. s as a subst	itute for arm	15.	
	Q		D	e Mount Locki	0

Bravo Bistro Product Data Sheet





Depth

17.25"

Table ships fully assembled Freestanding, not surface mountable Stainless steel hardware and carbon steel components • Durable nylon bumpers on table legs prevent scratching and wear, and add durability Nylon washers in between all components prevent wear and corrosion Chairs (set of 2) . Chairs (set of 2) ship fully assembled Freestanding, not surface mountable

Stainless steel hardware and carbon steel components

Durable nylon glides on seat pan prevent metal-on-metal contact

Diameter table to 23.5"

 Nylon bumpers on chair legs prevent scratching and wear, and add durability • Nylon washers in between all components prevent wear and corrosion Finishes

 All components are first e-coated, then powdercoated providing surface durability, resistance to scratching and corrosion, and protection from UV light and other elements Available in Cadmium and Carbon

To Specify After selecting Bravo Bistro, select product type, then select

and enhance durability

powdercoated color. Bravo Bistro tables and chairs can only be specified as freestanding. All units ship full assembled.

Designed by Landscape Forms

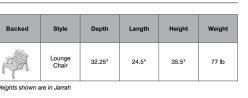


1 Revised September 20, 2024 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048

1 Revised October 8, 2021 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048







Morrison **Product Data Sheet**



Table • Table offered in three heights - lounge (15"), dining (31"), or standing (40"). • The 40" x 80" and 40" x 40" dining tables are ADA compliant. • Morrison tables are available in square and rectangular sizes. Inserts available in metal, wood, or MeldStone[™] (note: Meldstone[™] is only available with rectangular tables). Available without inserts, so the customer may choose log available materials as a special order. • Only square dining height tables may be specified with an umbrella hole. • If square dining unit is specified with an umbrella hole, the table must be surface mounted. Some assembly required for some product variations. All supporting frames are powdercoated aluminum. Unit can be freestanding or surface mounted.

• Freestanding units come with pre-installed hard nylon glides for

adjustable leveling.



ndscapeforms

Morrison tables and stools. Designed by renowned modernist architect Lionel Morrison, the table frames appear to float, creating an ethereal quality balanced by the strength and texture of wood, concrete, or metal surface inserts. Seamless connections and flawless finishes further define Morrison's timeless artistry. Standing-height rectangular and square tables, dining-height square tables, lounge-height square tables, and powder-coated metal stools elevate the formal and informal experiences happening in protected public outdoor spaces.

Standing Height (Rectangle)	Style	Depth	Length	Height	Weight
	meld / metal inserts	40*	80"	40"	192-295 lb*
	wood inserts	40*	80"	40"	144-170 lb*
Standing Height (Square)	Style	Depth	Length	Height	Weight
Ŕ	metal inserts	40*	40"	40°	162 lb
	wood inserts	40*	40"	40°	87 - 103 lb
Dining Height (Rectangle)	Style	Depth	Length	Height	Weight
	meld / metal inserts	40*	80"	31"	168-281 lb*
	wood inserts	40*	80"	31"	130-157 lb*
Dining Height (Square)	Style	Depth	Length	Height	Weight
$\widehat{\mathbf{N}}$	metal inserts	40*	40"	31"	156 lb
	wood inserts	40*	40"	31"	81 - 98 lb
Lounge Height (Square)	Style	Depth	Length	Height	Weight
\Diamond	metal inserts	40*	40"	15"	147 lb
\Diamond	wood inserts	40"	40"	15"	72 - 88 lb

Parasols by TUUCI **Product Data Sheet**



Plantation Series

• Canopy frames/panels, and poles are aluminum extrusions. • Fasteners and hardware are stainless steel. Surface mount stand is stainless steel. Freestanding base is galvanized steel. Manual lift system security pin system. Plantation Max Cantilever parasols come standard with the auto-lift piston assist system. Plantation MAX Classic parasols come standard with the auto-loc marine lift pulley system. Sunbrella® marine-grade, 100% solution-dyed fiber is treated for a high degree of fade-resistance, is mildew proof and meets California Technical Bulletin #117 Section E (CS-191-53). All fabric umbrellas are subject to damage from high winds; we recommend lowering TUUCI at night and in 25 MPH wind conditions. Pole finish is Aluma-TEAK. Available in Natural or Java colored.

Mounting

· Plantation Classic must be anchored to Landscape Forms table (surface mounted or embedded table style) paired with a picnic style table using a 120 lb TUUCI G-Plate double stack combo, standalone in a TUUCI 150 lb G-Plate double stack combo free standing base or surface mounted stand, or deck mount security Plantation MAX Classic, and Plantation MAX Single and Dual Cantilever can be freestanding, surface mounted, or embedded.

PLANTATION CLASSIC SQUARE	E DE
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PLANTATION CLASSIC HEXAGO	N DE
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PLANTATION MAX CLASSIC OCTAGON	DE
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PLANTATION MAX CLASSIC SQUARE	DE
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PLANTATION MAX CLASSIC RECTANGLE	DE
PLANTATION MAX SINGLE CANTILEVER	DE
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PLANTATION MAX DUAL CANTILEVER	DE
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2 Revised November 1, 2024 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048

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Bravo Bistro reinvents the traditional bistro chair and table in the new era of outdoor gathering. Inspired by the iconic design concept, we've incorporated more modern aesthetics and a greater attention to detail in engineering, manufacturing and choice of materials. So now, landscape architects, facility managers, restaurateurs and other designers of space have a compelling new option that offers classic ambiance with modernized styling, improved quality and durability, and

	Width	Hei	ght	Seat Height		Weight	
	16"	32	.5"	17.5"		18 lbs	
0		Diameter (of footprint)			,	Weight	
	27"			28"		17 lbs	



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1 Revised November 18, 2020 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048

STEELY CAN Product Data Sheet



Litter Receptacle • Steely Can litter receptacle is a top or side opening unit, with a 39 gallon capacity. • Fitted top locks to liner stabilizer with slots that hold garbage bag in place. Litter is freestanding, and constructed of Type 304 solid stainless steel with brushed finish.

To Specify Select Steely Can. Specify top or side opening.



Steely's made of strong stuff: type 304 solid stainless that's stable, dent-and-scratch resistant

and very durable. Its fitted top provides a snug fit with added structural integrity. Its brushed fin-

ish has contemporary style appeal. And there's something going on under that handsome lid.

Steely Can's unique liner stabilizer slots grab the bag and hide it from view.



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PRODUCT

DEPTH	WIDTH	HEIGHT	PRODUCT WEIGHT
-	89"	100"	21 lb
DEPTH	WIDTH	HEIGHT	PRODUCT WEIGHT
109"	125.5"	100"	26 lb
DEPTH	WIDTH	HEIGHT	PRODUCT WEIGHT
124"	134"	108"	40 lb
DEPTH	WIDTH	HEIGHT	PRODUCT WEIGHT
-	120"	100"	34 lb
DEPTH	WIDTH	HEIGHT	PRODUCT WEIGHT
96"	145"	105"	29 lb
DEPTH	WIDTH	HEIGHT	PRODUCT WEIGHT
127"	120.25"	109"	140 lb
DEPTH	WIDTH	HEIGHT	PRODUCT WEIGHT
20.25"	250.75"	109"	215 lb

Parasols by TUUCI **Product Data Sheet**



Warranty (2 different warranties) • 15 Year Warranty Includes center mast, cantilever mast, top and bottom hubs and stainless steel hardware only. If warrantable damage occurs to the hubs, center pole or stainless steel hardware, TUUCI will replace or repair any item listed in this category at its discretion. Superficial damage occurring from contact with foreign objects including any type of scratches or abrasions caused from contact with the moving components of the frame itself or canopy during normal operation are not eligible for warranty coverage unless the damage somehow compromises the structural integrity of the frame. 5 Year Warranty Includes connecting brackets, stainless stell fasteners optional hardware (pulleys, auto-loc lifts, pistons and crank systems), aluminum canopy ribs, struts and SUNBRELLA® 9.25 oz. marine-grade fabric. If said SUNBRELLA® marinegrade fabric is rendered unserviceable by loss of color or strength caused by UV degradation, mildew, rot or atmospheric chemicals, or warrantable damage occurs to the connecting brackets, attached optional hardware or aluminum canopy ribs or struts, TUUCI will replace or repair said items in this category at its discretion. Labor charges will apply to the cutting and sewing of any SUNBRELLA® fabric replaced under warranty.

To Specify Select parasol style, canopy color, and if applicable, finish. Choose mounting option.

Designed by TUUCI

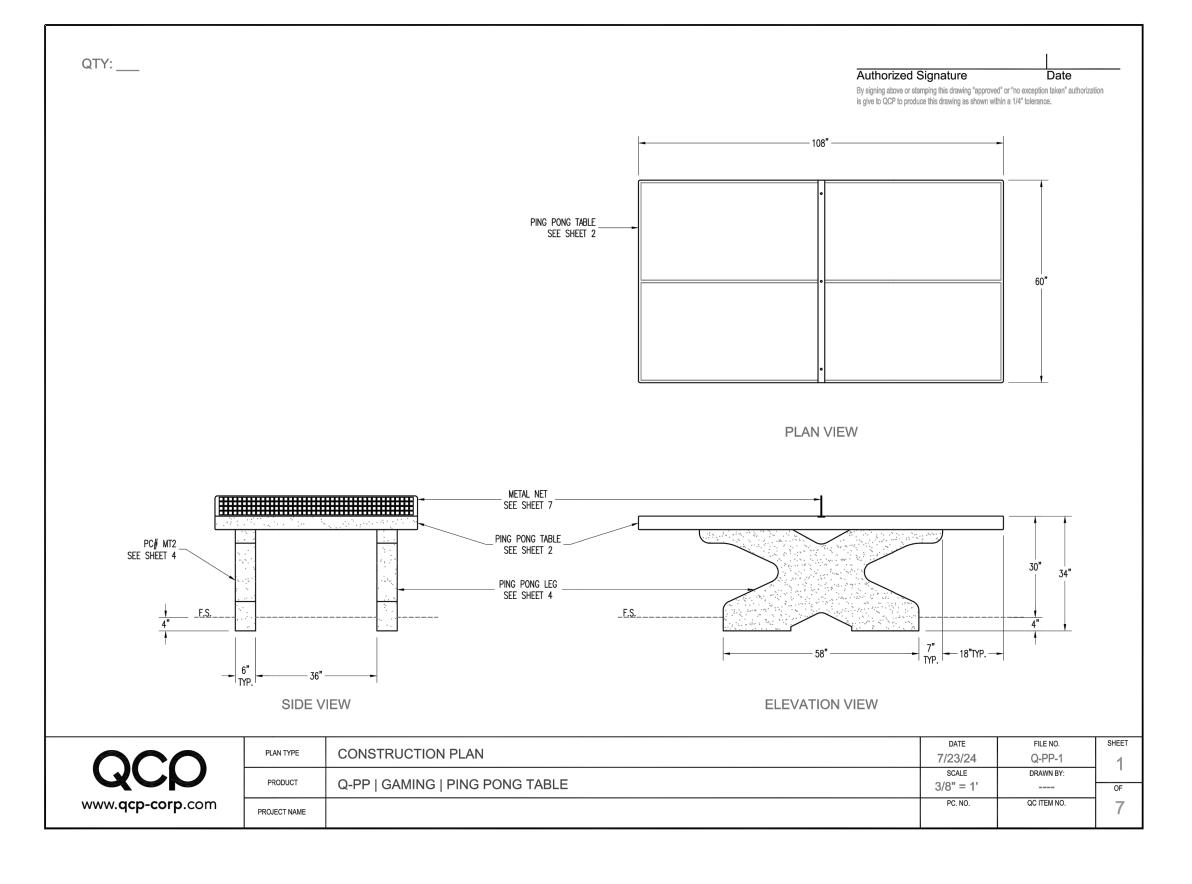


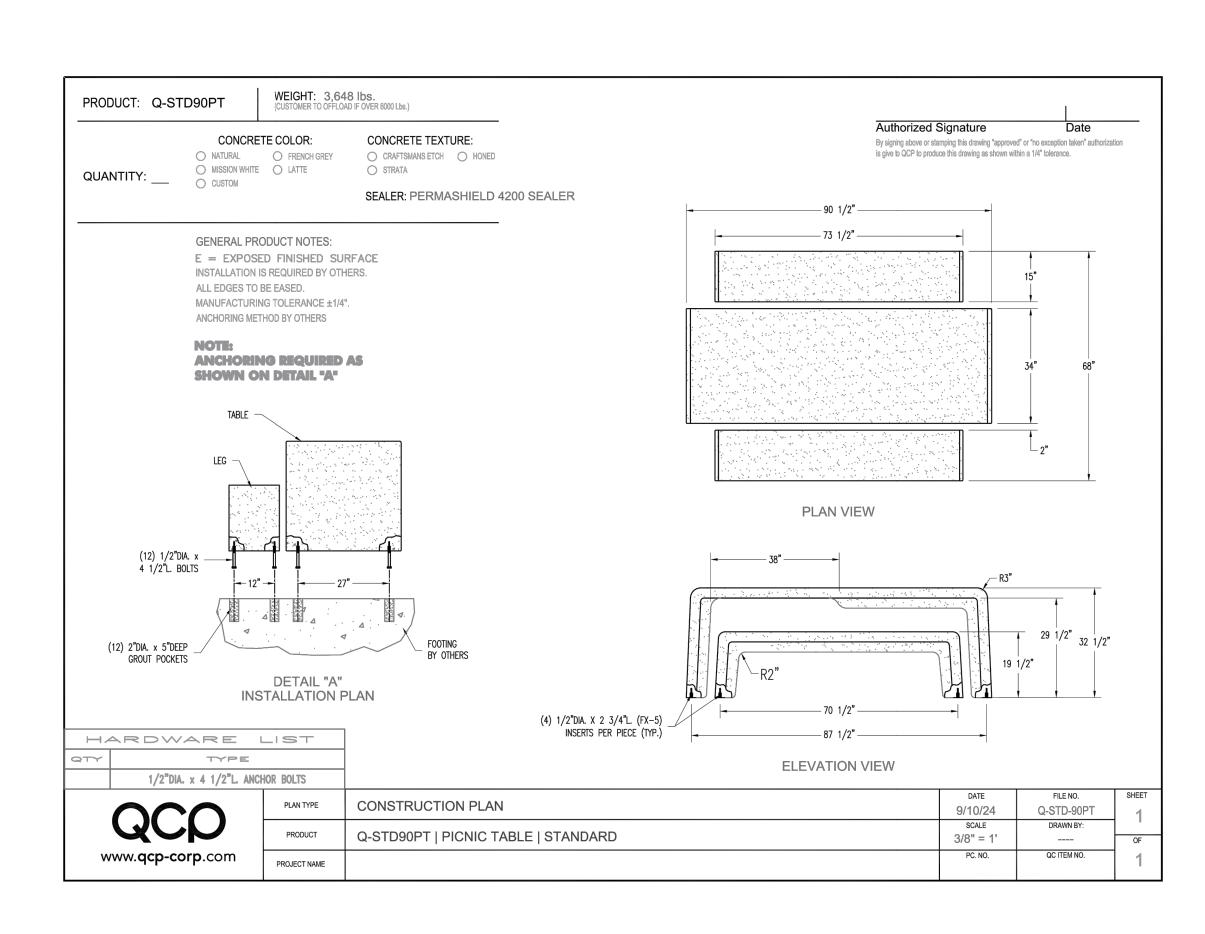
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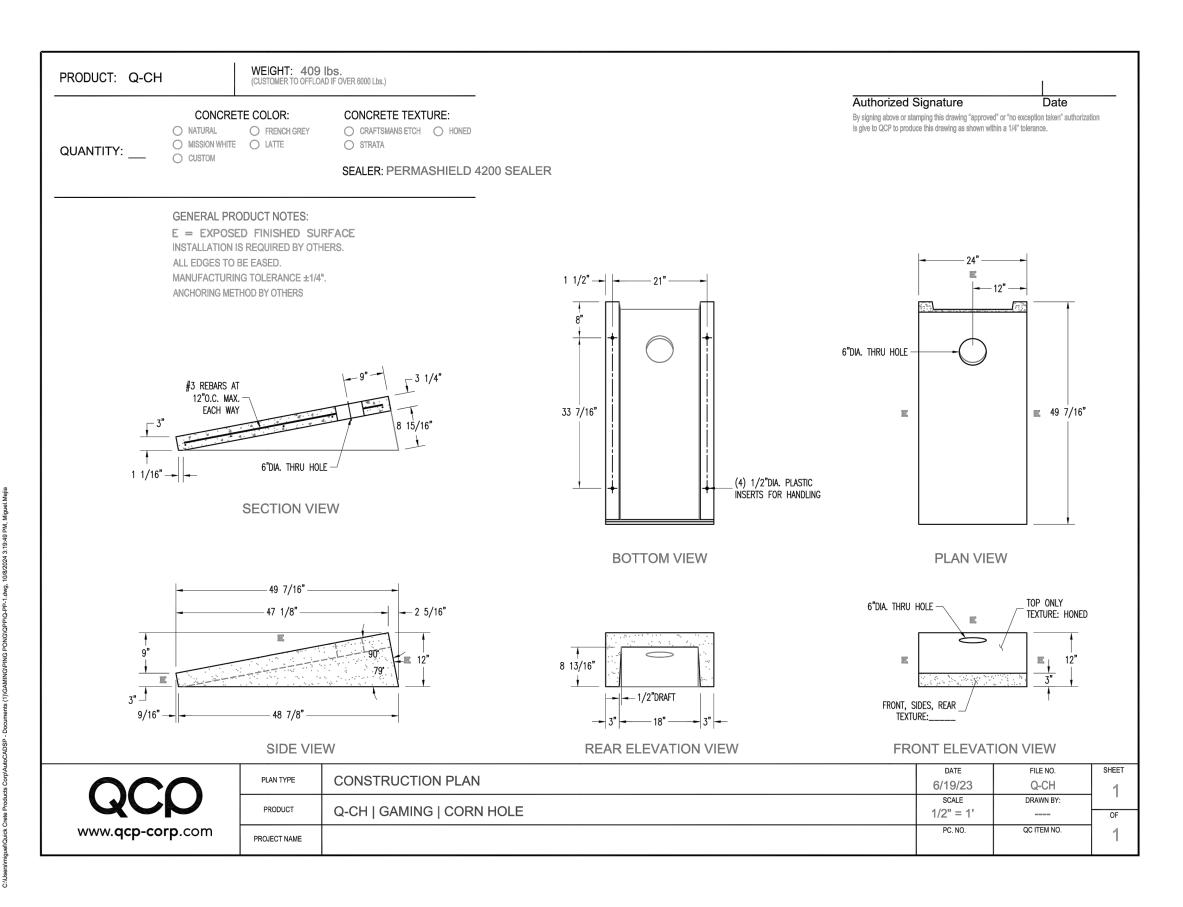


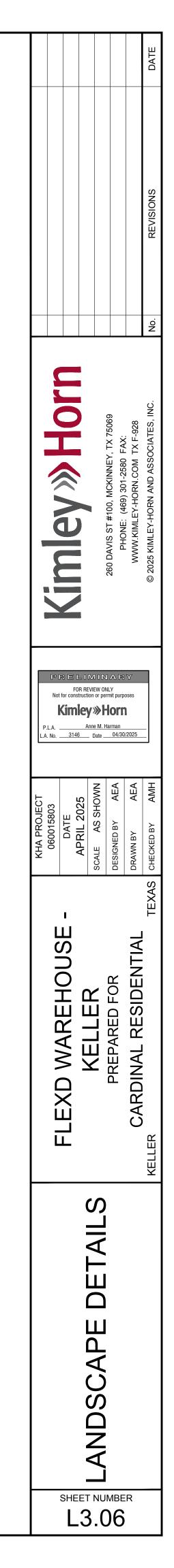
O , TX FAX: TX F 2580 COM \otimes Ξ \leq PRELIMINARY FOR REVIEW ONLY Not for construction or permit purposes **Kimley Horn** P.L.A. Anne M. Harman L.A. No. _____3146 ____ Date ____04/30/2025 TIAL S \supset EHOU ER EPOR ESIDENT LLL RE WAR RDINAL \square Ш Ó S Ш \square Ш Ω \bigcirc S \square Ζ SHEET NUMBER L3.05

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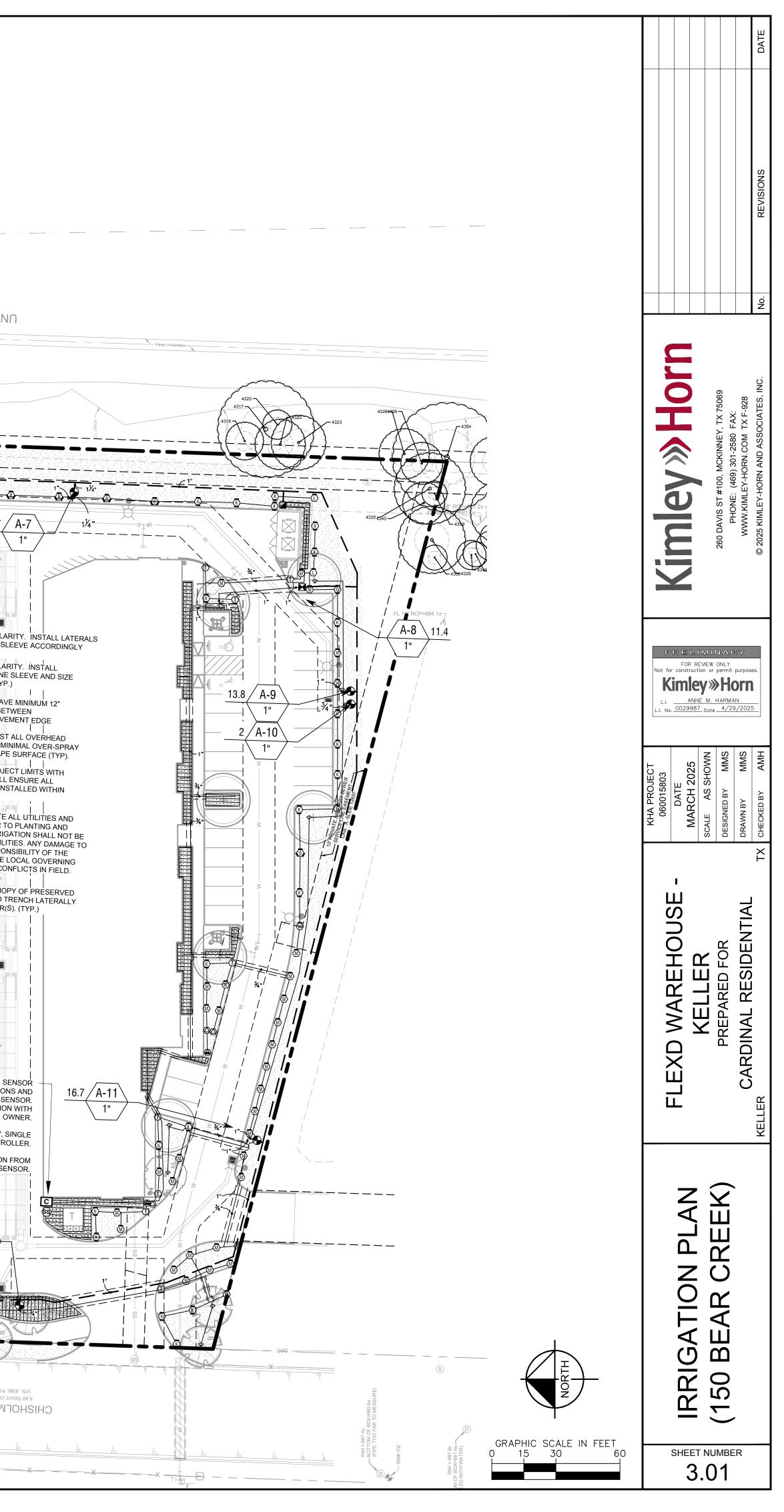
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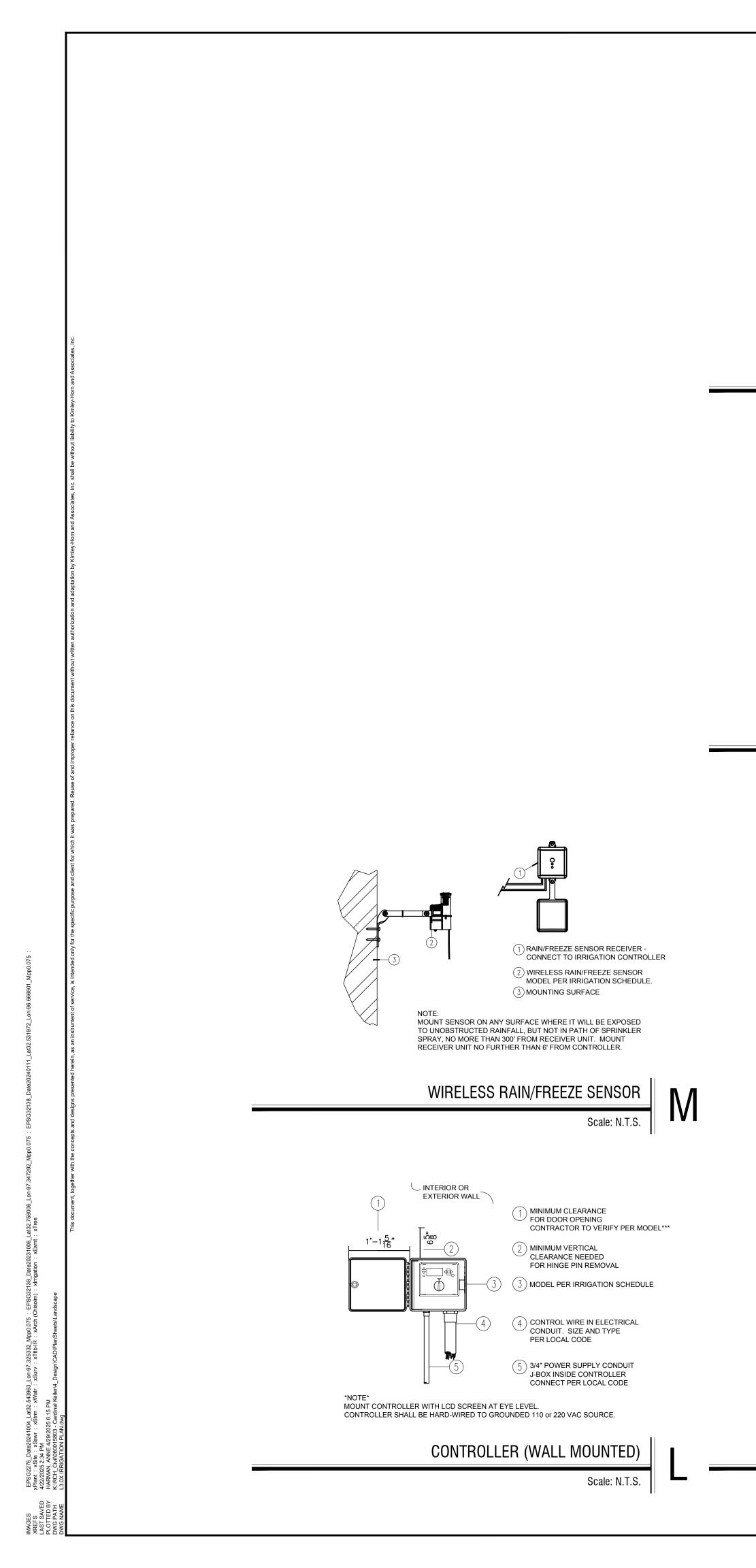
IRRIGATION	SCHEDULE 150 BEAR CREEK		· ·						, , ,
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY							
<ī>	Hunter MP Corner PROS-04-PRS40-CV Turf Rotator, 4" (15.24cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. T=Turquoise adj arc 45-105.	12	SHIMI GAORINA				FIC RAILROAD	IDA9 NOINU	
LST RST SST	Hunter MP Strip PROS-04-PRS40-CV Turf Rotator, 4" (15.24 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip.	11					p		
$\overline{\mathbb{A}}$ $\overline{\mathbb{A}}$	Hunter MP1000 PROS-04-PRS40-CV Turf Rotator, 4" (15.24 cm) pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. $M=Maroon$ adj arc 90 to 210, L=Light Blue 210 to 270 arc, $O=Olive$ 360 arc.	52					Ноцияния		H.
K G R	Hunter MP2000 PROS-04-PRS40-CV Turf Rotator, 4" (15.24 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. K=Black ad arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.		EL 3327 GULVERT						
	Hunter MP3000 PROS-04-PRS40-CV Turf Rotator, 4" (15.24 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. B=Blue adj arc 90-210, Y=Yellow adj arc 210-270, A=Gray 360 arc.	12	688.7± ED IN) W =688.7± TN=682.2±						1 ¹ /4"
$\begin{array}{cccc} & \mathbf{\Phi} & \mathbf{\Phi} & \mathbf{\Phi} \\ 25 & 50 & 10 & 20 \end{array}$	Hunter PROS-04-CV-PCN Flood Bubbler, 4in. pop-up, factory installed drain check valve.	27	sidewalk WV=688. (SILTED 1 WV TN						
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	OONCRETE	ANENT					
	Netafim LVCZ10075-HFHP Pre-Assembled Control Zone Kit, with 1in. Series 80 Control Valve, 3/4in. Disc Filter, and High Flow Pressure Regulator 4.5GPM to 17.6GPM.	3		PERMAN					
	Area to Receive Dripline Netafim TLCV-04-12 Techline Pressure Compensating Landscape Dripline with Check Valve. 0.4 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters	4,508 lf			3/4"- 3/4"	A-6 9.98	(TYP.) SLEEVING S LATERAL &	SHOWN FOR CLARITY. INSTALL LAT EVE AND SIZE SLEEVE ACCORDING SHOWN FOR CLARITY. INSTALL MAINLINE IN ONE SLEEVE AND SIZE	βLY
SYMBOL	offset for triangular pattern. 17mm. MANUFACTURER/MODEL/DESCRIPTION	QTY				1" A-5 2	ALL DRIP Z		
•	Hunter ICV-G (Remote) Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	0					CONTRACTC SPRAY HEAT	DEAR-ZONE) BETWEEN ND SOD OR PAVEMENT EDGE	v
	Hunter HQ-44LRC-R Quick coupler valve, purple rubber locking cover for reclaimed water use, red brass and stainless steel, with 1in. NPT inlet, 2-piece body.	1					COORDINATE GENERAL CO IRRIGATION E	ANT HARDSCAPE SURFACE (TYP).	
X	Nibco T-113 Class 125 bronze gate shut off valve with wheel handle, same size as mainline pipe diameter at valve location.	1	- MAY				CONTRACTO DEPTHS OF U INSTALLING I	R SHALL LOCATE ALL UTILITIES AND TILITIES PRIOR TO PLANTING AND	
	Hunter ICV-G (Master Valve) 1" Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	1		8.5 A-4		3/4."		L BE THE RESPONSIBILITY OF THE	ТО
BF	Febco 850 1" Double Check Backflow prevention,	1	CKE	A 70				I ANY UTILITY CONFLICTS IN FIELD.	
С	Hunter I2C-2400-SS 24 Station Outdoor Modular Controller. With two ICM-800 Module. Commercial Use. Stainless Steel Cabinet.	1	BEAR				TO INSTALL HE	AD(S)/ EMITTER(S). (TYP.)	Y
(55)	Hunter Solar-Sync Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket. Wired.	. 1							
(FS)	Hunter HFS-100 Flow Sensor for use with ACC controller, 1in. Schedule 40 Sensor Body, 24 VAC, 2 amp.	1				<u>A-3 13.3</u> 1"			
Μ	Water Meter 1" REF. CIVIL DWGS	1			3/4."	A-2 5.5 1"			
	Irrigation Lateral Line: PVC Class 200 SDR 21 3/4" min.	4,323 lf				A-1 10.3	APPROXIMATE CONTI	ROLLER & RAIN SENSOR	_
	Irrigation Mainline: PVC Class 200 SDR 21 1" min.	1,392 lf	æ			A-1 10.3 1"	OVERSPRAY ASSOCIAT	AD OBSTRUCTIONS AND 1 ED WITH RAIN SENSOR	6.7 A
======	Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	i 511.3 lf	4502 FFRE HYDRANT				CONTRACTOR SHALL PRO PHASE POV CONTRACTOR SHALL PROVI	OWNER. DVIDE 110/120V, SINGLE VER FOR CONTROLLER.	
<i># # *</i>	Valve Callout Valve Number		V=686.0± V=685.5± N=680.7±		ц — ц — ц				
# • # • #" •	Valve Flow Valve Size							4 A-12	
A BOOSTER PUMP WILL BE R R TO INSTALLATION IF SYSTE VIDED FOR CONVENIENCE OF IMUM LATERAL DRIPLINE CH	FOLLOWING STATS: 100 PSI AND 37.5 GPM. IF WATER PRESSURE DOES NOT REQUIRED AT COST OF CONTRACTOR. CONTRACTOR SHALL CONTACT LAND EM HAS +/- 5 PSI THAN DESIGN PRESSURE. NLY. CONTRACTOR TO CONFIRM ALL QUANTITIES PRIOR TO BIDDING. ART TO DETERMINE MINIMUM NUMBER OF POINTS OF CONNECTION PER DF FEED LAYOUTS MUST BE USED. THIS ALLOWS FOR EVEN FLOW OF WATER	DSCAPE						1"	
	REAS AT THE FURTHEST POINT OF EACH DRIP RUN.			III III III					-
	CLOW SENSOR ARE TO BE WIRED IN THE CONTROLLER WITH ANOTHER ZON CONE IN ORDER TO MEET THE FLOW SENSOR'S LOWEST GPM REQUIREMEN ONES.					ASSOCIATED APPUR BACKFLOW, FLOW S	CONTRACTOR FOR INSTALLATION ATION WATER METER AND RTENANCES (GATE VALVE, ENSOR, MASTER CONTROL VALVE D BE PLACED IN GREEN SPACE.		
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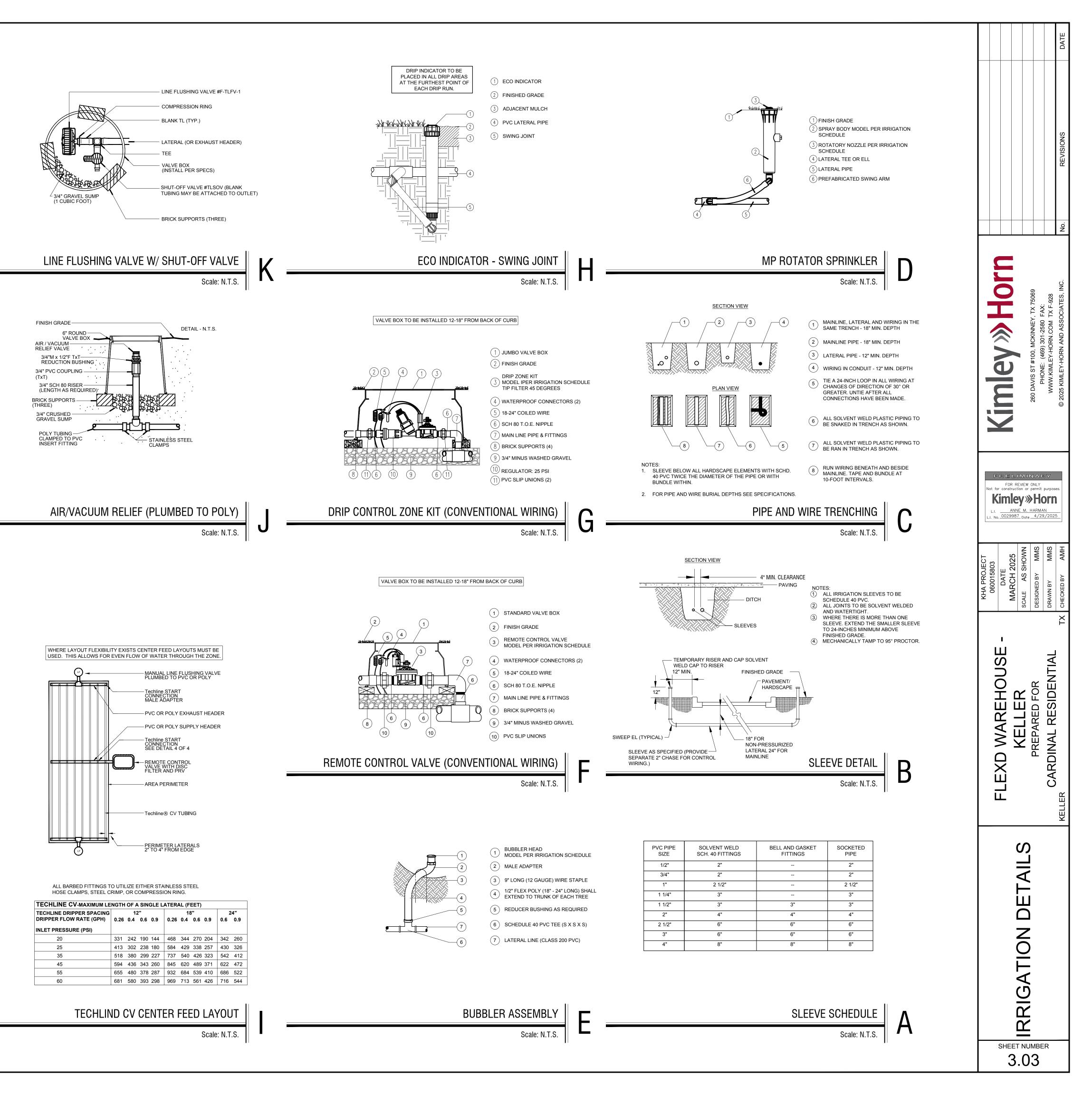
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SYMBOL		QTY					
Ţ	Hunter MP Corner PROS-04-PRS40-CV Turf Rotator, 4" (15.24cm) pop-up with factory installed check valve, pressure 1 regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. T=Turquoise adj arc 45-105.	12	silvu dyouniwu-				UNION PACIFIC RAILROAD
LST RST SST	Hunter MP Strip PROS-04-PRS40-CV Turf Rotator, 4" (15.24 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip.	11					p
$\langle M \rangle \langle L \rangle \langle 0 \rangle$	Hunter MP1000 PROS-04-PRS40-CV Turf Rotator, 4" (15.24 cm) pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, 0=Olive 360 arc.	52					- HOLIO
K G R	Hunter MP2000 PROS-04-PRS40-CV Turf Rotator, 4" (15.24 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.	35	ь на сонтрания - на с				
B	Hunter MP3000 PROS-04-PRS40-CV Turf Rotator, 4" (15.24 cm) pop-up with factory installed check valve, pressure 1 regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. B=Blue adj arc 90-210, Y=Yellow adj arc 210-270, A=Gray 360 arc.	12	14 14 14 14 14 14 14 14 14 14				®®®
$\begin{array}{cccc} & & & & & & & & & & & \\ \hline & & & & & & &$		27	SDEWALK WV=688.7± (SILTED IN) ~~5 WV=688.7± TN=682.2±				
SYMBOL		QTY	CONCRETE 5	ANENT			
×	Netafim LVCZ10075-HFHP Pre-Assembled Control Zone Kit, with 1in. Series 80 Control Valve, 3/4in. Disc Filter, and High Flow Pressure Regulator 4.5GPM to 17.6GPM.	3		PERMAN	ASEME ASEME 1 1 1 1 1 1 1 1 1 1 1 1 1		
	Area to Receive Dripline Netafim TLCV-04-12 Techline Pressure Compensating Landscape Dripline with Check Valve. 0.4 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. 17mm.	4,508 lf				6 9.98	SLEEVING SHOWN FOR CLARITY IN ONE SLEEVE AND SIZE SLEEV (TYP.) SLEEVING SHOWN FOR CLARITY LATERAL & MAINLINE IN ONE SLE SI EEVE ACCORDING IN ONE SLE
<u>SYMBOL</u>		QTY			1' A-5	2	
•	Hunter ICV-G (Remote) Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	9				→ ₩_¾"	CONTRACTOR SHALL ADJUST ALL SPRAY HEADS TO ENSURE MINIM
	Hunter HQ-44LRC-R Quick coupler valve, purple rubber locking cover for reclaimed water use, red brass and stainless steel, with 1in. NPT inlet, 2-piece body.	1		İ			COORDINATE/DISCUSS PROJECT I GENERAL CONTRACTOR WILL ENS IRRIGATION EQUIPMENT IS INSTAL
X	Nibco T-113 Class 125 bronze gate shut off valve with wheel handle, same size as mainline ¹ pipe diameter at valve location.	1	RKWAY				CONTRACTOR SHALL LOCATE ALL DEPTHS OF UTILITIES PRIOR TO PL INSTALLING IRRIGATION INPLCATION
	Hunter ICV-G (Master Valve) 1" Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	1		8.5 A-4		-34-	PLACED DIRECTLY OVER UTILITIES UTILITIES WILL BE THE RESPONSIB CONTRACTOR. CONTACT THE LOC, AGENCY WITH ANY UTILITY CONFLI
BF	Febco 850 1" 1 Double Check Backflow prevention,	1					DO NOT TRENCH UNDER CANOPY O TREES, IF NECESSARY, HAND TREN TO INSTALL HEAD (OVER MITTER)
С	Hunter I2C-2400-SS 24 Station Outdoor Modular Controller. With two ICM-800 Module. Commercial Use. Stainless Steel Cabinet.	1					TO INSTALL HEAD(S)/ EMITTER(S). (*
SS	Hunter Solar-Sync Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, 1 and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket. Wired.	1					
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Μ	Water Meter 1" 1 REF. CIVIL DWGS	1			A-2	5.5	
	Irrigation Lateral Line: PVC Class 200 SDR 21 4 3/4" min.	4,323 lf			A-1	10.3	APPROXIMATE CONTROLLER & RAIN SENS
	Irrigation Mainline: PVC Class 200 SDR 21 1 1" min.	1,392 lf	æ				LOCATION. AVOID OVERHEAD OBSTRUCTIONS A OVERSPRAY ASSOCIATED WITH RAIN SENS CONTRACTOR TO CONFIRM LOCATION WI
======	Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve shall allow for irrigation piping 5 and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	511.3 lf				₹	OWNE CONTRACTOR SHALL PROVIDE 110/120V, SING PHASE POWER FOR CONTROLLE CONTRACTOR SHALL PROVIDE CONNECTION FRO CONTROLLER TO FLOW SENSO
#• #•	Valve Number Valve Flow		• • • • • • • • • • • • • •				
#"•	Valve Size						
							4 <u>A-12</u> 1"
BOOSTER PUMP WILL BE R	FOLLOWING STATS: 100 PSI AND 37.5 GPM. IF WATER PRESSURE DOES NOT M REQUIRED AT COST OF CONTRACTOR. CONTRACTOR SHALL CONTACT LANDSC EM HAS +/- 5 PSI THAN DESIGN PRESSURE.						
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MAIN PIPED AS SEPARATE ZO							SOR, MASTER CONTROL VALVE, E PLACED IN GREEN SPACE.

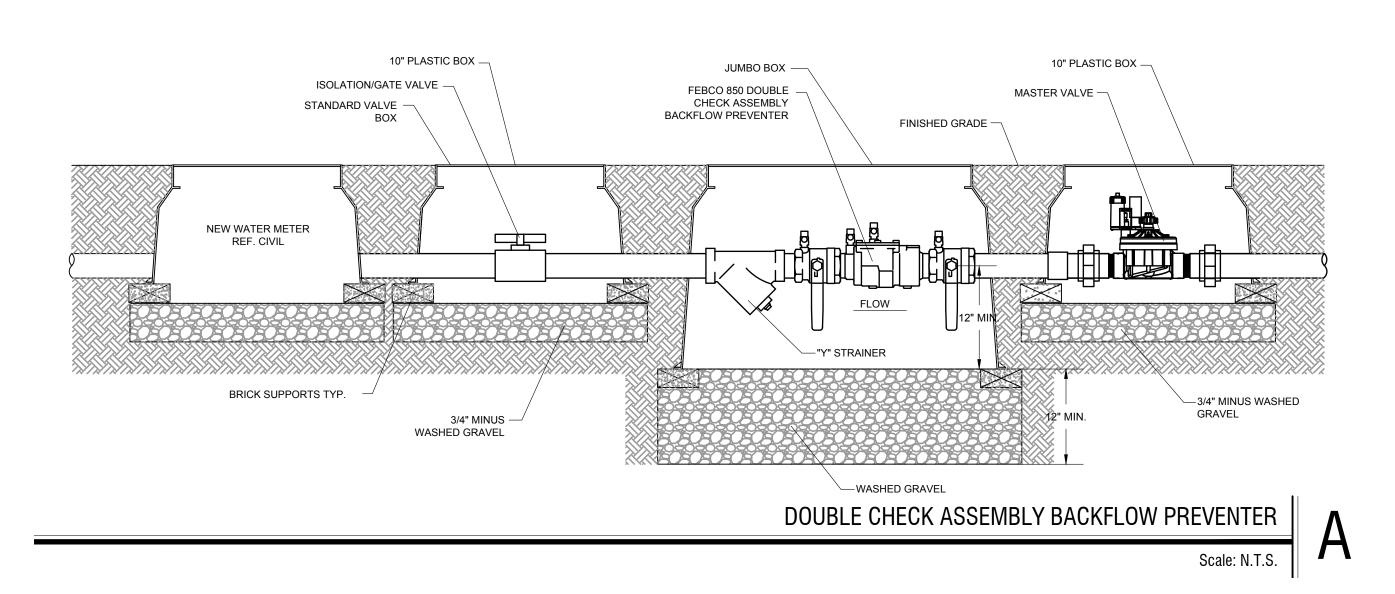






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GENERAL IRRIGATION SPECIFICATIONS AND NO

EXTENT:

 INCLUDES FURNISHING ALL LABOR, MATERIALS AND EQUIPMENT FOR THE PROPER INSTALLATION OF THE IN SYSTEM. THE WORK INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
 a. TRENCHING AND BACKFILL, (2) AUTOMATICALLY CONTROLLED LOW VOLUME IRRIGATION SYSTEM, (3) TEXAND MAKE OPERATIVE, (4) "AS-BUILT" DRAWINGS.

B. GENERAL:

- PERMITS AND FEES: OBTAIN ALL PERMITS AND PAY REQUIRED FEES TO ANY GOVERNMENTAL AGENCY HAV JURISDICTION OVER THE WORK. INSPECTIONS REQUIRED BY LOCAL ORDINANCES DURING THE COURSE OF SHALL BE ARRANGED AS REQUIRED. ON COMPLETION OF THE WORK, SATISFACTORY EVIDENCE SHALL BE THE OWNER'S CONSTRUCTION REPRESENTATIVE TO SHOW THAT ALL WORK HAS BEEN INSTALLED IN ACCC THE STATE AND LOCAL BUILDING/ PLUMBING CODE AND ALL OTHER CODE REQUIREMENTS.
- 2. APPROVAL: WHEREVER THE TERMS "APPROVE" OR "APPROVED" ARE USED IN THE SPECIFICATIONS, THEY S APPROVAL OF THE OWNER'S CONSTRUCTION REPRESENTATIVE IN WRITING.
- BEFORE ANY WORK IS STARTED, A CONFERENCE SHALL BE HELD BETWEEN THE CONTRACTOR AND THE ON CONSTRUCTION REPRESENTATIVE CONCERNING THE WORK UNDER THIS CONTRACT.
- COORDINATION: COORDINATE AND COOPERATE WITH OTHER CONTRACTORS TO ENABLE THE WORK TO PERAPIDLY AND EFFICIENTLY AS POSSIBLE.
 INSPECTION OF SITE:
- a. CONTRACTOR SHALL ACQUAINT THEMSELVES WITH ALL SITE CONDITIONS. SUBMISSION OF THEIR PROP CONSIDERED EVIDENCE THAT THE EXAMINATION HAS BEEN CONDUCTED. SHOULD UTILITIES NOT SHOW BE FOUND DURING EXCAVATIONS, CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S CONSTRUCTION REPRESENTATIVE FOR INSTRUCTIONS AS TO FURTHER ACTION. FAILURE TO DO SO WILL MAKE CONTRAC FOR ANY AND ALL DAMAGE THERETO ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF NOT SHOWN IN PLANS.
 b. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS IN THE LAYOUT AS MAY BE REQUIRED TO CONN
- EXISTING STUBOUTS, SHOULD SUCH STUBS NOT BE LOCATED EXACTLY AS SHOWN, AND AS MAY BE REC AROUND EXISTING WORK AT NO INCREASE IN COST TO THE OWNER'S CONSTRUCTION REPRESENTATIV
- 6. PROTECTION OF EXISTING PLANTS AND SITE CONDITIONS: THE CONTRACTOR SHALL TAKE NECESSARY PR PROTECT SITE CONDITIONS TO REMAIN. SHOULD DAMAGE BE INCURRED, THE CONTRACTOR SHALL REPAIR TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE OWNER RESERVES THE RIGHT TO SUBSTITUTE, ADD, OR DELETE ANY MATERIAL OR WORK AS THE WO PROGRESSES. ADJUSTMENTS TO THE CONTRACT PRICE SHALL BE NEGOTIATED IF DEEMED NECESSARY BY A PER DIEM BASIS.
- 8. THE OWNER RESERVES THE RIGHT TO REJECT MATERIAL OR WORK WHICH DOES NOT CONFORM TO THE DOCUMENTS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AT THE EARLIEST TIME POSSIBLE.
- WORK SCHEDULE: WITHIN 10 DAYS AFTER AWARD OF THE CONTRACT, THE CONTRACTOR SHALL SUBMIT TO WORK SCHEDULE.
 "AS-BUILT" IRRIGATION DRAWINGS: PREPARE AN "AS-BUILT" DRAWING ON A FULL-SIZE PLAN SET WHICH SH DEVIATIONS FROM THE BID DOCUMENTS MADE DURING CONSTRUCTION AFFECTING THE MAIN LINE PIPE, C
- LOCATIONS, REMOTE CONTROL VALVES AND QUICK COUPLING VALVES. THE DRAWINGS SHALL ALSO INDIC, APPROVED SUBSTITUTIONS OF SIZE, MATERIAL AND MANUFACTURERS NAME AND CATALOG NAME AND CA' THE DRAWINGS SHALL BE DELIVERED TO THE TENANT'S CONSTRUCTION REPRESENTATIVE BEFORE FINAL WORK.
- 11. FINAL ACCEPTANCE: FINAL ACCEPTANCE OF THE WORK MAY BE OBTAINED FROM THE OWNER'S CONSTRUCT REPRESENTATIVE UPON THE SATISFACTORY COMPLETION OF ALL WORK.
- 12. GUARANTEE: ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE AGAINST ALL MATERIAL, EQUIPMENT AND WORKMANSHIP. GUARANTEE SHALL ALSO COVER REPAIR OF DAMAGE TO ANY PREMISES RESULTING FROM LEAKS OR OTHER DEFECTS IN MATERIAL, EQUIPMENT AND WORKMANSHIP TO SATISFACTION OF THE TENANT'S CONSTRUCTION REPRESENTATIVE. REPAIRS, IF REQUIRED, SHALL BE DON NO COST TO THE OWNER.
- 13. A LAMINATED PLAN (8 1/2 X 11) SHOWING THE DIFFERENT IRRIGATION ZONES IN COLOR, PREPARED BY THE CONTRACTOR, SHALL BE POSTED IN THE MECHANICAL ROOM OR WITHIN CONTROLLER CABINET.

C. MATERIALS:

- GENERAL: ALL MATERIALS THROUGHOUT THE SYSTEM SHALL BE NEW AND IN PERFECT CONDITION.
 PLASTIC PIPING: ALL MAIN LINES AND LATERAL LINES SHALL BE CLASS 200 POLYVINYL CHLORIDE (PVC) PIF COMPLY WITH ONE OF THE FOLLOWING STANDARDS: ASTM D 1785, ASTM D-2241, AWWA C-900, OR AWWA C-PIPE SHALL HAVE A MINIMUM WALL THICKNESS AS REQUIRED BY SDR-26. PVC GASKETS FITTINGS SHALL CO ASTM D 3139. GASKETS SHALL CONFORM TO ASTM F 477. SOLVENT-WELD PVC FITTINGS SHALL MEET THE I
- ASTM D 3139. GASKETS SHALL CONFORM TO ASTM F 477. SOLVENT-WELD PVC FITTINGS SHALL MEET THE I OF SCHEDULE 40 AS SET FORTH IN ASTM D 2466. THREADED PVC PIPE FITTINGS SHALL MEET THE REQUIRE SCHEDULE 40 AS SET FORTH IN ASTM D 2464. CONFORMING TO ASTM D-1784 AND D-2241.
- PLASTIC FITTINGS: ALL SOLVENT-WELD PVC FITTINGS SHALL MEET THE REQUIREMENTS OF SCHEDULE 40 A ASTM D 2466. SCHEDULE 40 SOLVENT-WELD, POLYVINYL CHLORIDE (PVC) STANDARD WEIGHT AS MANUFAC SLOANE, LASCO, OR APPROVED EQUAL.
- SOLVENT CEMENT: PVC CEMENT SHALL MEET ASTM D 2564 AND PVC CLEANER-TYPE SHALL MEET ASTM F 6
 SPRINKLER HEAD RISERS: SCHEDULE 40 PVC FOR RISERS. PIPE SHALL BE CUT WITH A STANDARD PIPE CUT SHARP CUTTERS. REAM ONLY TO FULL DIAMETER OF PIPE AND CLEAN ALL ROUGH EDGES OR BURRS. CUT ACCURATELY WITH SHARP DIES. NOT MORE THAN THREE(3) FULL THREADS SHALL SHOW BEYOND FITTINGS MADE UP. ASSEMBLIES SHALL BE AS DETAILED.
- 6. AUTOMATIC CONTROLLER: SEE LEGEND.
- 7. REMOTE CONTROL VALVES: SEE LEGEND.
- CONTROL WIRING: CONVENTIONAL SYSTEMS TO USE 24 VOLT SOLID UL APPROVED FOR DIRECT BURIAL IN MINIMUM WIRE SIZE: 14 GAUGE. ALL SPLICES SHALL BE MADE WITHIN VALVE BOX. TWO-WIRE SYSTEMS TO CONTROL WIRING PER MANUFACTURER STANDARDS.
- SLEEVES FOR CONTROL WIRING: UNDER ALL WALKS AND PAVED AREAS AND WHERE INDICATED ON DRAW PVC SCHEDULE 40 PLASTIC PIPE.
- 10.SPRINKLER HEADS/ DRIP LINE: SEE LEGEND. 11.QUICK COUPLING VALVES: SHALL BE NOTED ON DRAWINGS.

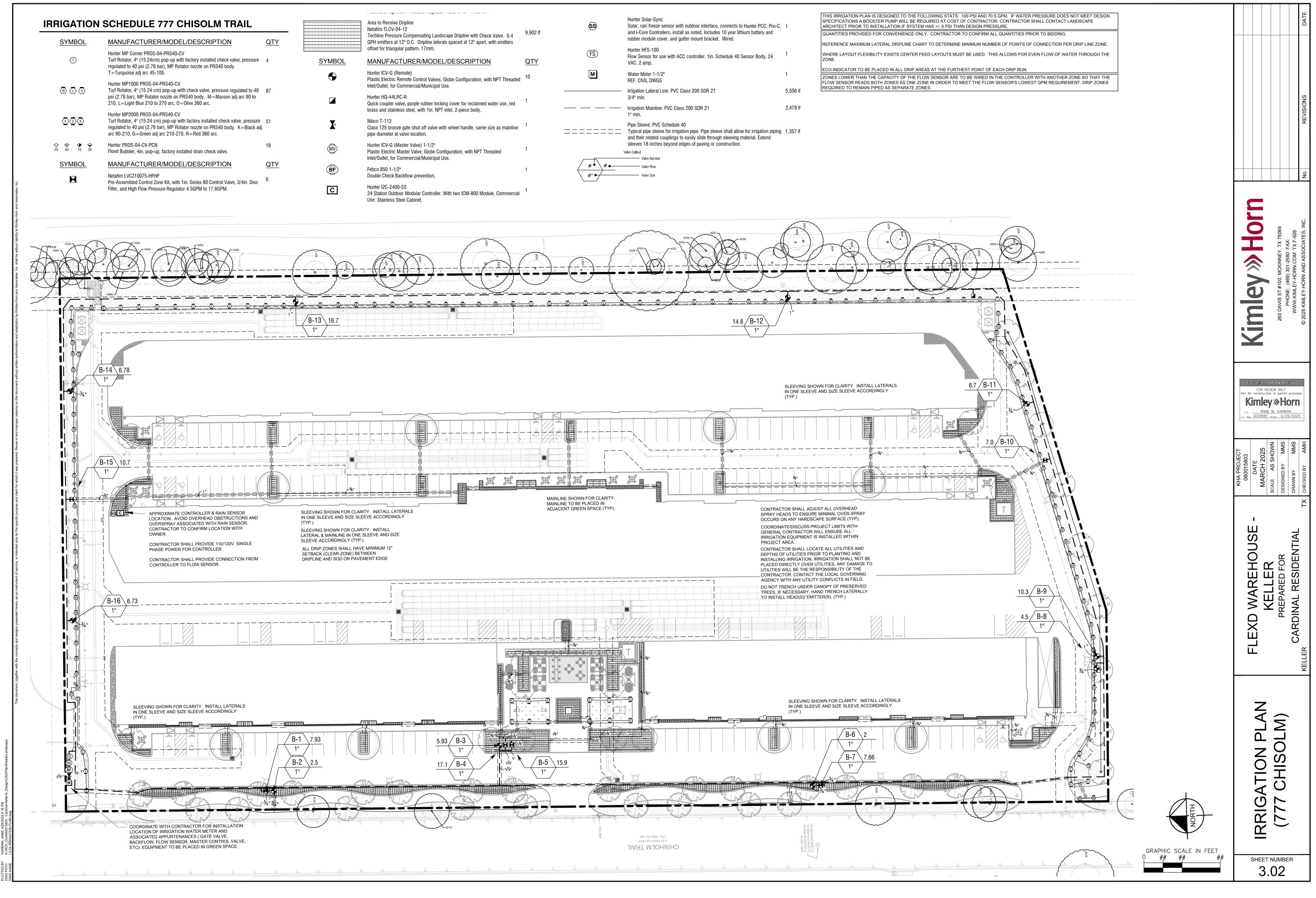
D. WORKMANSHIP:

- 1. LAY OUT WORK AS ACCURATELY AS POSSIBLE TO THE DRAWINGS. THE DRAWINGS, THOUGH CAREFULLY I GENERALLY DIAGRAMMATIC TO THE EXTENT THAT SWING JOINTS, OFFSETS, AND ALL FITTINGS ARE NOT S
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULL AND COMPLETE COVERAGE OF ALL IRRIGATED AREA MAKE ANY NECESSARY MINOR ADJUSTMENTS AT NO ADDITIONAL COST TO THE OWNER'S CONSTRUCTION REPRESENTATIVE.
- ANY MAJOR REVISIONS TO THE IRRIGATION SYSTEM MUST BE SUBMITTED AND ANSWERED IN WRITTEN FOR ANY CHANGE IN CONTRACT PRICE.

		DATE
DTES	E. INSTALLATION:	
E IRRIGATION	1. EXCAVATION AND TRENCHING:	
TEST ALL SYSTEMS	a. PERFORM ALL EXCAVATIONS AS REQUIRED FOR THE INSTALLATION OF THE WORK INCLUDING UNDER THIS SECTION, INCLUDING SHORING OF EARTH BANKS TO PREVENT CAVE-INS. RESTORE ALL SURFACES, EXISTING UNDERGROUND INSTALLATIONS, ETC., DAMAGED OR CUT AS A RESULT OF THE EXCAVATIONS TO AND IN A MANNER APPROVED BY THE OWNER.	REVISIONS
AVING OF CONSTRUCTION 3E FURNISHED TO	b. TRENCHES SHALL BE MADE WIDE ENOUGH TO ALLOW A MINIMUM OF 6 INCHES BETWEEN PARALLEL PIPE LINES. TRENCHES FOR PIPE LINES SHALL BE MADE OF SUFFICIENT DEPTHS TO PROVIDE THE MINIMUM COVER FROM FINISH GRADE AS FOLLOWS:	REVIS
Y SHALL MEAN THE	 24" MINIMUM BELOW BOTTOM PAVEMENT PER SLEEVING INSTALLATION DETAIL FOR MAIN LINE.18" MINIMUM FOR NON-PRESSURIZED LATERALS. 2) MINIMUM COVER OVER IRRIGATION LINES TO HEADS/ DRIPLINE EXCEPT VEHICLE TRAFFIC AREAS ARE AS FOLLOWS: 	
OWNER'S	FOLLOWS: 12" COVER LATERALS 18" COVER OVER MAINLINE.	
PROCEED AS	 MAINTAIN ALL WARNING SIGNS, SHORING, BARRICADES, FLARES AND RED LANTERNS AS REQUIRED BY THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY AND LOCAL ORDINANCES. PIPE LINE ASSEMBLY: 	ġ.
OPOSAL SHALL BE	 a. INSTALL REMOTE CONTROL VALVES WHERE SHOWN AND GROUP TOGETHER WHERE PRACTICAL, PLACE NO CLOSER THAN 12-18 INCHES TO WALK EDGES, WALLS, AND OTHER PAVEMENTS. PLACE A MINIMUM OF 24" FROM BUILDINGS. 	
DWN ON THE PLANS DTION RACTOR LIABLE DF SUCH UTILITIES	 b. PLASTIC PIPE AND FITTINGS SHALL BE SOLVENT WELDED USING SOLVENTS AND METHODS RECOMMENDED BY MANUFACTURER OF THE PIPE, EXCEPT WHERE SCREWED CONNECTIONS ARE REQUIRED. PIPE AND FITTINGS SHALL BE THOROUGHLY CLEANED OF DIRT, DUST AND MOISTURE BEFORE APPLYING SOLVENT WITH A 	E
NNECT TO REQUIRED TO WORK TIVE.	 NON-SYNTHETIC BRISTLE BRUSH. c. PIPE MAY BE ASSEMBLED AND WELDED ON THE SURFACE. SNAKE PIPE FROM SIDE TO SIDE OF TRENCH BOTTOM TO ALLOW FOR EXPANSION AND CONTRACTION. 	75069
PRECAUTIONS TO AIR THE DAMAGE	 MAKE ALL CONNECTIONS BETWEEN PLASTIC PIPE AND METAL VALVES OR STEEL PIPE WITH THREADED FITTINGS USING PLASTIC MALE ADAPTERS. 	TX FAX
WORK Y BY THE OWNER ON	e. JOINTS:1) PIPE SIZES 2 1/2 INCH OR SMALLER SHALL HAVE BELL AND SOCKET JOINTS.	ACKINNEY 301-2580 BRN.COM AND ASS
HE CONTRACT	 2) PIPE SIZES LARGER THAN 2 1/2 INCH SHALL HAVE SNAP CONNECTIONS WITH RUBBER GASKET JOINTS. 3) THRUST BLOCKING SHALL BE REQUIRED WHEN PIPE SIZE IS 4" OR GREATER. 2) CODINICI ED LIEADS(ODIDI INF: 	#100, M (469) EY-HO
TO THE OWNER A	 3. SPRINKLER HEADS/ DRIPLINE: a. INSTALL ALL SPRINKLERS/ DRIPLINE AS DETAILED ON DRAWINGS. 	
SHALL SHOW CONTROLLER DICATE AND SHOW CATALOG NUMBER.	b. DO NOT SCALE PLANS FOR EXACT HEAD LOCATION.4. CLOSING OF PIPE AND FLUSHING LINES:	260 DAVIS PHC WWW.B
AL ACCEPTANCE OF	a. CAP OR PLUG ALL OPENINGS AS SOON AS LINES HAVE BEEN INSTALLED TO PREVENT THE ENTRANCE OF MATERIALS THAT WOULD OBSTRUCT THE PIPE. LEAVE IN PLACE UNTIL REMOVAL IS NECESSARY FOR COMPLETION OF INSTALLATION.	
ALL DEFECTS IN NY PART OF THE	 THOROUGHLY FLUSH OUT ALL WATER LINES BEFORE INSTALLING HEADS, DRIPLINE, VALVES AND OTHER HYDRANTS. 	
TO THE DONE PROMPTLY AT	 c. TEST IN ACCORDANCE WITH PARAGRAPH ON HYDROSTATIC TESTS. d. UPON COMPLETION OF THE TESTING, THE CONTRACTOR SHALL COMPLETE ASSEMBLY AND ADJUST SPRINKLER HEADS FOR PROPER DISTRIBUTION. 	
HE IRRIGATION	5. INSPECTIONS:a. SPRINKLER/ DRIPLINE LAYOUT AND SPACING INSPECTION: VERIFICATION THAT THE IRRIGATION DESIGN IS	PRELIMINARY FOR REVIEW ONLY
	 ACCURATELY INSTALLED IN THE FIELD. IT WILL ALSO PROVIDE FOR ALTERATION OR MODIFICATION OF THE SYSTEM TO MEET FIELD CONDITIONS. SPACING SHOULD BE WITHIN 5% OF THE DESIGN SPACING. b. PIPE INSTALLATION DEPTH INSPECTION: ALL PIPES IN THE SYSTEM SHALL BE INSTALLED TO DEPTHS AS 	Not for construction or permit purposes.
PIPE AND SHALL A C-905. SDR-PR L CONFORMING TO HE REQUIREMENTS	 PREVIOUSLY DESCRIBED IN SECTION 'E' OF THESE SPECIFICATIONS. OPEN TRENCH INSPECTION: THE TRENCH AND ALL JOINTS AND EVERY TRANSITION IN PIPE SIZE, WILL BE OPEN WHERE OPEN TRENCH INSPECTION IS REQUIRED. 	L.I. <u>ANNE M. HARMAN</u> L.I. No. <u>0029987</u> Date <u>4/29/2025</u>
IREMENTS OF 0 AS SET FORTH IN	d. INSPECTIONS WILL BE PERFORMED THROUGHOUT THE DURATION OF THE INSTALLATION. INSPECTION MAY BE MADE BY THE GOVERNING AGENCY/ OWNER TO ENSURE COMPLIANCE WITH DESIGN INTENT, SPECIFICATIONS, AND	
FACTURED BY	THE IRRIGATION CODES. 6. HYDROSTATIC TESTS:	act Bandary Band AMH AMH AMH
CUTTING TOOL WITH UT ALL THREADS NGS WHEN PIPE IS	 a. REQUEST THE PRESENCE OF THE OWNER AND/OR OWNERS REPRESENTATIVE IN WRITING AT LEAST 48 HOURS IN ADVANCE OF TESTING. b. TESTING TO BE ACCOMPLISHED AT THE EXPENSE OF THE CONTRACTOR AND IN THE PRESENCE OF THE OWNER. 	HA PROJEC 060015803 DATE ARCH 20 E AS SH ined BY N BY KED BY
	 c. CENTER LOAD PIPING WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING OR SLIPPING UNDER PRESSURE. d. APPLYING A CONTINUOUS AND STATIC WATER PRESSURE OF 125 PSI WHEN WELDED PLASTIC JOINTS HAVE CURED AT LEAST 3 HOURS AND WITH THE RISERS CAPPED AS FOLLOWS: 1) MAIN LINES AND SUBMAINS TO BE TESTED FOR 2 HOURS. 	Kh BESIG DRAW
IN GROUND. TO UTILIZE	 2) NO PRESSURE LOSS IS ALLOWED FOR SOLVENT WELD MAINLINE/ PIPE. e. FOR PVC AND O-RING GASKET PIPE THE ALLOWABLE LEAKAGE SHALL NOT EXCEED THE NUMBER OF GALLONS PER 	Ě
AWINGS. MINIMUM	HOUR AS DETERMINED BY THE FOLLOWING FORMULA: L=NPD ^{1/2} / 1,850	
	IN WHICH: L=ALLOWABLE LEAKAGE, IN GALLONS PER HOUR	
Y DRAWN, ARE SHOWN.	N=NUMBER OF JOINTS D=PIPE DIAMETER IN INCHES P=AVERAGE TEST PRESSURE IN PSI GAUGE.	
REAS AND SHALL	f. REPAIR LEAKS RESULTING FROM TESTS.7. AUTOMATIC CONTROLLERS:	
FORM, ALONG WITH	 a. CONNECT REMOTE CONTROL VALVES TO CONTROLLER IN A CLOCKWISE SEQUENCE TO CORRESPOND WITH STATION SETTING BEGINNING WITH STATIONS 1, 2, 3, ETC. 8. AUTOMATIC CONTROL WIRING: 	VAF ELLI EPARI
	 a. INSTALL CONTROL WIRING, SPRINKLER MAINS AND LATERALS IN COMMON TRENCHES WHEREVER POSSIBLE. b. INSTALL CONTROL WIRES AT LEAST 18" BELOW FINISHED GRADE AND SNAKE WIRE SIDE TO SIDE IN TRENCH 	
	BELOW MAIN LINE. EXPANSION CURLS SHALL BE PROVIDED WITHIN THREE (3') FEET OF EACH WIRE CONNECTION TO SOLENOID AND AT LEAST EVERY THREE HUNDRED (300') FEET IN LENGTH. (EXPANSION CURLS ARE FORMED BY WRAPPING AT LEAST FIVE (5) TURNS OF WIRE AROUND A ROD OR PIPE 1" OR MORE IN DIAMETER, THEN	EXI EXI
	 WITHDRAWING THE ROD). CONTROL WIRE SPLICES WILL BE ALLOWED ONLY RUNS OVER 1000 FT. CONNECTIONS SHALL BE IN VALVE BOX AND LOCATION TO BE SHOWN ON AS-BUILT PLANS. 	
	d. ALL WIRING PASSING UNDER EXISTING OR FUTURE PAVING, CONSTRUCTION, ETC., SHALL BE ENCASED IN PLASTIC OR GALVANIZED STEEL CONDUIT EXTENDING AT LEAST 24" BEYOND EDGES OF PAVING OR CONSTRUCTION.	KELL KE
	 e. CONTRACTOR SHALL RUN TWO SPARE WIRES IN EACH DIRECTION FROM CONTROLLER TO FARTHEST VALVE TO SERVE AS BACKUP WIRES. 9. BACKFILL AND COMPACTING: 	
	a. AFTER SYSTEM IS OPERATING AND REQUIRED TESTS AND INSPECTIONS HAVE BEEN MADE, BACKFILL EXCAVATIONS AND TRENCHES WITH CLEAN SOIL, FREE OF RUBBISH. INITIAL BACKFILL MATERIAL TO 6 INCHES ABOVE THE TOP OF PIPE SHALL BE FREE OF ROCKS OR STONES LARGER THAN ONE INCH IN DIAMETER FINAL	
	 BACKFILL MATERIAL SHALL BE FREE OF ROCKS OR STONES LARGER THAN 3 INCHES IN DIAMETER. BACKFILL FOR ALL TRENCHES, REGARDLESS OF THE TYPE OF PIPE COVERED, SHALL BE COMPACTED TO MINIMUM 90% DENSITY. 	
	c. COMPACT TRENCHES IN AREAS TO BE PLANTED BY THOROUGHLY FLOODING THE BACKFILL. JETTING PROCESS MAY BE USED IN THOSE AREAS.	N A
	d. DRESS OFF ALL AREAS TO FINISH GRADES.10. PROTECTIVE RADIUS OF EXISTING TREES:	Щ щ №
	a. AN AUGER IS TO BE USED TO TUNNEL UNDER EXISTING TREES IF IRRIGATION IS INSTALLED WITHIN THE PROTECTIVE RADIUS OF EXISTING TREES AND ONLY IF THERE IS NO OTHER OPTION OR TO DO SO CREATES AN UNREASONABLE HARDSHIP.	
	F. CLEAN-UP:1. REMOVE FROM THE SITE ALL DEBRIS RESULTING FROM WORK OF THIS SECTION.	
	END SECTION	
		$=$ \odot

SHEET NUMBER

3.04



ng Landscape Dripline with Check Valve. 0.4 ne laterals spaced at 12" apart, with emitters	9,902 lf	(SS)	Hunter Solar-Sync Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket. Wired.	1	THIS IRRIGATION PLAN I SPECIFICATIONS A BOO ARCHITECT PRIOR TO IN QUANTITIES PROVIDED
nm. ODEL/DESCRIPTION	QTY	FS	Hunter HFS-100 Flow Sensor for use with ACC controller, 1in. Schedule 40 Sensor Body, 24 VAC, 2 amp.	1	REFERENCE MAXIMUM I WHERE LAYOUT FLEXIB ZONE.
Valves, Globe Configuration, with NPT Threaded	10	Μ	Water Meter 1-1/2" REF. CIVIL DWGS	1	ZONES LOWER THAN TH
nicipal Use.	-		Irrigation Lateral Line: PVC Class 200 SDR 21 3/4" min.	5,556 lf	REQUIRED TO REMAIN F
per locking cover for reclaimed water use, red I in. NPT inlet, 2-piece body.	-		Irrigation Mainline: PVC Class 200 SDR 21 1" min.	2,478 lf	
valve with wheel handle, same size as mainline	1		Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend	1,357 lf	
1/2" obe Configuration, with NPT Threaded nicipal Use.	1	<u>5</u>	sleeves 18 inches beyond edges of paving or construction. Valve Callout Valve Number Valve Number		
ion,	1	# • # • #" •	Valve Flow Valve Size		

