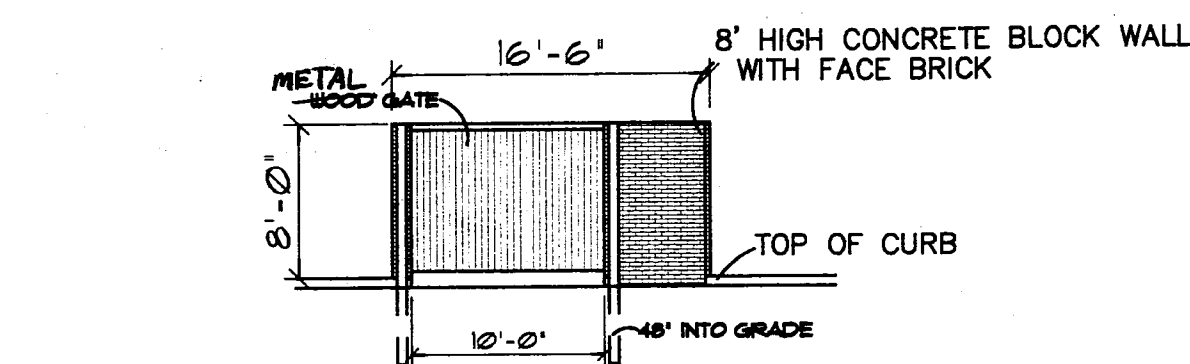
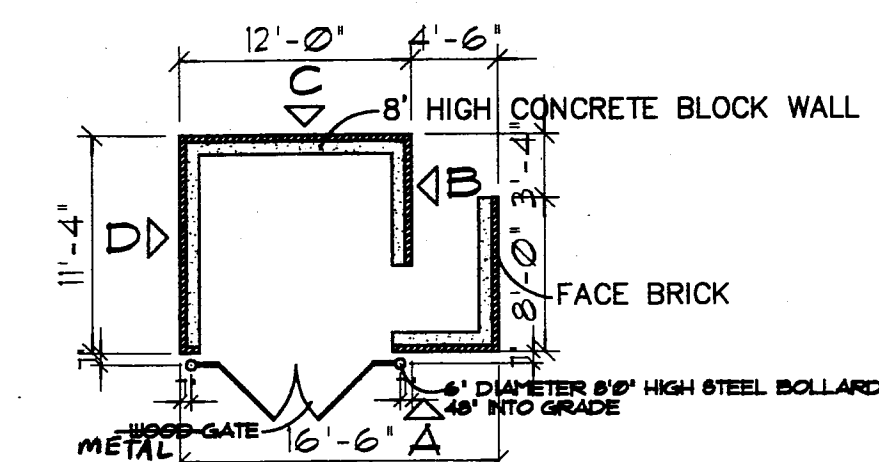
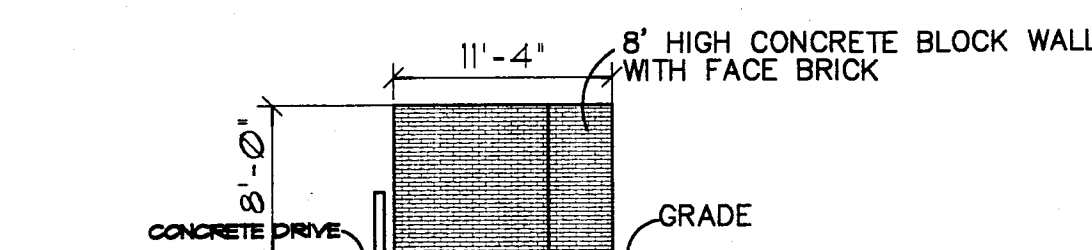




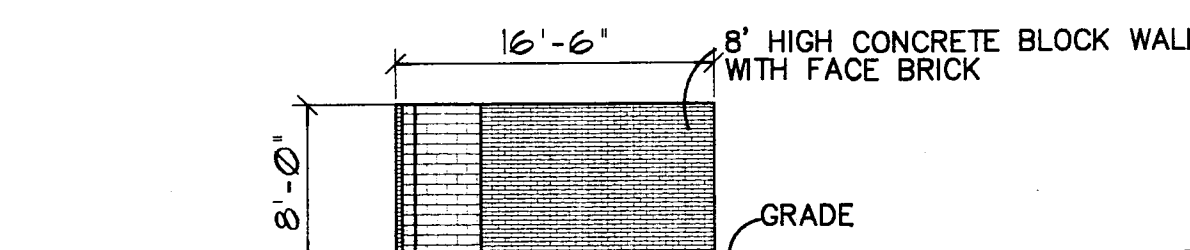
A TYPICAL DUMPSTER ELEVATION
1/4" = 1'0"



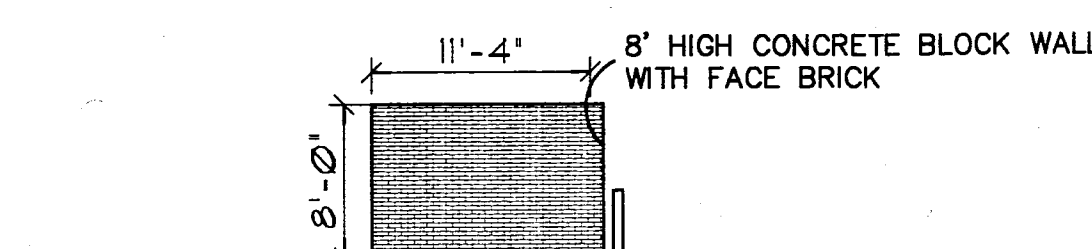
DUMPSTER PLAN
1/4" = 1'0"



B TYPICAL DUMPSTER ELEVATION
1/4" = 1'0"



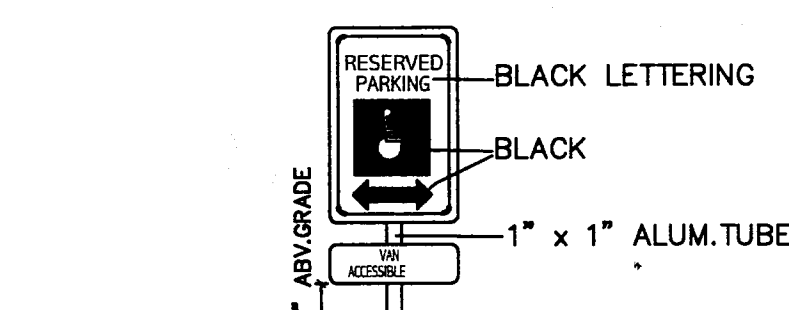
C TYPICAL DUMPSTER ELEVATION
1/4" = 1'0"



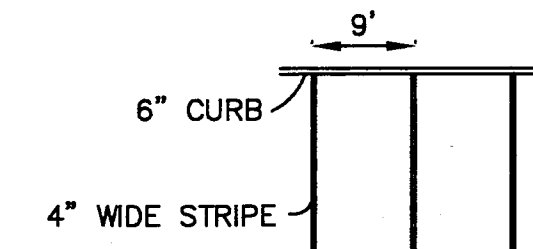
D TYPICAL DUMPSTER ELEVATION
1/4" = 1'0"



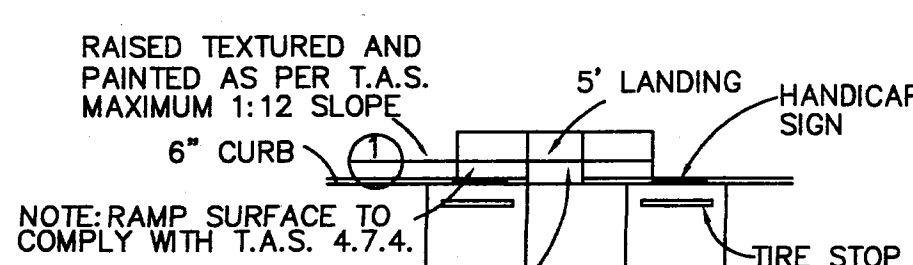
TYPICAL SECTION THROUGH HANDICAP RAMP
SCALE 1/8" = 1'0"



TYPICAL HANDICAP SIGN
VAN ACCESSIBLE



TYPICAL STRIPING AT SPACES
SCALE 1/8" = 1'0"



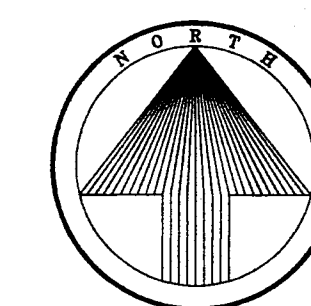
TYPICAL VAN ACCESSIBLE PARKING SPACE
SCALE 1/8" = 1'0"

CHARLES W. SURBER
1711 EAST PRICE
FLOWER COURT ADDITION
LOT 2 - BLOCK 1
ZONED - PD-R

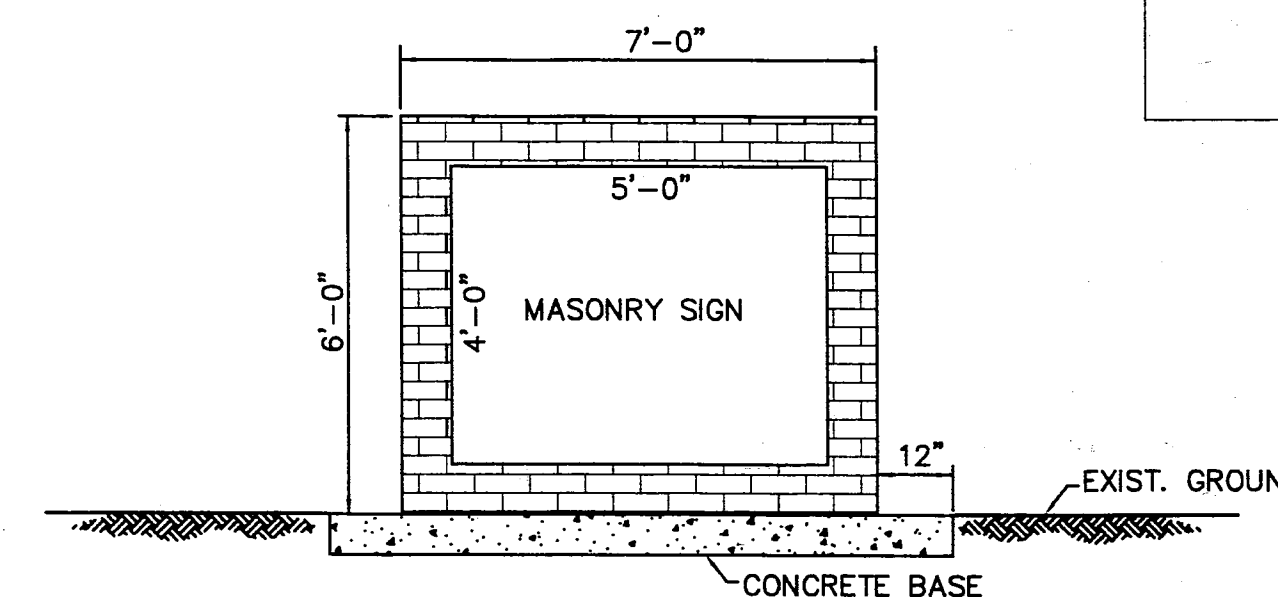
NOTES (Ordinance No. 1095, Section 2):

1. An amended site plan application shall be submitted for the Phase II office development if a building permit application is not submitted within two (2) years of the approval of this PD amendment and site plan.
2. A variance to the parking requirements shall be allowed by providing forty (40) parking spaces for Phase I of the development.
3. All signage on this site shall be externally illuminated.
4. Only one (1) masonry monument sign with a brick frame, a maximum of six feet (6') in height and forty-two square feet (42 s.f.) in total surface area shall be allowed in front of the office building adjacent to Keller Parkway (FM 1709).
5. Only three (3) attached building signs, one (1) each on the three (3) tower elements as illustrated on the south elevation, shall be allowed. These signs shall not exceed eighteen-inches (18") in height.
6. Red oak trees, a minimum of four-inches (4") in caliper, shall be planted in a straight line within the thirty-foot (30') landscape buffer along Keller Parkway (FM 1709) and spaced at twenty-five feet (25').
7. The parking area shall be allowed to encroach into the thirty-foot (30') landscape buffer along Keller Parkway (FM 1709) a maximum of six feet (6'), as illustrated on the site plan.
8. Parking lot light poles shall match those used at Homer O'Neal Furniture in style, color and height.
9. The dumpster screening wall shall have a separate pedestrian access.
10. The driveway to the parking lot adjacent to Keller Parkway (FM 1709) shall be aligned with the parking lot driveway on the property to the west (Homer O'Neal Furniture).
11. This site is not in a 100-year flood plain.

BORENSTEN & REAGAN INC. TX.
115 FLOWER COURT
FLOWER COURT ADDITION
LOT 4R - BLOCK 1
ZONED - PD-R



SCALE: 1" = 20'



MONUMENT SIGN DETAIL
N.T.S.

SITE DATA

	PHASE 1	PHASE 2
1. LOT AREA	= 71,648 S.F.	= 71,648 S.F.
2. BUILDING AREA	= 8,655 S.F.	= 6,877 S.F.
3. PARKING REQUIRED	= 43	= 60
4. PARKING PROVIDED	= 40	= 63
5. HC PARKING REQUIRED	= 3	= 3
6. HC PARKING PROVIDED	= 3	= 3
7. ZONING	= PD-R	= PD-R
8. LAND USE	= OFFICE	= OFFICE
9. PRESENT USE	= NONE	= NONE
10. LANDSCAPING REQUIRED	= 1,765 S.F.	= 1,765 S.F.
11. LANDSCAPING PROVIDED	= 40,661 S.F.	= 40,661 S.F.
12. BUILDING HEIGHT PROPOSED	= 25'	= 25'
13. PARKING and BUILDING AREA	= 23,788 S.F.	= 39,939 S.F.
14. PERCENT of LOT COVERAGE	= 33%	= 56%

REVIEWED
CITY OF KELLER
RELEASED FOR CONSTRUCTION

DATE

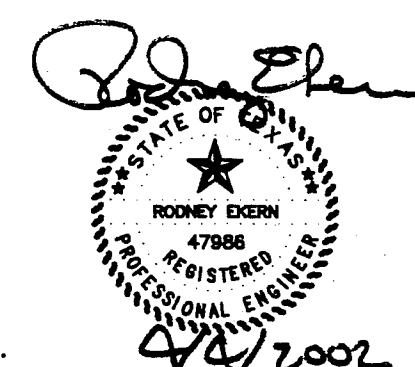
PUBLIC WORKS DIRECTOR/CITY ENGINEER

SITE PLAN OF CENTURY 21 OFFICE BUILDING

LOT 1, BLOCK 1
AN ADDITION TO
FLOWER ADDITION
CITY OF KELLER, TARRANT COUNTY, TEXAS
1.643 ACRES IN THE
J. MARTIN SURVEY A-1153 &
J. DURHAM SURVEY A-424
ZONED - PD-R

ENGINEER/PLANNER
HAGAN ENGINEERING, INC.
CIVIL • MECHANICAL • ELECTRICAL
1705 FOREST RIDGE DR., SUITE 102
BEDFORD, TEXAS 76022
(817) 571-9221 FAX (817) 571-9335

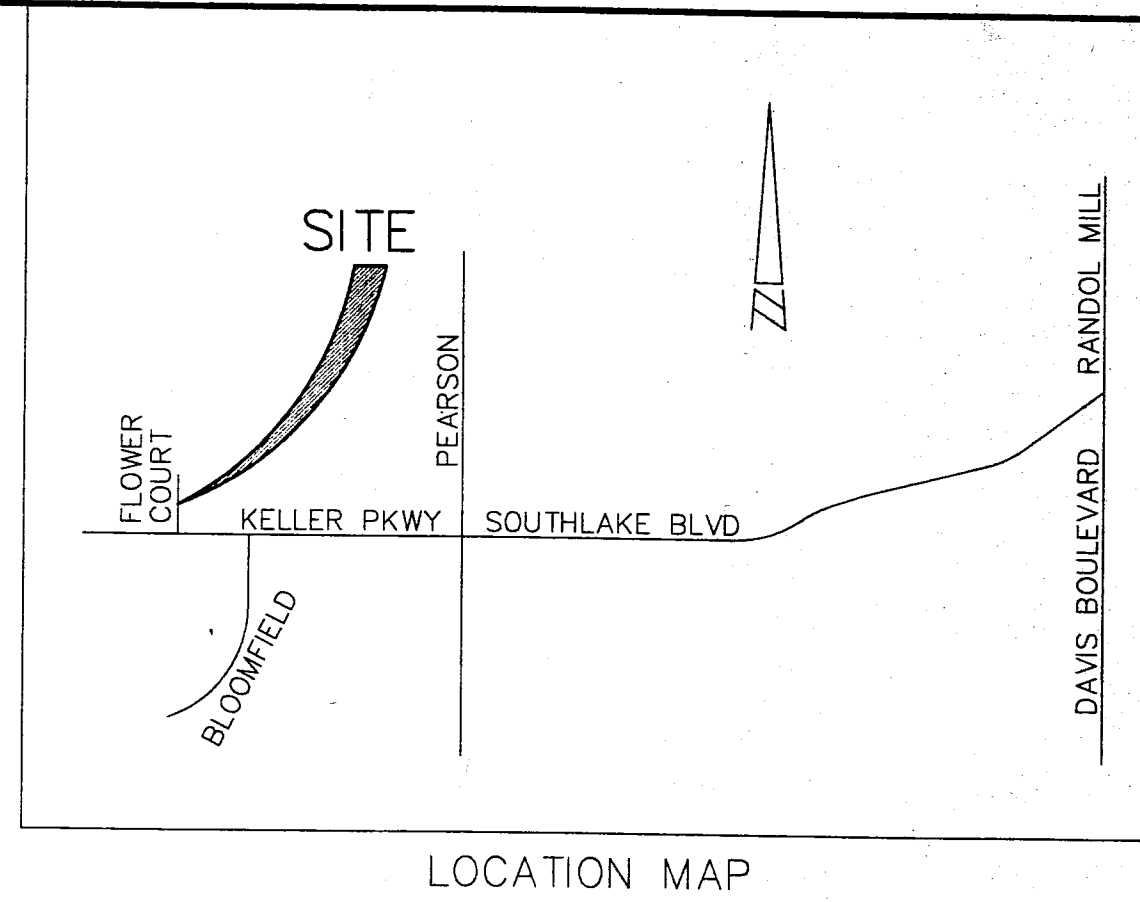
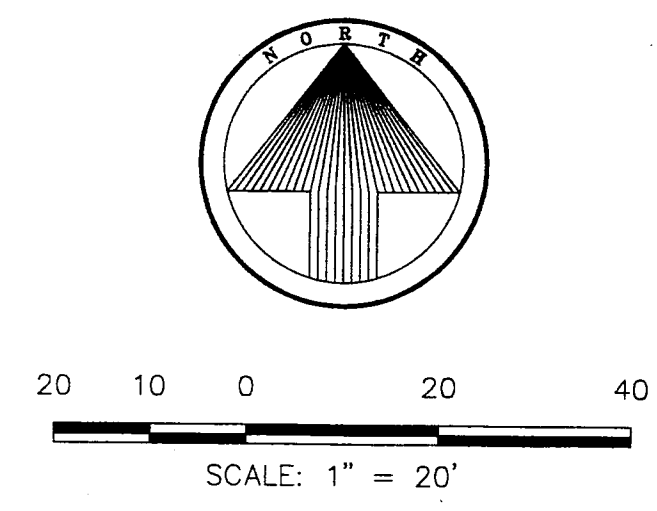
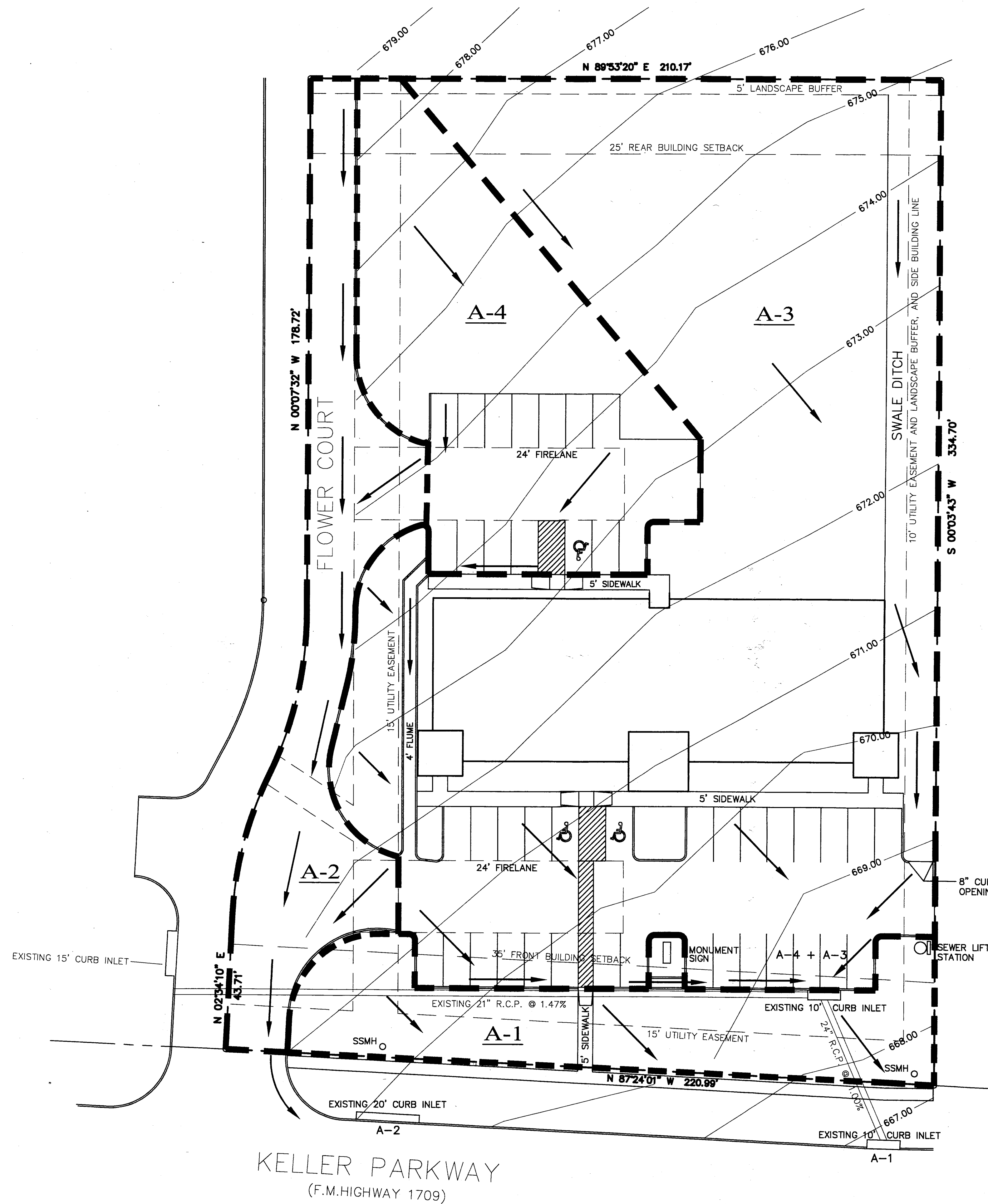
OWNER/DEVELOPER
ELLEN JOHNSTON
CENTURY 21 WORLDWIDE
700 E. SOUTHLAKE BLVD., SUITE 130
SOUTHLAKE, TEXAS 76092
(817) 379-3111 FAX (817) 251-8238



JOE NO. 492
FILE: 492.C1.SITE.dwg

NOVEMBER 11, 2002
The SITE PLAN shall NOT be
modified without the approval of
the Community Development
Department.

APPROVED BY CITY
COUNCIL ACTION
DATE: 2/19/03
ORDINANCE NO. 1095



FLUME CALCULATION

$$Q = \frac{1.486}{n} A R^{2/3} S_f^{1/2}$$

$$Q = \frac{1.486}{.013} (2)(.4)^{2/3} (0.01)^{1/2}$$

$$Q = 12.41 \text{ c.f.s.}$$

$$Q_{\text{PROV}} = 12.41 \text{ c.f.s.}$$

$$Q_{\text{REQ}} = 2.69 \text{ c.f.s.}$$

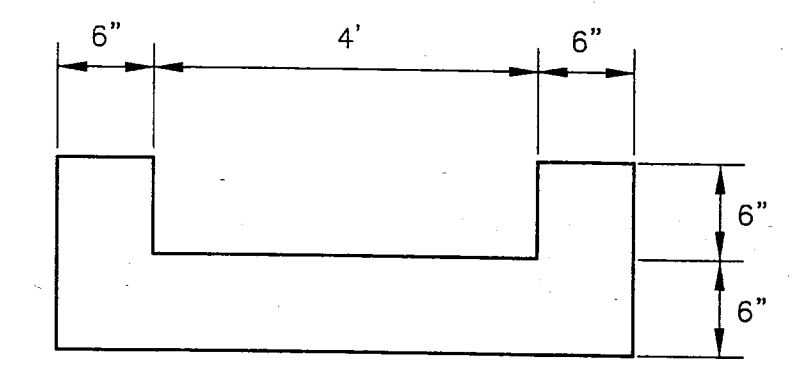
$$S_f = .01$$

$$n = .013 \text{ (CONCRETE)}$$

$$A = 2 \text{ ft.}^2$$

$$P = 5 \text{ ft.}$$

$$r = \frac{A}{P} = \frac{2}{5} = .4$$



SWALE CALCULATION

$$Q = \frac{1.486}{n} A R^{2/3} S_f^{1/2}$$

$$Q = \frac{1.486}{.035} (6.75)(.37)^{2/3} (0.013)^{1/2}$$

$$Q = 16.84 \text{ c.f.s.}$$

$$Q_{\text{PROV}} = 16.84 \text{ c.f.s.}$$

$$Q_{\text{REQ}} = 10.90 \text{ c.f.s.}$$

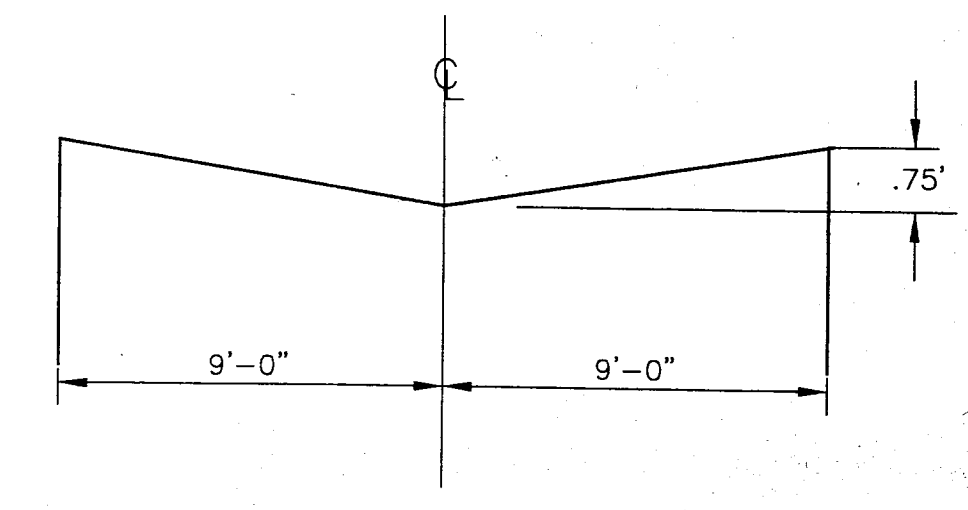
$$S_f = .013$$

$$n = .035 \text{ (GRASS)}$$

$$A = 6.75 \text{ ft.}^2$$

$$P = 18.06 \text{ ft.}$$

$$r = \frac{A}{P} = \frac{6.75}{18.06} = .37$$



EXISTING INLET CALCULATION

$$Q = (L) (3.0) (y)^{3/2}$$

$$Q = (10) (3) (.92)^{3/2}$$

$$Q = 26.47 \text{ c.f.s. (IN SUMP)}$$

$$Q_{\text{PROV}} = 26.47 \text{ c.f.s. (IN SUMP)}$$

$$Q_{\text{REQ}} = 13.59 \text{ c.f.s. (IN SUMP)}$$

$$L = 10 \text{ ft.}$$

$$y = .42 + .5 = .92$$

The SITE PLAN shall NOT be modified without the approval of the Community Development Department.

DEVELOPED SITE DRAINAGE DATA								
MARK	AREA (AC)	C	Tc (MIN.)	I _s (IN/HR)	I ₁₀ (IN/HR)	I ₁₀₀ (IN/HR)	Q _s (IN/HR)	Q ₁₀ (IN/HR)
A-1	.157	.9	10	6.6	7.8	11.6	.93	1.10
A-2	.185	.9	10	6.6	7.8	11.6	1.10	1.30
A-3	1.044	.9	10	6.6	7.8	11.6	6.20	7.33
A-4	.258	.9	10	6.6	7.8	11.6	1.53	1.81

RATIONAL METHOD CIA = Q

REVIEWED
CITY OF KELLER
RELEASED FOR CONSTRUCTION

DATE _____

PUBLIC WORKS DIRECTOR/CITY ENGINEER

NOTE:
THIS SITE IS NOT IN A
100-YEAR FLOOD PLANE

DATE

REVISIONS

1	
2	
3	
4	
5	
6	

OWNER/DEVELOPER:
ELLEN JOHNSTON
CENTURY 21 WORLDWIDE
700 E. SOUTHLAKE BLVD., SUITE 130
SOUTHLAKE, TEXAS 76092
817-379-3111

SCALE:
H: 1" = 20'

DATE: 02/26/02

DESIGNED: RAE

APPROVED: RAE

HAGAN ENGINEERING, INC.

CIVIL • MECHANICAL • ELECTRICAL

1700 Forest Ridge Drive, Suite 102 • Bedford, Texas 76022 • 817-571-9221

DRAINAGE STUDY

CENTURY 21

OFFICE BUILDING

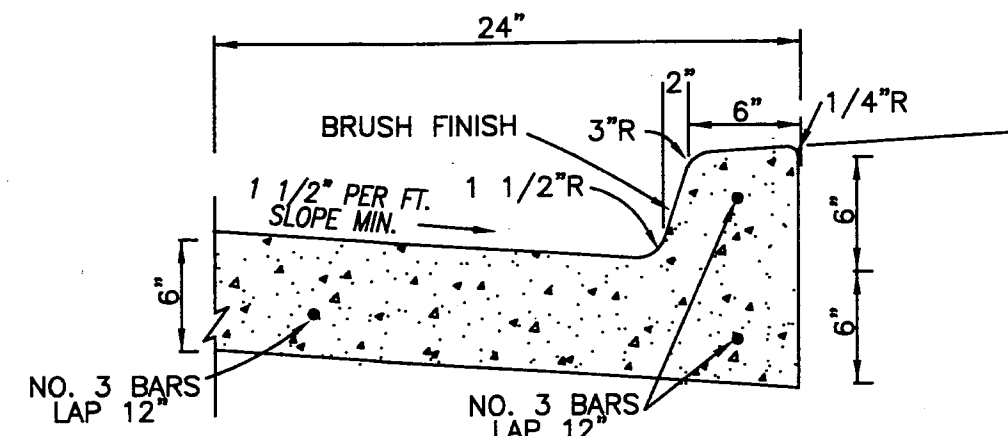
KELLER, TEXAS

10:00 AM 02/26/02

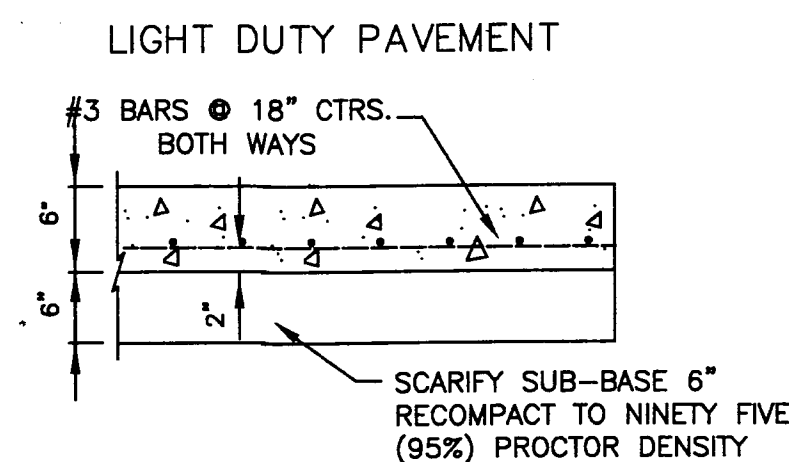
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SHEET NO.
C-4.0

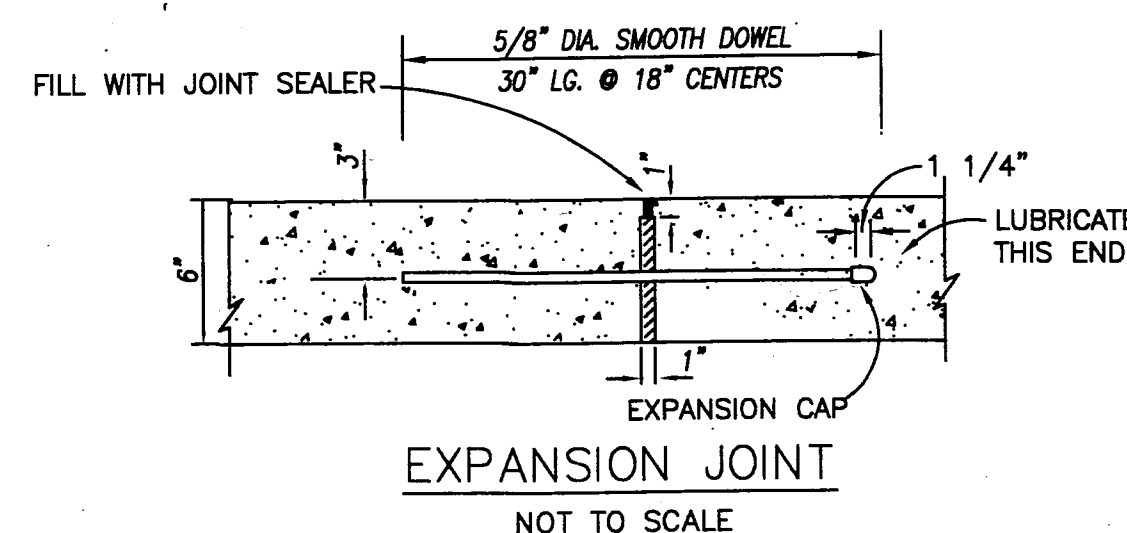
JOB NO. 492



TYPICAL SECTION OF
CONC. CURB & GUTTER
NOT TO SCALE



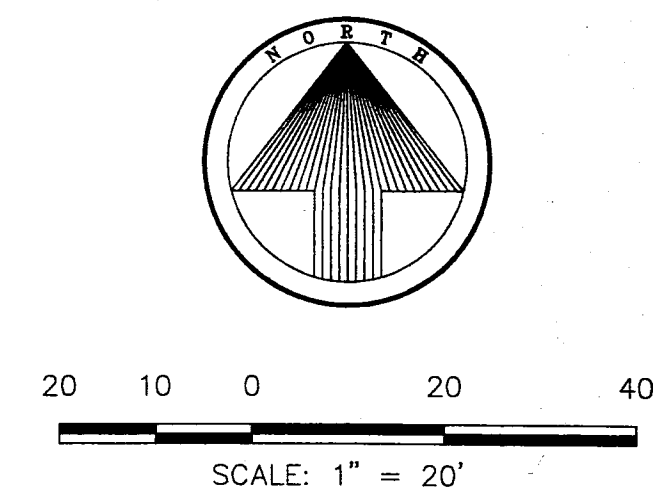
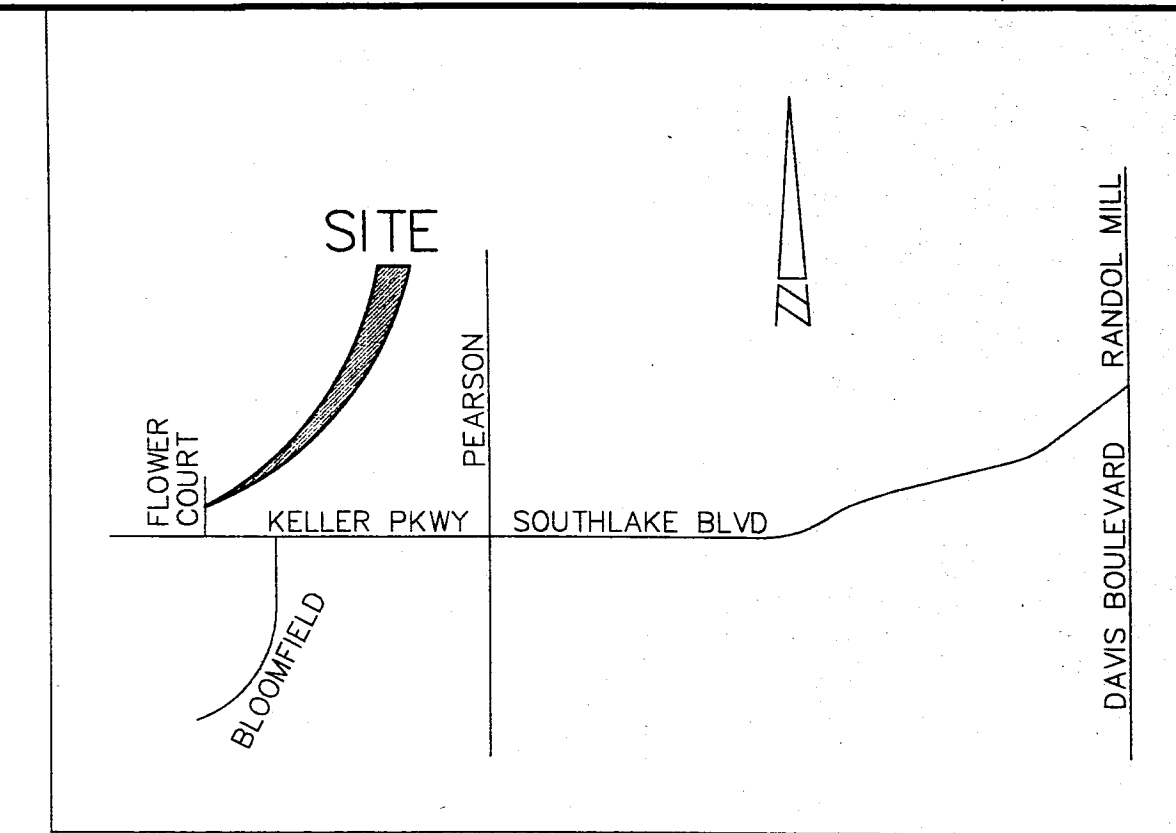
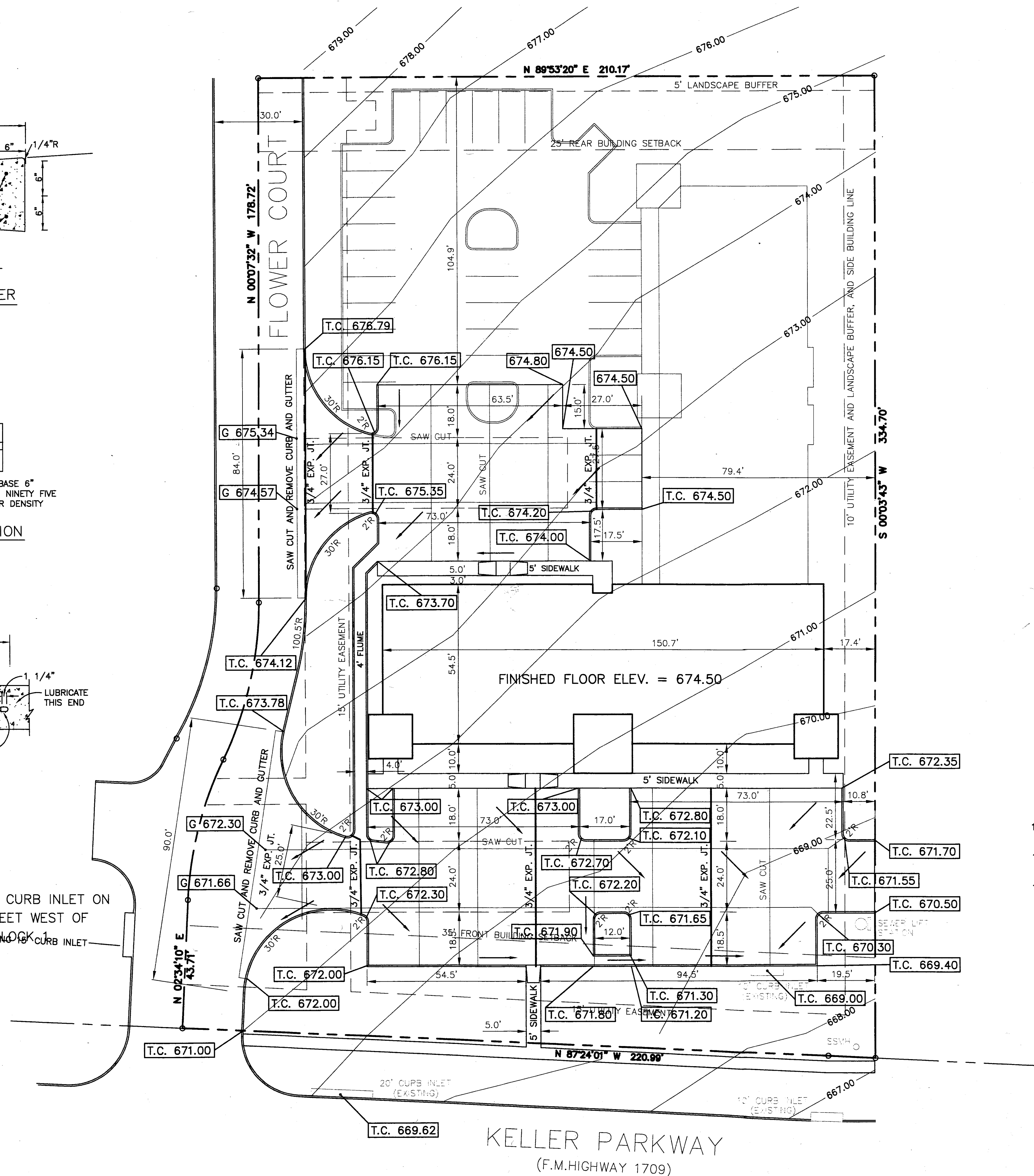
TYPICAL PAVING SECTION
NOT TO SCALE



EXPANSION JOINT
NOT TO SCALE

BENCHMARKS:

CENTER OF MANHOLE COVER FOR 20 FOOT CURB INLET ON EAST PRICE STREET APPROXIMATELY 175 FEET WEST OF MOST SOUTHEASTERN CORNER OF LOT 1 BLOCK 1 FLOWER ADDITION, EQUALS 669.62



NOTES:

1. THE TOP FOUR (4) INCHES OF TOP SOIL SHALL BE REMOVED FROM THE ENTIRE SITE AND STOCKPILED FOR FUTURE USE IN LANDSCAPING AREAS.
2. ALL FILL MATERIAL SHALL BE INSTALLED IN SIX (6) INCH LIFTS AND COMPACTED TO NINETY-FIVE (95%) PERCENT STANDARD PROCTOR DENSITY. THE CONTRACTOR SHALL FURNISH COMPACTION TESTS FROM AN APPROVED SOILS TESTING LABORATORY.
3. IMMEDIATELY PRIOR TO INSTALLING PAVING, THE CONTRACTOR SHALL SHAPE AND COMPACT THE SUBGRADE TO NINETY-FIVE (95%) PERCENT STANDARD PROCTOR DENSITY.
4. ALL CONCRETE SHALL BE 3000 PSI AT 28 DAYS. TWO TEST CYLINDERS SHALL BE TAKEN BY AN APPROVED TESTING LABORATORY EACH DAY CONCRETE IS POURED. SEVEN DAY AND TWENTY-EIGHT DAY TEST RESULTS SHALL BE FURNISHED TO THE OWNER AND THE ENGINEER.
5. SAW JOINTS SHALL BE CUT ON TWENTY (20') FOOT CENTERS WITHIN 24 HOURS FOLLOWING EACH POUR.
6. EXPANSION JOINTS SHALL BE INSTALLED WHERE SHOWN ON THE PLANS.
7. SIX (6") INCH CURB SHALL BE INSTALLED INTEGRAL WITH THE CONCRETE PAVEMENT. SAW JOINTS SHALL EXTEND THROUGH THE CURB.
8. ALL DIMENSIONS ARE TO THE BACK OF CURB.
9. CONTRACTOR SHALL FURNISH ALL TESTING AND ALL CONSTRUCTION STAKING.
10. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS OF THE CITY OF KELLER, TEXAS.
11. SELECT FILL SHALL BE SANDY CLAY WITH A LIQUID LIMIT OF 24 OR LESS AND WITH A PLASTICITY INDEX OF LESS THAN 12.
12. ALL PAVING TO BE 6" REINFORCED CONCRETE ON 6" LIME STABILIZED BASE COMPACTED TO 95% DENSITY.

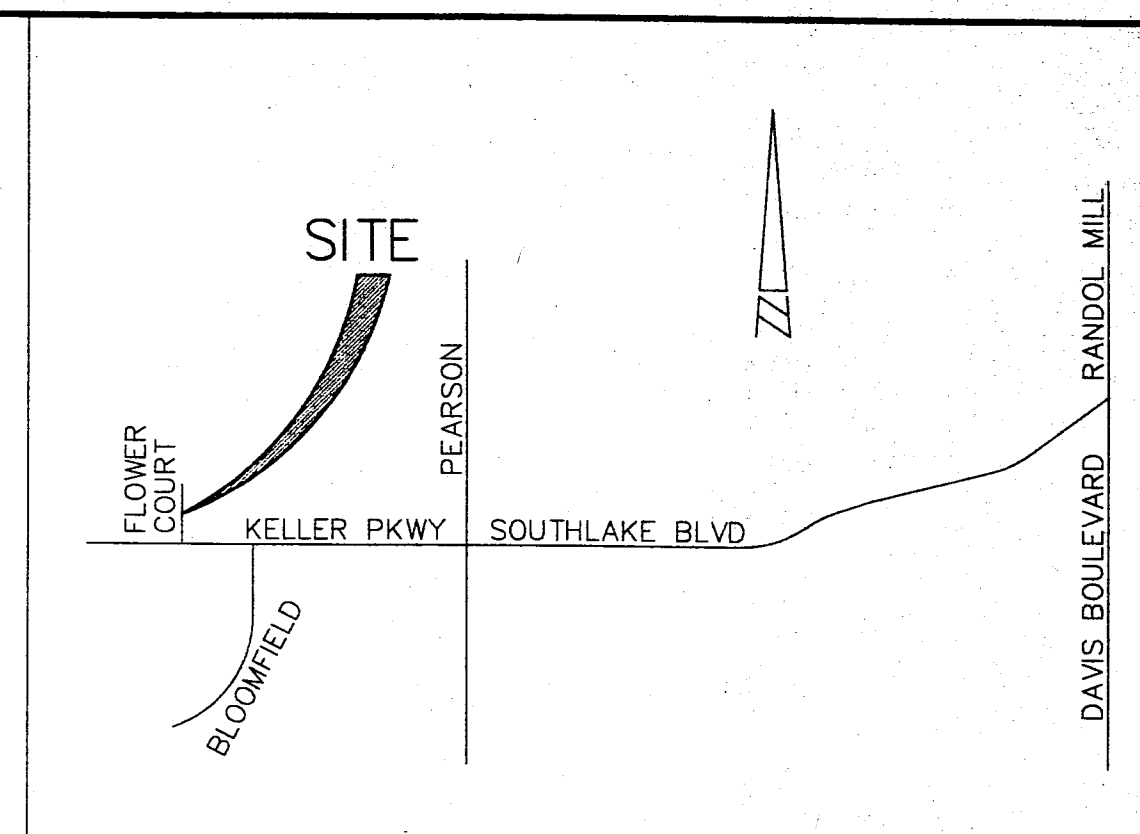
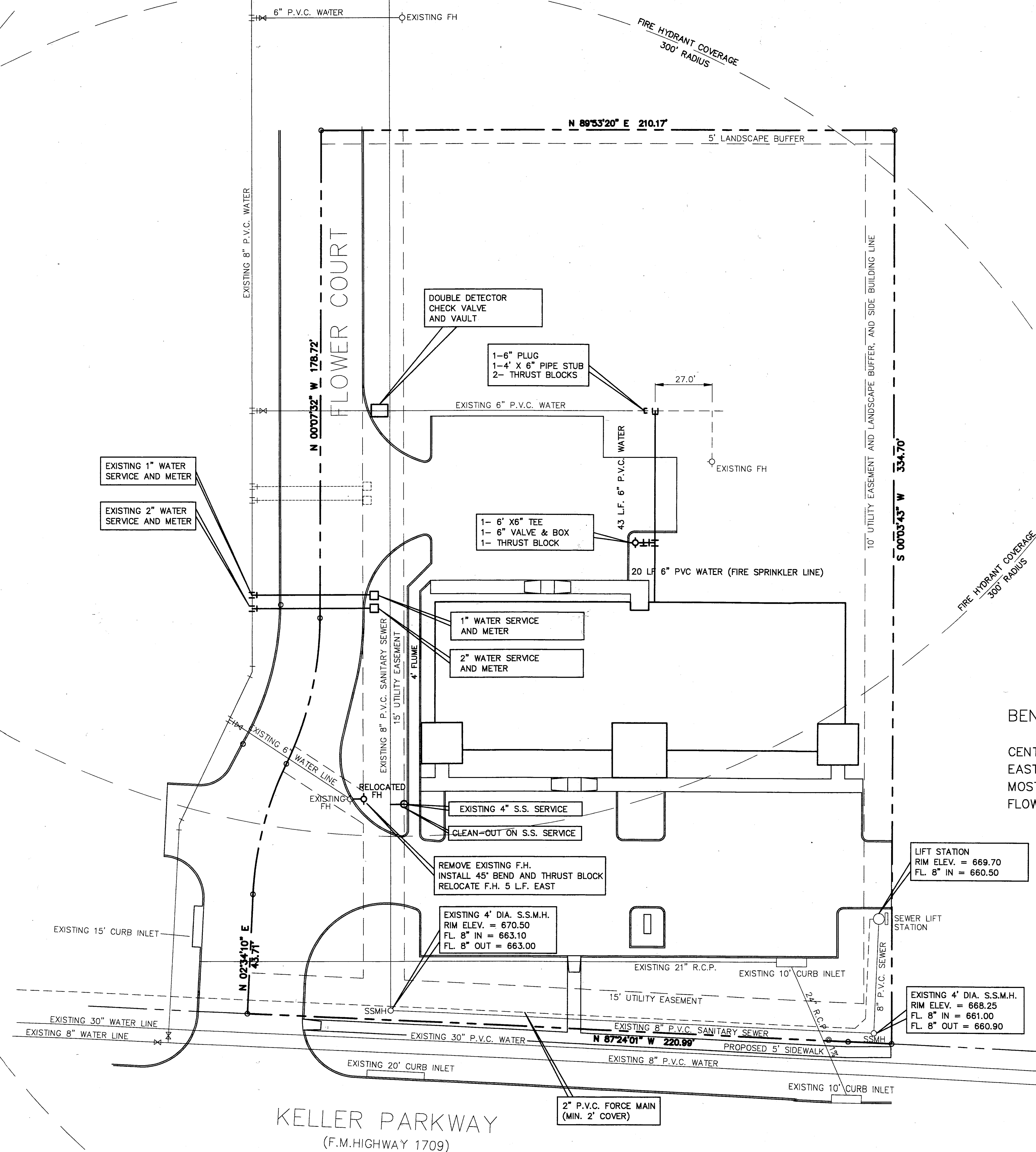
The SITE PLAN shall NOT be
modified without the approval of
the Community Development
Department.

REVIEWED
CITY OF KELLER
RELEASED FOR CONSTRUCTION

DATE _____

PUBLIC WORKS DIRECTOR/CITY ENGINEER

DATE	REVISIONS	OWNER/DEVELOPER: ELLEN JOHNSTON CENTURY 21 WORLDWIDE 700 E. SOUTHLAKE BLVD., SUITE 130 SOUTHLAKE, TEXAS 76092 817-375-5111	SCALE: H: 1" = 20'	CIP
1	2	3	4	5
6	7	8	9	10
DRAWN: RAE		DESIGNED: RAE	APPROVED: RAE	
HAGAN ENGINEERING, INC. CIVIL • MECHANICAL • ELECTRICAL 1705 Forest Ridge Drive, Suite 102 • Bedford, Texas 76022 • 817-571-9521				
PAVING & GRADING PLAN CENTURY 21 OFFICE BUILDING KELLER, TEXAS				
10:00 AM	02/26/02	File: 492.CS.PAVGRAD.dwg	SHEET NO. C-5.0	
JOB NO. 492				



BENCHMARKS:

CENTER OF MANHOLE COVER FOR 20 FOOT CURB INLET ON EAST PRICE STREET APPROXIMATELY 175 FEET WEST OF MOST SOUTHEASTERN CORNER OF LOT 1, BLOCK 1 FLOWER ADDITION, EQUALS 669.62

The SITE PLAN shall NOT be modified without the approval of the Community Development Department.

REVIEWED
CITY OF KELLER
RELEASED FOR CONSTRUCTION

DATE _____

PUBLIC WORKS DIRECTOR/CITY ENGINEER

REVISIONS		DATE
1		
2		
3		
4		
5		
6		

OWNER/DEVELOPER:		ELLEN JOHNSTON
		CENTURY 21 WORLDWIDE
		700 E. SOUTHLAKE BLVD., SUITE 130
		SOUTHLAKE, TEXAS 76092
		817-379-3111

SCALE:	H: 1" = 20'	CIP
DRAWN:		DESIGNED: RAE
		APPROVED: RAE

HAGAN ENGINEERING, INC.	
CIVIL • MECHANICAL • ELECTRICAL	
1705 Forest Ridge Drive, Suite 102 • Bedford, Texas 76022 • 817-571-9221	

UTILITY PLAN	
CENTURY 21	
OFFICE BUILDING	
KELLER, TEXAS	

10:00 AM	02/26/02
File:	
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SHEET NO.	
C-6.0	
JOB NO. 492	

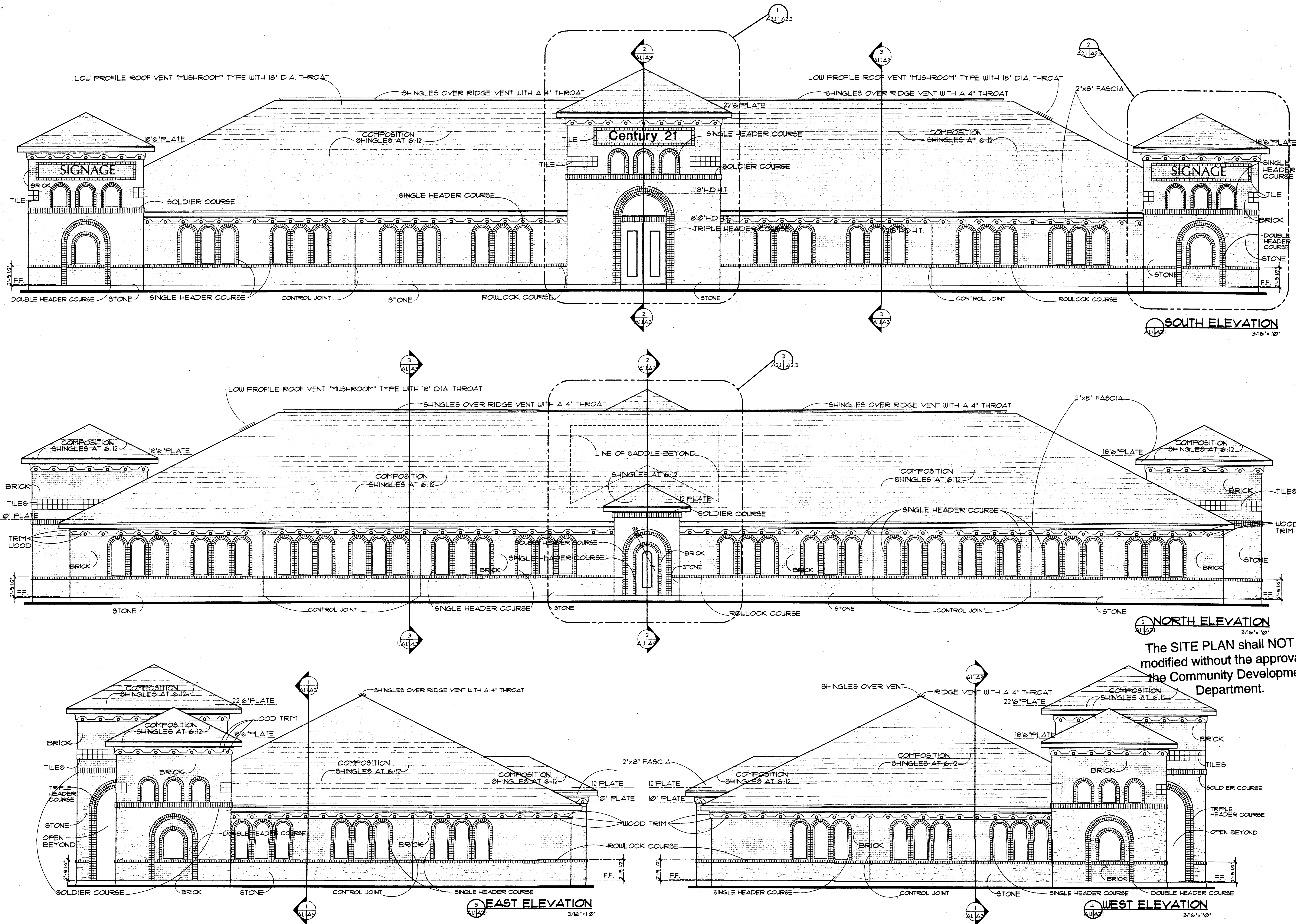
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CENTURY 21 WORLDWIDE
 KELLER PARKWAY
 KELLER, TEXAS



100 E. SOUTHLAKE BLVD., SUITE 110
 SOUTHLAKE, TEXAS 76082
 METRO (817) 424-3664
 FAX (817) 379-0993
 E-MAIL: txarch@aolmail.net

M.J. WRIGHT & ASSOCIATES, INC.
 ARCHITECTS & PLANNERS



The SITE PLAN shall NOT be modified without the approval of the Community Development Department.

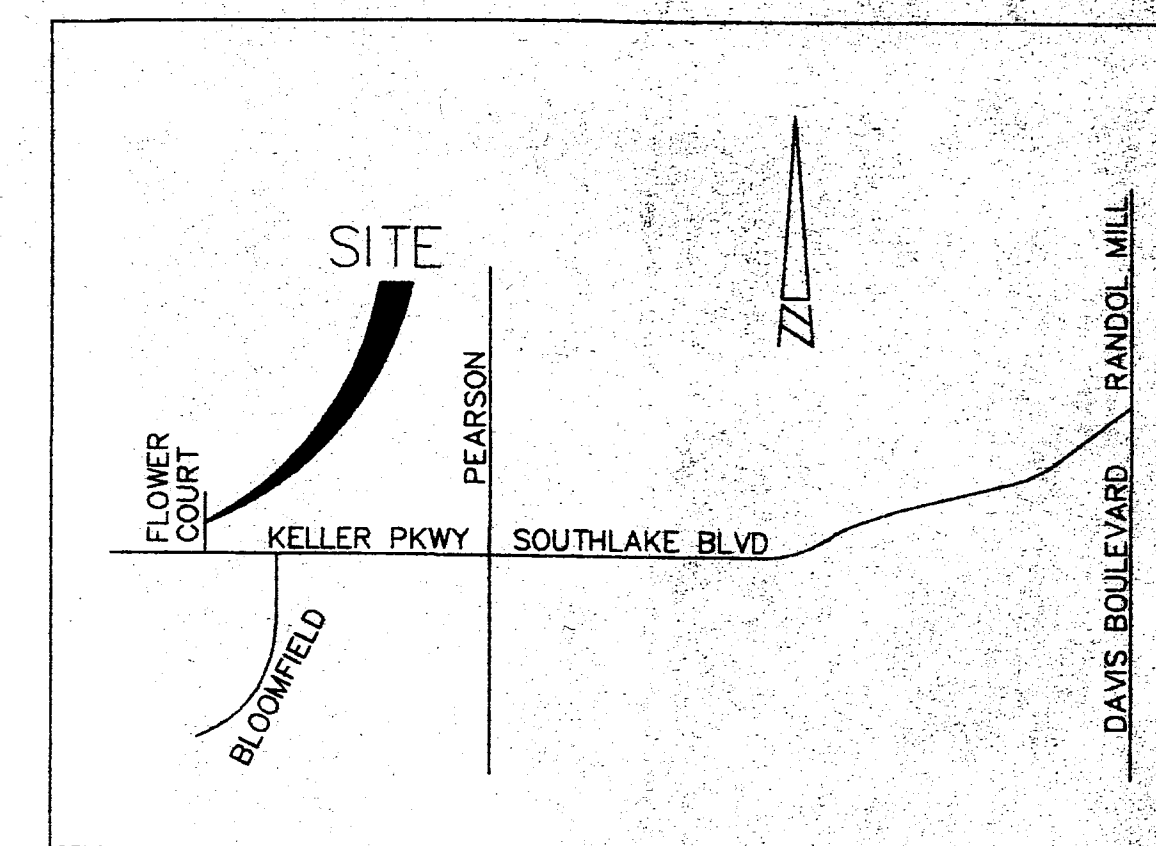
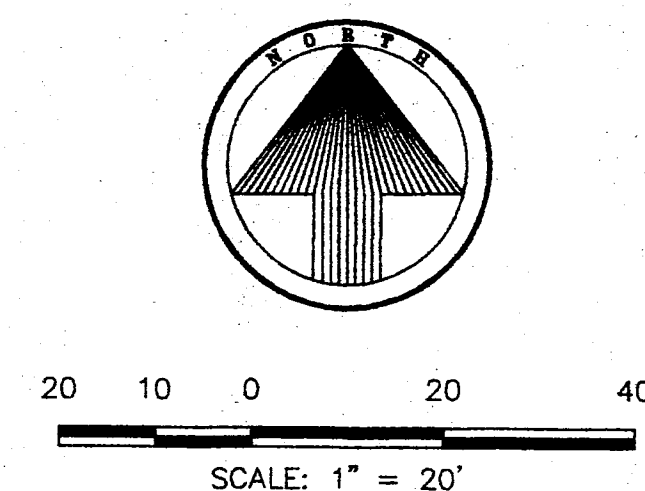
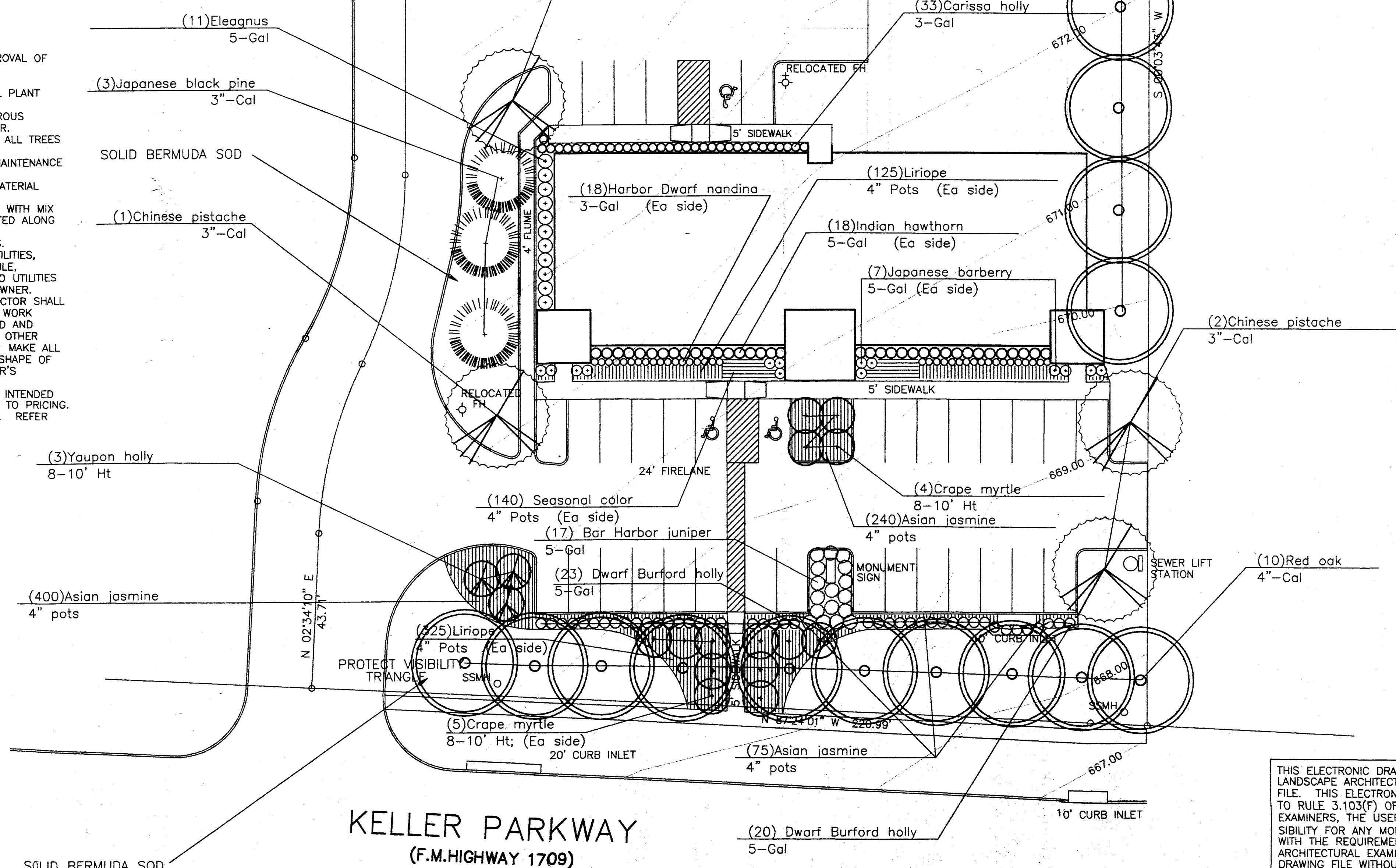
LANDSCAPE ORDINANCE COMPLIANCE:		
LANDSCAPING CRITERIA	LANDSCAPING REQUIRED	LANDSCAPING PROVIDED
STREET YARD LANDSCAPING (15% IF STREET FRONTAGE UNDER 250'; 20% IF OVER 250')	235 LF FRONTAGE = 15% 71,648 X 20% = 10,748 SF	40,661 SF
BUFFER AT STREET FRONTAGE (15')	15 FT	MIN. 23 FT
TREES AT STREET FRONTAGE (1/40')	235/40 = 6	9
LANDSCAPED ISLANDS IN PARKING LOTS (16 SF PER SPACE)	40 PARKING SPACES 40 X 16 = 640 SF	1,700 SF +/-
TREES REQUIRED IN PARKING LOTS (1 PER 400 SF OF LANDSCAPING)	640/400 = 2	5

NOTE: - PARKING LOTS ARE SCREENED FROM PUBLIC STREETS. MINIMUM 50% TREES ARE LARGE TREES;
- VISIBILITY TRIANGLES ARE PROTECTED AT ALL LOCATIONS.
- AUTOMATIC IRRIGATION SYSTEM TO BE PROVIDED WITH CONSTRUCTION DOCUMENTS.
- SITE WILL BE MAINTAINED IN ACCORDANCE WITH ALL CITY STANDARDS.
- ADDITIONAL TREES PLANTED PER CORRIDOR GUIDELINES.

Scientific Name	Common Name	Size	Quantity	Comments
<i>Elaeagnus pungens</i>	Elaeagnus	5-Gal	11	4' OC
<i>Juniperus horizontalis</i> 'Bar Harbor'	Bar Harbor Juniper	5-Gal	17	4' OC
<i>Lagerstroemia indica</i>	Crape Myrtle	8-10'	14	B & B; White
<i>Nandina domestica</i> 'Harbour Dwarf'	Harbour Dwarf Nandina	3-Gal	36	2' OC
<i>Pinus thunbergiana</i>	Japanese Black Pine	3"-Cal	3	B & B
<i>Pistacia chinensis</i>	Chinese Pistache	3"-Cal	5	B & B
<i>Quercus virginiana</i>	Live Oak	3"-Cal	1	B & B
<i>Raphiolepis indica</i>	Indian Hawthorn 'Clara'	5-Gal	36	3' OC
<i>Trachelospermum asiaticum</i>	Asian Jasmine	4" Pots	715	12" OC
<i>Ilex cornuta</i> 'Carissa'	Carissa Holly	3-Gal	33	26" OC
<i>Ilex cornuta</i> 'Burfordii Nana'	Dwarf Burford Holly	5-Gal	43	3' OC
<i>Ilex vomitoria</i>	Yaupon Holly	8-10'	3	B & B; Female
<i>Liriope spicata</i> 'Silver Dragon'	Silver Dragon Liriope	4" Pots	900	12" OC
<i>Berberis thunbergii</i> 'Sparkle'	Japanese Barberry	5-Gal	14	3' OC
<i>Quercus shumardii</i>	Red Oak	4"-Cal	10	B & B
	Seasonal Color	4" Pots	280	9" OC

PLANTING NOTES:

1. PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
2. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
3. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
4. ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
5. ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
6. CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
7. MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
8. PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
9. SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
10. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER, AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
11. IF EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE AS DIRECTED BY OWNER'S REPRESENTATIVE. WORK TO INCLUDE REMOVAL OF ALL SUCCOR GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
12. QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
13. INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.



SITE DATA

1. LOT AREA = 71,648 S.F.
2. BUILDING AREA = 8,655 S.F.
3. PARKING REQUIRED = 40
4. PARKING PROVIDED = 43
5. HC PARKING REQUIRED = 3
6. HC PARKING PROVIDED = 3
7. ZONING = PD-R
8. LAND USE = OFFICE
9. PRESENT USE = NONE
10. LANDSCAPING REQUIRED = 1,765 S.F.
11. LANDSCAPING PROVIDED = 33'
12. BUILDING HEIGHT PROPOSED = 33'
13. PARKING and BUILDING AREA = 23,788 S.F.
14. PERCENT of LOT COVERAGE = 33%

LANDSCAPE PLAN OF CENTURY 21 OFFICE BUILDING

LOT 1, BLOCK 1
AN ADDITION TO
FLOWER ADDITION
CITY OF KELLER, TARRANT COUNTY, TEXAS
1.643 ACRES IN THE
J. MARTIN SURVEY A-1153 &
J. DURHAM SURVEY A-424
ZONED - PD

The SITE PLAN shall NOT be
modified without the approval of
the Community Development
Department.

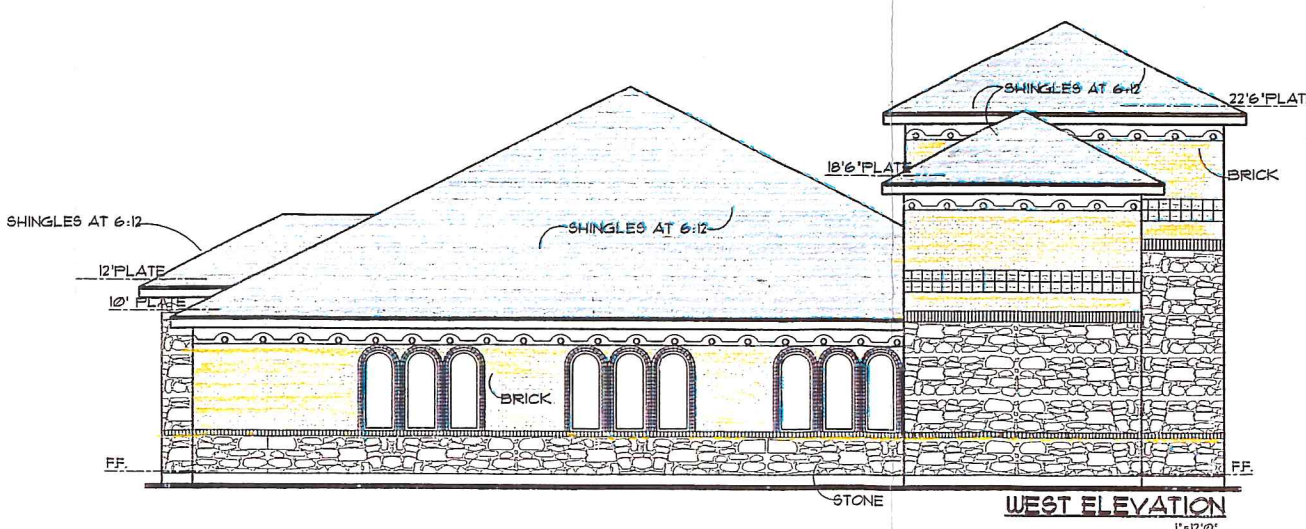
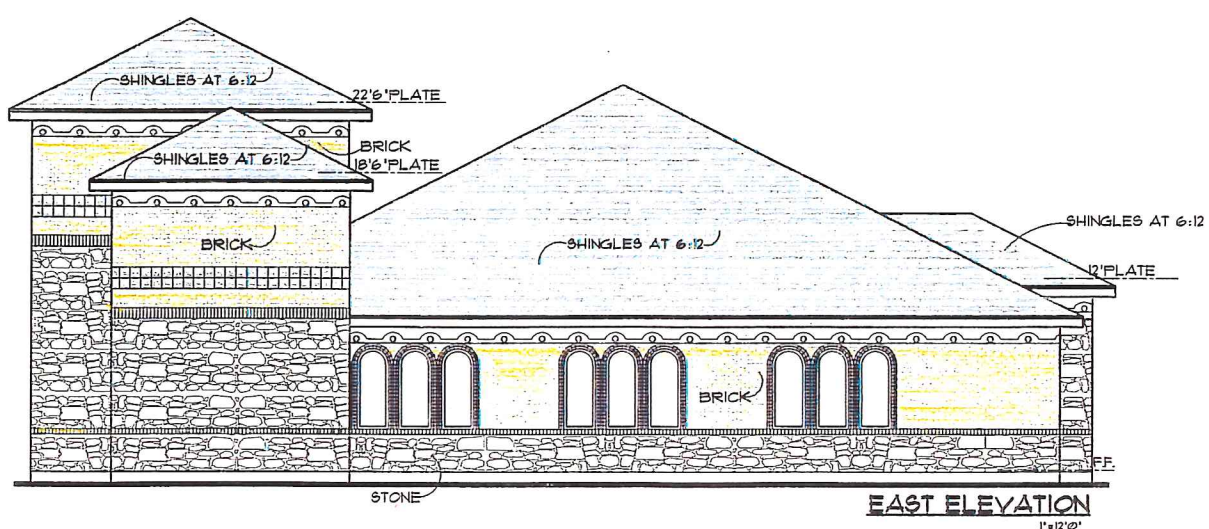
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LANDSCAPE ARCHITECT

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(817) 354-9654

FEBRUARY, 2002

SHEET L-1.0



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