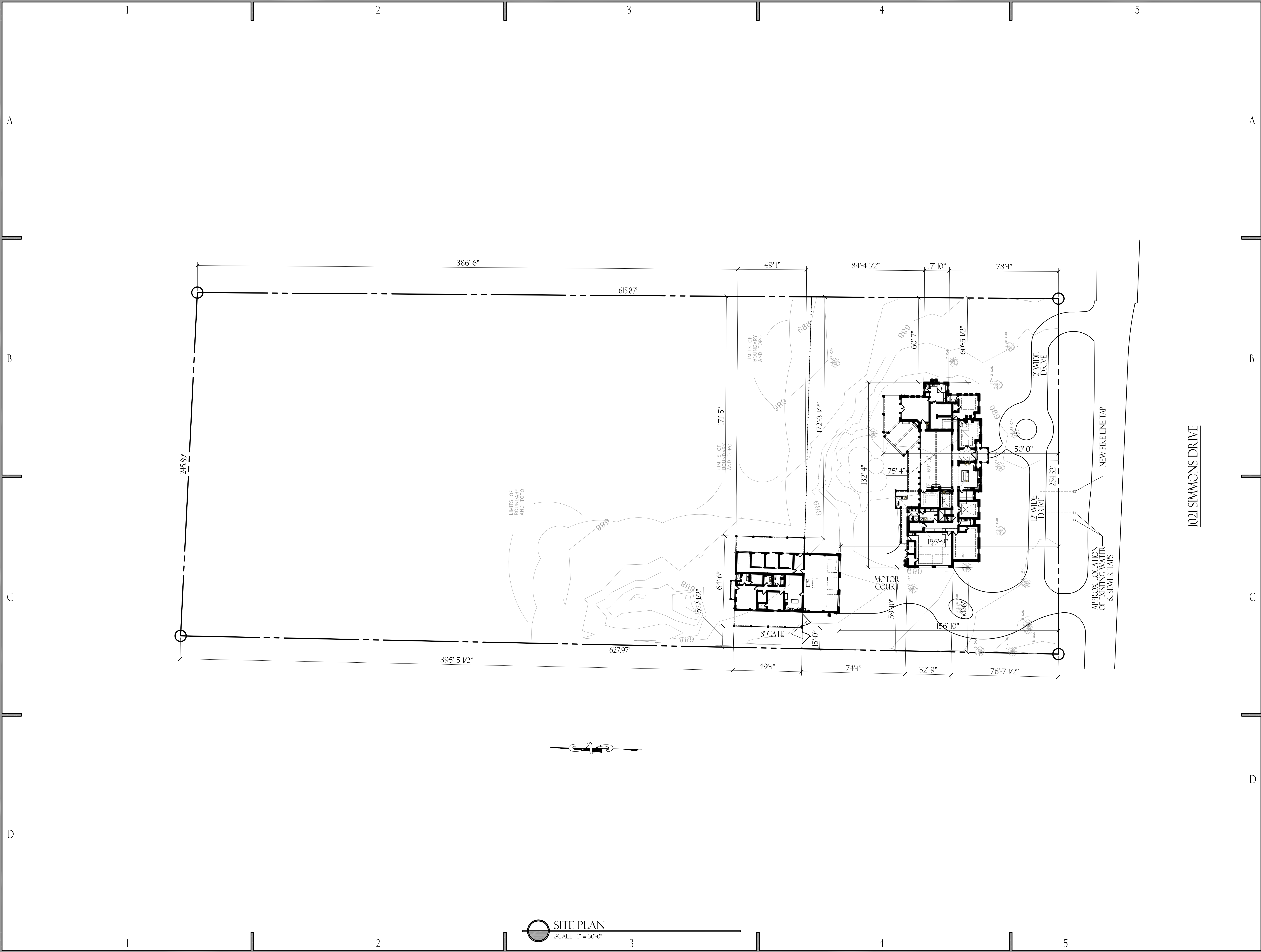




PLAN USE AGREEMENT	
By using these plans builder / owner agrees to the following: These plans are the property of Gilbert Gutierrez III, and are not to be reproduced, copied, or reused for construction without the written permission of Gilbert Gutierrez III. These plans are intended to provide the necessary construction information to build this structure. Builder / owner shall verify and check all aspects prior to any construction. Any future changes will void Designers liability. Designers liability not to exceed fee paid for plans.	
DRAWN BY:	04/24/2017
DATE:	GG3
CHECKED BY:	
DATE:	
FINAL REVIEW BY:	
DATE:	
CONSTRUCTION BY:	
DATE:	
NOTES	
1) Contractor shall verify all dimensions prior to beginning construction and shall notify the Designer of any discrepancies immediately.	
2) Contractor shall follow all applicable state and local codes / ordinances.	
3) All glazing within 2'-0" from jamb of ext. door shall be tempered.	
4) Plumbing walls at commodes shall be 2x6 studs.	
5) All doors on first floor shall be 8' - 0" tall unless noted otherwise.	
Second floor doors shall be 6' - 8" max.	
6) Stairs shall conform to the 2015 International Building Code and the 2015 International Residential Code as well as all other applicable and / or governing codes.	
7) All roof penetrations shall be on a side or rear face of the roof.	
8) G.C. is responsible for notifying all subcontractors of changes or revisions to plans / construction drawings.	
9) All second floor plate heights are based on 16" floor system. Actual plate heights may vary. Verify with builder / engineer.	

PROVIDENTIAL CUSTOM HOMES

1021 SIMMONS DRIVE
KELLER, TEXAS

WM SLAUGHTER SURVEY, ABST # 1431

PETTY RESIDENCE

SITE



PLAN USE AGREEMENT

By using these plans builder / owner agrees to the following: These plans are the property of Gilbert Gutierrez III, and are not to be reproduced, traced, or reused for construction without the written permission of Gilbert Gutierrez III. These plans are intended to provide the necessary construction information to build this structure. Builder / owner shall verify and check all aspects prior to any construction. Any jobsite changes will void Designers liability. Designers liability not to exceed fee paid for plans.

DRAWN BY:	04/24/2017
DATE:	GG
CHECKED BY:	
DATE:	
FINAL REVIEW BY:	
DATE:	
CONSTRUCTION BY:	
DATE:	

NOTES

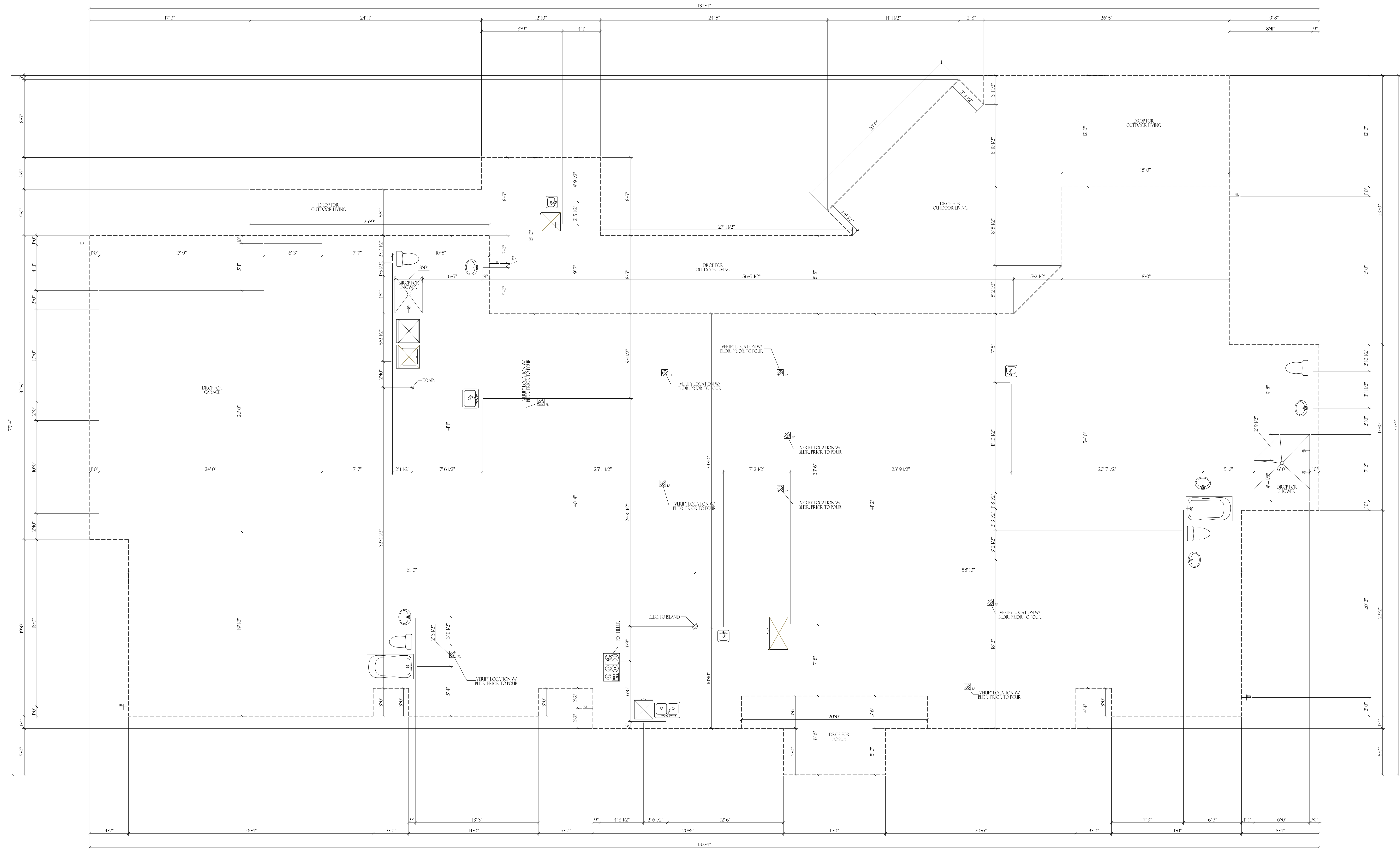
- 1) Contractor shall verify all dimensions prior to beginning construction and shall notify the Designer of any discrepancies immediately.
- 2) Contractor shall follow all applicable state and local codes / ordinances.
- 3) All glazing within 2'-0" from jamb of exit door shall be tempered.
- 4) Plumbing walls at commodos shall be 2x6 studs.
- 5) All doors on first floor shall be 3'-0" wide, 8'-0" tall unless noted otherwise. Second floor doors shall be 6'-0" x 8'-0".
- 6) Stairs shall conform to the 2015 International Building Code and the 2015 International Residential Code as well as all other applicable and / or governing codes.
- 7) All roof penetrations shall be on a side or rear face of the roof.
- 8) G.C. is responsible for notifying all subcontractors of changes or revisions to plans / construction drawings.
- 9) All second floor plate heights are based on 16" floor system. Actual plate heights may vary. Verify with builder / engineer.

PROVIDENTIAL CUSTOM HOMES

1021 SIMMONS DRIVE
KELLER, TEXAS
WM SLAUGHTER SURVEY, ABST # 1431
PETTY RESIDENCE

SITE

A
B
C
D
E



PROVIDENTIAL CUSTOM HOMES
1021 SIMMONS DRIVE
KELLER, TEXAS
WM SLAUGHTER SURVEY, ABST # 1431
PETTY RESIDENCE

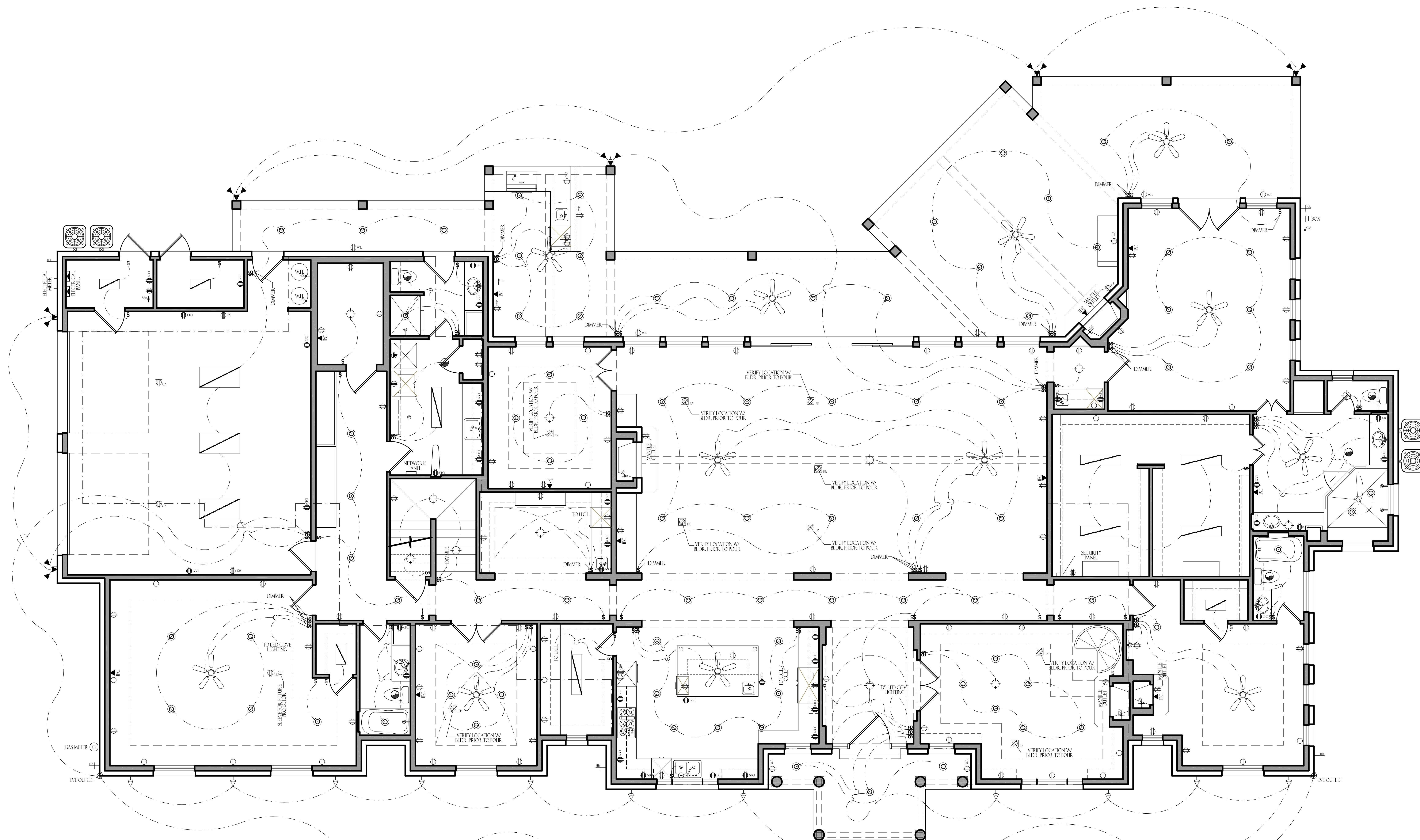
PLAN SET AGREEMENT

By using these plans builder / owner agrees to the following: These plans are the property of Gifford Gentry III and are not to be reproduced, resold, or used for construction without the written permission of Gifford Gentry III. These plans are intended to provide the necessary construction information to build this structure. Builder / owner shall verify and check all aspects prior to any construction. Any photo changes will void Designer liability. Designer liability not to extend beyond the plan.

DATE: 11/11/2011
CHECKED BY: 380217
DATE: 11/11/2011
DESIGNED BY: 380217
DATE: 11/11/2011
CONSTRUCTED BY: 380217

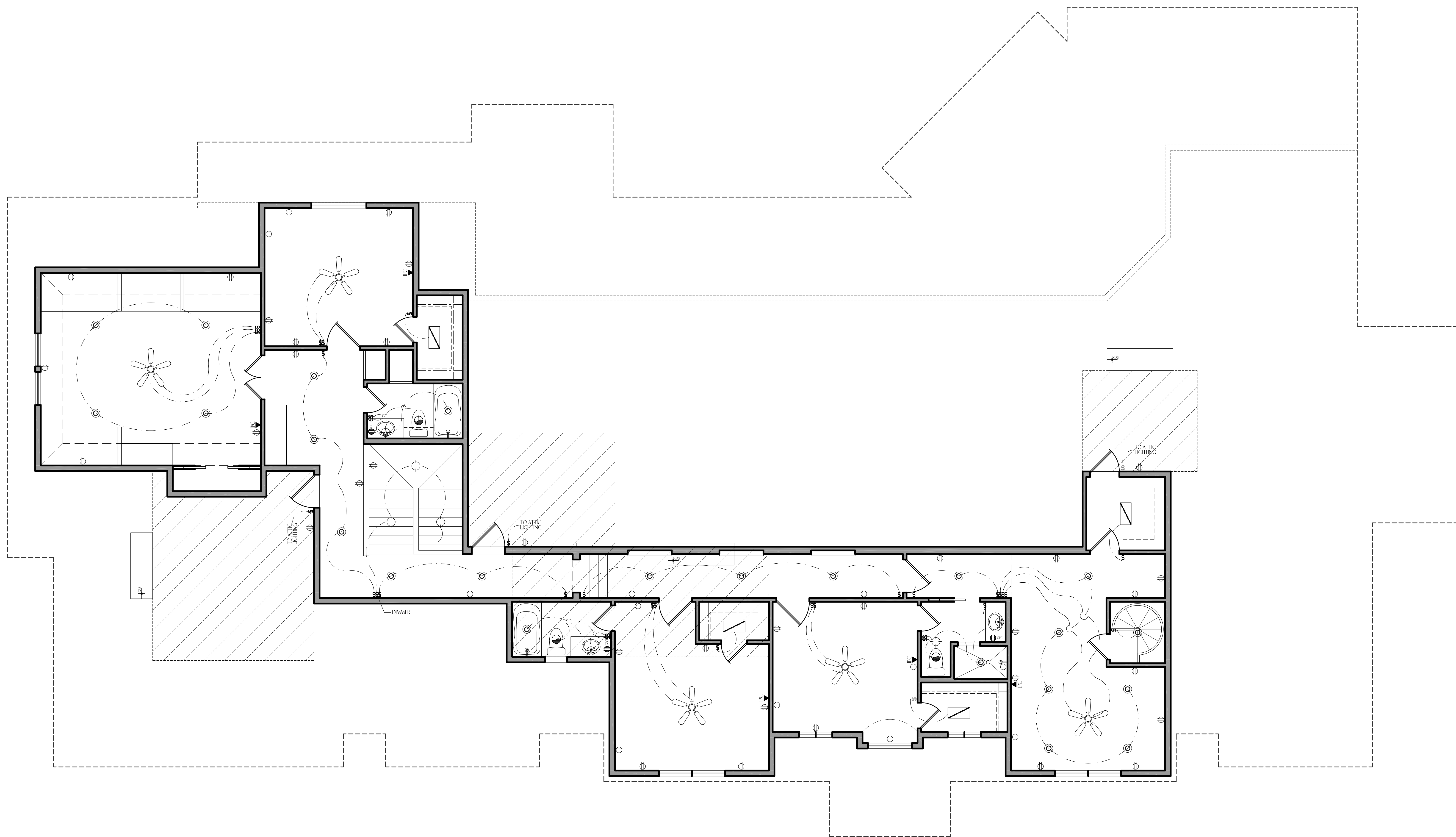
NOTES

1) Contractor shall verify all dimensions prior to beginning construction and shall notify the Designer of any discrepancies immediately.
2) Contractor shall follow all applicable code and local codes / ordinances.
3) All glazing within 2'-0" from joints of any door shall be tempered.
4) All glazing within 2'-0" from joints of any door shall be tempered.
5) All doors on first floor shall be 8'-0" all unless noted otherwise.
6) Second floor doors shall be 8'-0" all unless noted otherwise.
7) All doors shall conform to the 2013 International Building Code and the 2013 International Residential Code as well as all other applicable and / or governing codes.
8) All door openings shall be on a side or rear face of the roof.
9) G.C. is responsible for existing all submittals of changes or revisions to plans / construction drawings.
10) All second floor plan heights are based on 10' floor system. Actual plan heights may vary. Verify with builder / engineer.

[illegible]

PROVIDENTIAL CUSTOM HOMES
1021 SIMMONS DRIVE
KELLER, TEXAS
WWW.SLAUGHTER SURVEY, ABST # 1431
PETTY RESIDENCE

A-3



PROVIDENTIAL CUSTOM HOMES

1021 SIMMONS DRIVE
KELLER, TEXAS
WWM SLAUGHTER SURVEY, ABST #1431
PETTY RESIDENCE

ELECTRICAL LEGEND

	HEADLIGHT		SPEAKER/BLUETOOTH
	FOOT CANDLE LIGHT		HORN/HORN HILL
	TURN CANDLE LIGHT		BLACK FLAG
	CONCURRENCE LIGHT		FLAG POLE
	WALK LIGHT		FLAG/FLAG CATCHER
	TRUCK LIGHT		GO/STOP
	TRUCK LIGHT		GO/STOP
	TRUCK LIGHT		GO/STOP
	TRUCK LIGHT		GO/STOP
	TRUCK LIGHT		GO/STOP
	TRUCK LIGHT		GO/STOP
	TRUCK LIGHT		GO/STOP
	TRUCK LIGHT		GO/STOP
	TRUCK LIGHT		GO/STOP
	TRUCK LIGHT		GO/STOP

A-4

SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

A

B

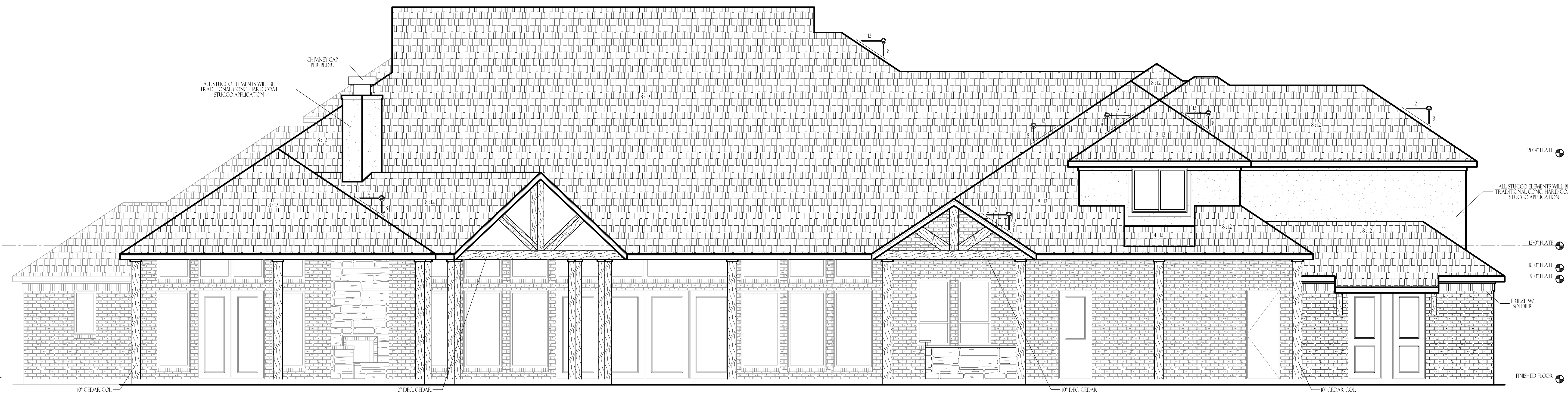
C

D

E



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

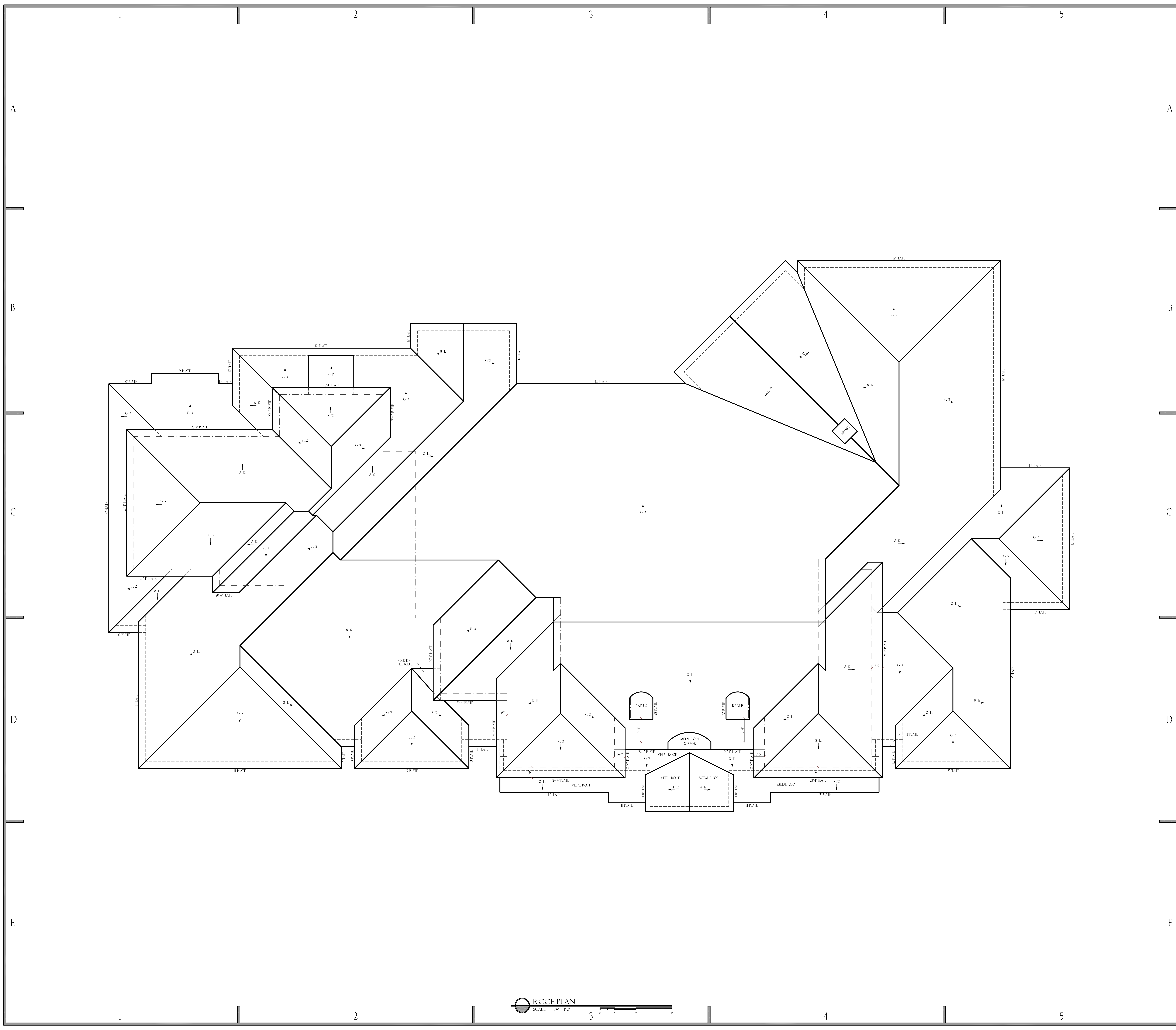


REAR ELEVATION
SCALE: 1/4" = 1'-0"

PROVIDENTIAL CUSTOM HOMES
1021 SIMMONS DRIVE
KELLER, TEXAS
WM SLAUGHTER SURVEY, ABST # 1431
PETTY RESIDENCE

PLANSHEET
By using these plans, the user agrees to the following: These plans are the property of Providential Custom Homes, LLC and are not to be reproduced, resold, or used for construction without the written permission of Providential Custom Homes, LLC. These plans are intended to provide the necessary construction information to build this structure. Builder/owner shall verify and check all aspects prior to any construction. Any photo changes will void Designer liability. Designer liability not to exceed fee and fee plus.
DATE: 10/1/2024
CHECKED BY: J. ABST
DATE: 10/1/2024
DESIGNED BY: J. ABST
DATE: 10/1/2024
CONSTRUCTED BY: J. ABST
DATE: 10/1/2024
NOTES:
1. Contractor shall verify all dimensions prior to beginning construction and shall notify the Designer of any discrepancies immediately.
2. Contractor shall follow all applicable codes and local codes / ordinances.
3. All glazing within 2'-0" from joints of any door shall be tempered.
4. All glazing within 2'-0" from joints of any door shall be tempered.
5. All doors on first floor shall be 8'-0" all unless noted otherwise.
6. Second floor doors shall be 6'-0" all unless noted otherwise.
7. Stair shall conform to the 2015 International Building Code and the 2015 International Residential Code as well as all other applicable and / or governing codes.
8. All exterior dimensions shall be on a side or rear face of the roof.
9. C.C. is responsible for existing all submittals of changes or revisions to plans / construction drawings.
10. All overall floor plan heights are based on 10' floor system. Actual floor heights may vary. Verify with builder / engineer.





A B C D E

1 2 3 4 5

PLAN SHEET SUMMARY

By using these plan sheets / notes agree to the following: These plans are the property of Gifford Gifford III and are not to be reproduced, resold, or used for construction without the written permission of Gifford Gifford III. These plans are intended to provide the necessary construction information to build this structure. Builders / owner shall verify and check all aspects prior to any construction. Any plan changes will void Designer liability. Designer liability not to extend beyond the plan.

DATE: 11/11/2024

CHECKED BY: [Signature]

DATE: 11/11/2024

DESIGNED BY: [Signature]

DATE: 11/11/2024

CONSTRUCTED BY: [Signature]

DATE: 11/11/2024

NOTES

1) Contractor shall verify all dimensions prior to beginning construction and shall notify the Designer of any discrepancies immediately.

2) Contractor shall follow all applicable code and local codes / ordinances.

3) All glazing within 2'0" from joints of roof slope shall be tempered.

4) Flashing with a minimum shall be 24" wide.

5) All doors on first floor shall be 8' 0" all unless noted otherwise.

6) Second floor doors shall be 8' 0" x 6' 0" x 6' 0".

7) Stair shall conform to the 2015 International Building Code and the 2015 International Residential Code as well as all other applicable and / or governing codes.

8) All roof pitches shall be on a side or rear face of the roof.

9) G.C. is responsible for existing all submittals of changes or revision to plans / construction drawings.

10) All second floor plan heights are based on 10' floor system. Actual plan heights may vary. Verify with builder / engineer.

PROVIDENTIAL CUSTOM HOMES

1021 SIMMONS DRIVE
KELLER, TEXAS

WM SLAUGHTER SURVEY, ABST # 1431

PETTY RESIDENCE

A B C D E

1 2 3 4 5

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

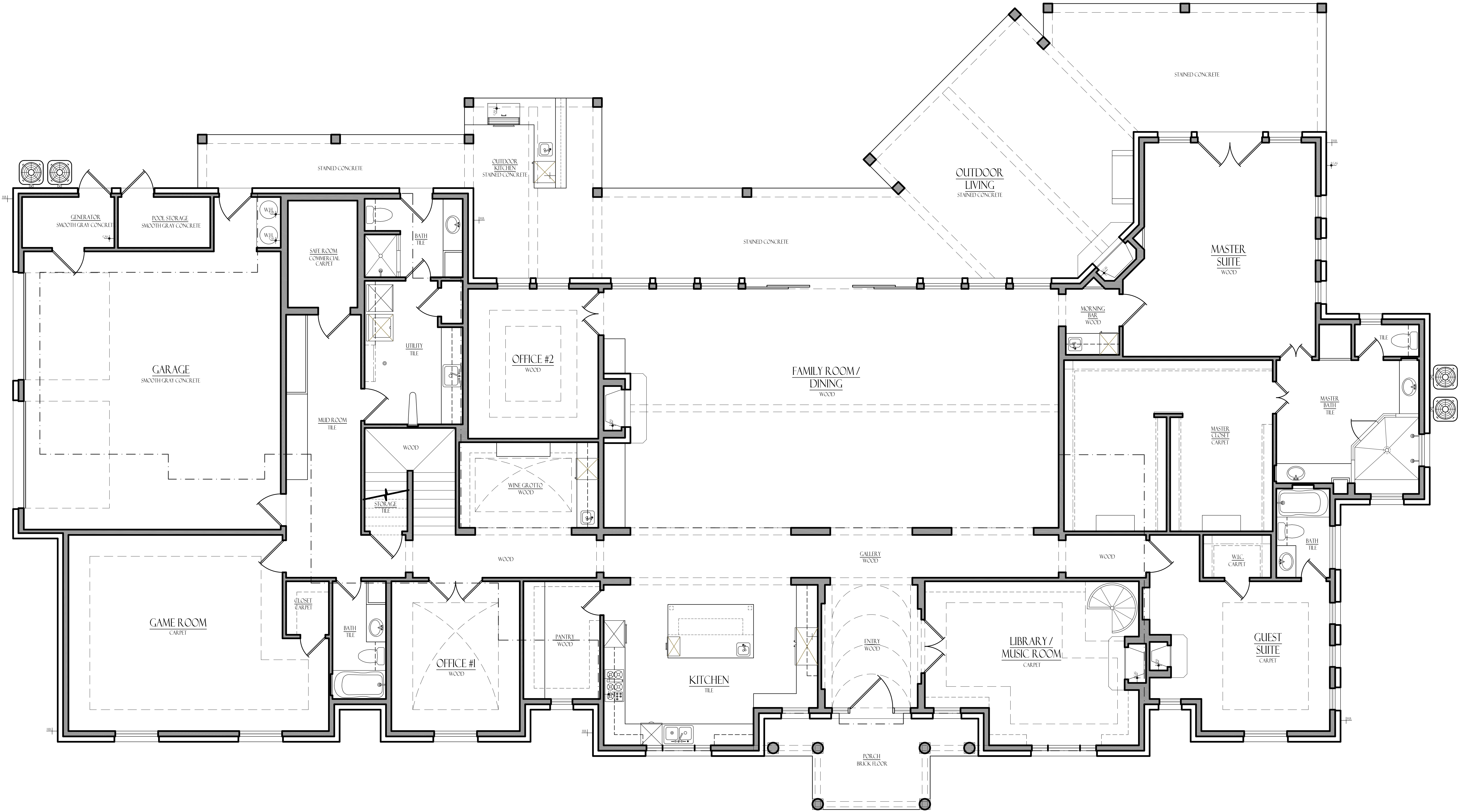
A B C D E

1 2 3 4 5

A B C D E

1 2 3 4 5

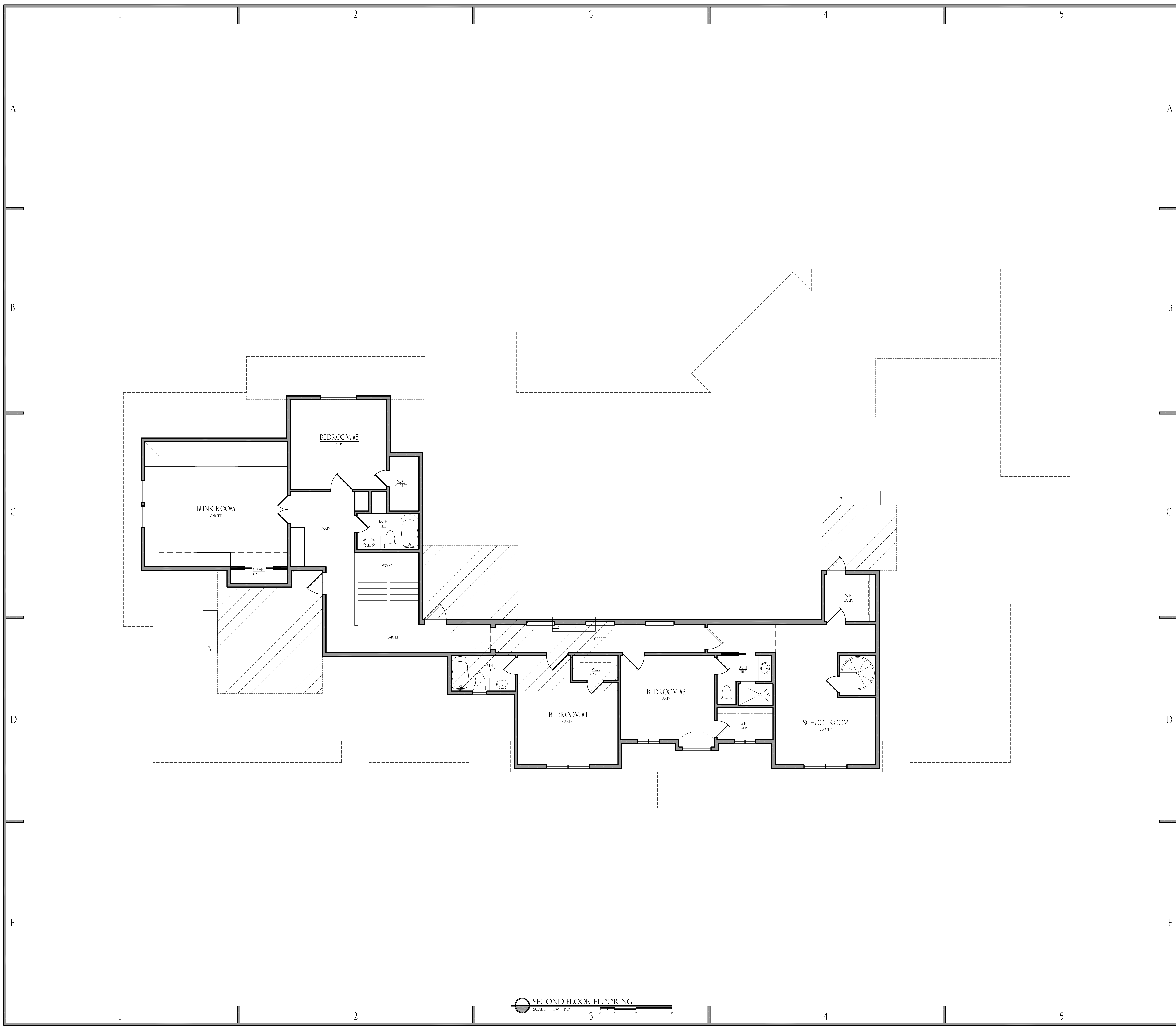
WOOD - 2,385 SQ. FT.
TILE - 1,154 SQ. FT.
CARPET - 3,006 SQ. FT.
COMMERCIAL CARPET - 65 SQ. FT.



FIRST FLOOR FLOORING
SCALE: 1/4" = 1'-0"

PROVIDENTIAL CUSTOM HOMES
1021 SIMMONS DRIVE
KELLER, TEXAS
WM SLAUGHTER SURVEY, ABST # 1431
PETTY RESIDENCE

PLAN SHEET
By using these plans, the owner agrees to the following: These plans are the property of Providential Custom Homes, LLC and are not to be reproduced, resold, or used for construction without the written permission of Providential Custom Homes, LLC. These plans are intended to provide the necessary construction information to build this structure. Builder / owner shall verify and check all aspects prior to any construction. Any photo changes will void Designer liability. Designer liability not to exceed fee and fee plus.
DATE: 10/1/2011
CHECKED BY: [Signature]
DATE: 10/1/2011
DESIGNED BY: [Signature]
DATE: 10/1/2011
NOTES:
1. Contractor shall verify all dimensions prior to beginning construction and shall notify the Designer of any discrepancies immediately.
2. Contractor shall follow all applicable codes and local codes / ordinances.
3. All glazing within 2'-0" from joints of any door shall be tempered.
4. All glazing within 2'-0" from joints of any door shall be tempered.
5. All doors on first floor shall be 8'-0" all unless noted otherwise.
6. Stair floor shall be 8'-0" x 10'-0".
7. Stair shall conform to the 2013 International Building Code and the 2013 International Residential Code as well as all other applicable and / or governing codes.
8. All exterior elevations shall be on a side or rear face of the roof.
9. G.C. is responsible for existing all subcontractors of changes or revisions to plans / construction drawings.
10. All overall floor plan heights are based on 10' floor system. Actual floor heights may vary. Verify with builder / engineer.



PLAN SHEET A-10

By using these plans, the contractor agrees to the following: These plans are the property of the Designer and are not to be reproduced, resold, or used for construction without the written permission of the Designer. The Designer is not responsible for providing the necessary construction information to build this structure. Builders / owner shall verify and check all aspects prior to any construction. Any change shall void Designer liability. Designer liability not to exceed the cost of the plans.

DATE: 10/1/2024
CHECKED BY: [Signature]
DATE: 10/1/2024
DESIGNED BY: [Signature]
DATE: 10/1/2024
CONSTRUCTED BY: [Signature]

NOTES

1) Contractor shall verify all dimensions prior to beginning construction and shall notify the Designer of any discrepancies immediately.

2) Contractor shall follow all applicable codes and local ordinances / regulations.

3) All glazing within 2'-0" from joints of any door shall be tempered.

4) All glazing within 2'-0" from joints of any door shall be tempered.

5) All doors on first floor shall be 8'-0" all unless noted otherwise.

6) Second floor doors shall be 6'-0" all unless noted otherwise.

7) Stair shall conform to the 2015 International Building Code and the 2015 International Residential Code as well as all other applicable and / or governing codes.

8) All structural members shall be on a side or rear face of the roof.

9) G.C. is responsible for existing all submittals of changes or revisions to plans / construction drawings.

10) All second floor plan heights are based on 10' floor system. Actual plan heights may vary. Verify with builder / engineer.

PROVIDENTIAL CUSTOM HOMES

1021 SIMMONS DRIVE
KELLER, TEXAS
WM SLAUGHTER SURVEY, ABST # 1431
PETTY RESIDENCE