



# THE LEARNING EXPERIENCE<sup>®</sup>

*Academy of Early Education*

**150 RIDGE POINT PKWY, KELLER, TX**

# THE LEARNING EXPERIENCE<sup>®</sup>

Academy of Early Education



## ABOUT THE LEARNING EXPERIENCE

- 1)Fastest Growing DayCare Franchise**
- 2)Listed in Entrepreneurs Magazines list of Franchise 500**
- 3)EY Entrepreneur of the Year 2016**
- 4)3<sup>rd</sup> largest DayCare Franchise More than 200 locations Nationwide with 6 locations in DFW**



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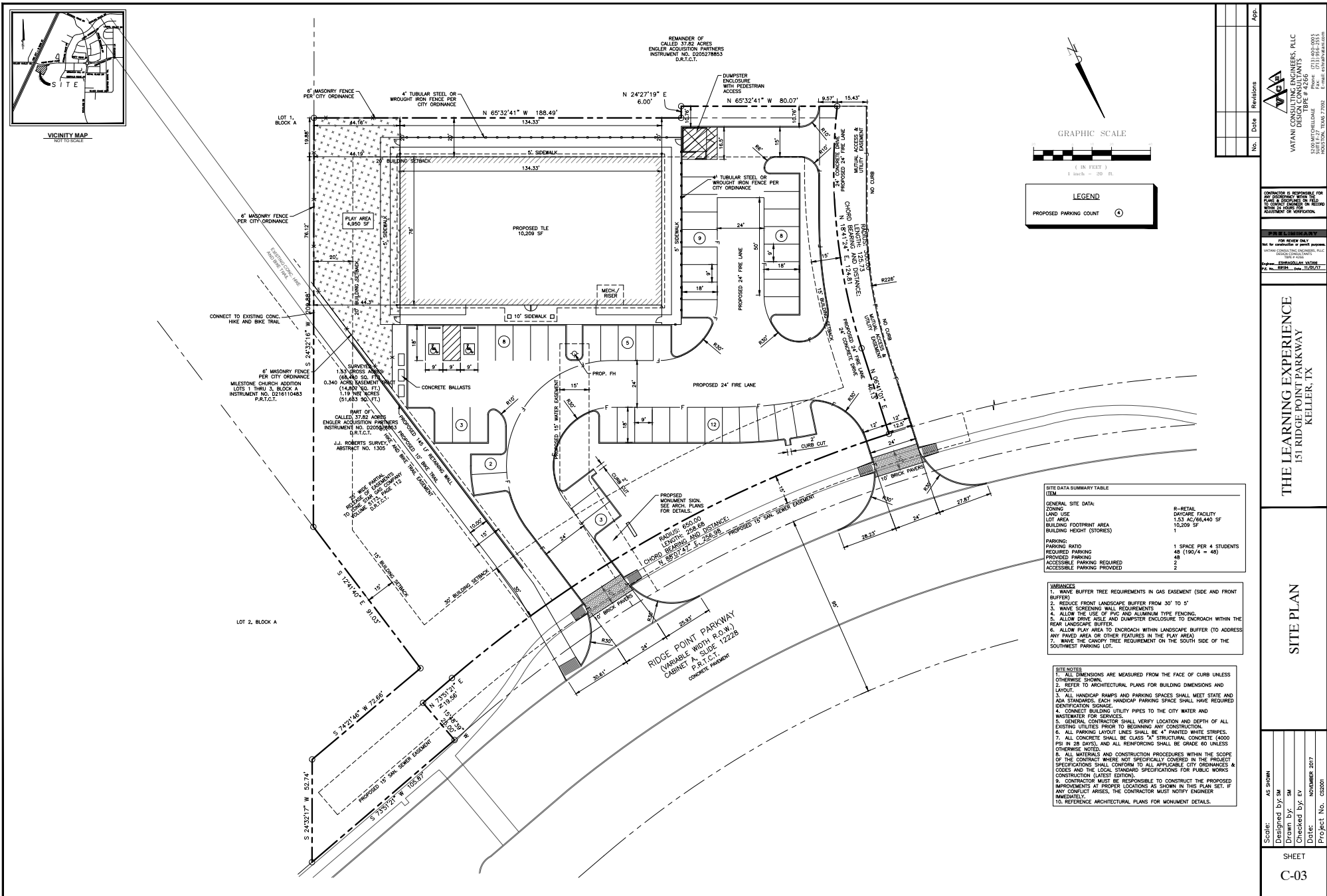


## OPERATIONS

- 1) Suitably located to provide services to the community
- 2) Hours of Operation: 6.30 am to 6.30pm
- 3) Ages: 6 weeks to 6 months
- 4) Center to provide DayCare Services to 190 kids



# SITE PLAN DETAILS





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## BUILDING DETAILS



- 1) Beautiful building with 100% masonry
- 2) Meets or exceeds the UDC requirements
- 3) Confirming to the Prairie style

## Architecture

- 4) Unique Architectural Elements of ABCD, 1234 blocks
- 5) All AC Units concealed within the roof



**EY Entrepreneur  
Of The Year™**



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**Public Improvements:**

- 1) Hike and Bike Trail extension**
- 2) Sewer Extension**





### **Benefits to the Community and City:**

- 1)Employment: to nearly 20 people**
- 2) Nearly \$50,000 tax revenue to the city**
- 3) Benefit to adjacent businesses**



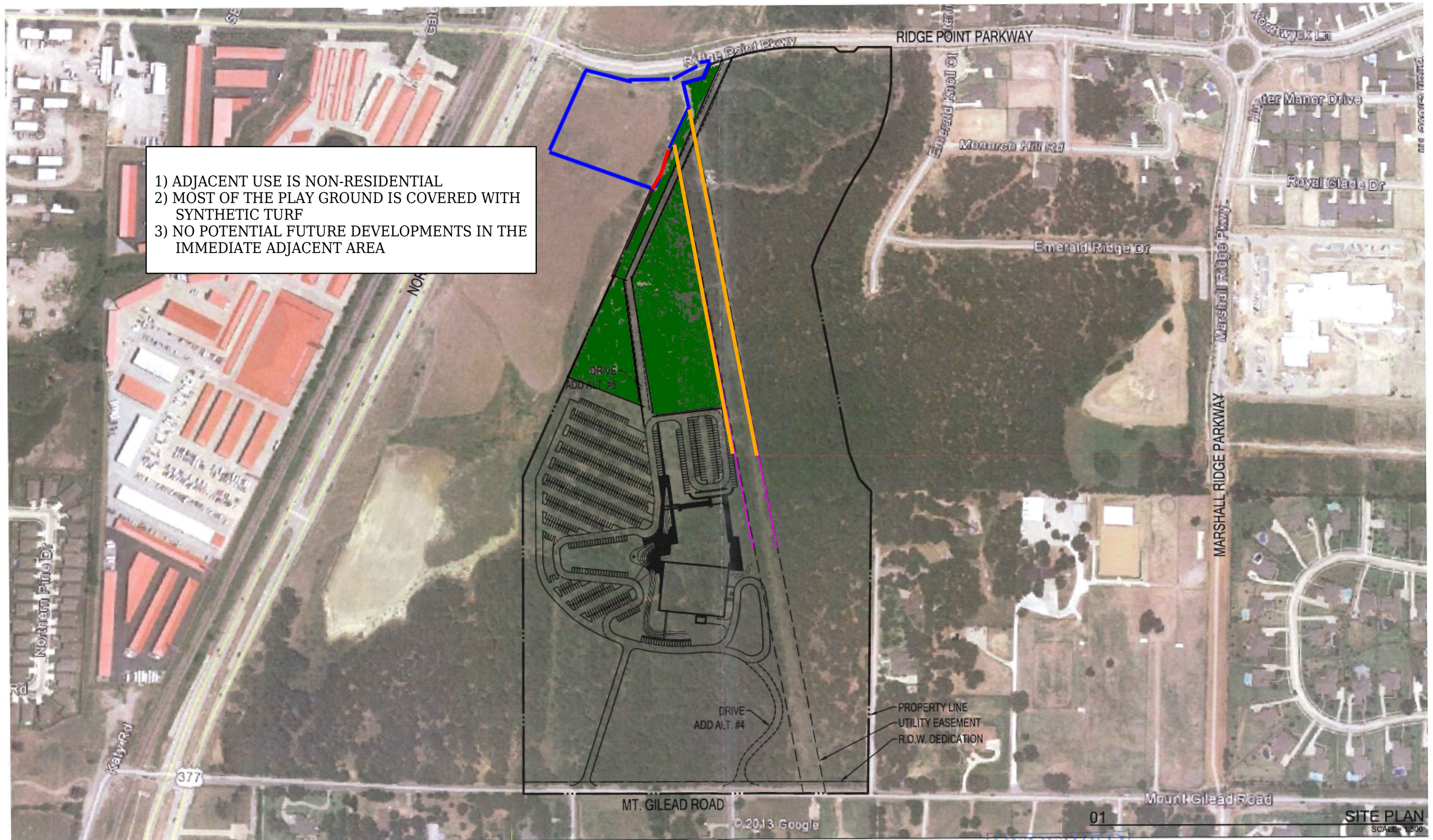
## **Variance Requests:**

- 1) Playground Encroaching into the East Buffer**
- 2) Waive Screening Wall Requirement**
- 3) Reduce front buffer from 15' to 5'**
- 4) Waive Buffer tree requirements in the 75' gas easement**



# PLAY GROUND ENCHROACHMENT

- 1) ADJACENT USE IS NON-RESIDENTIAL
- 2) MOST OF THE PLAY GROUND IS COVERED WITH SYNTHETIC TURF
- 3) NO POTENTIAL FUTURE DEVELOPMENTS IN THE IMMEDIATE ADJACENT AREA





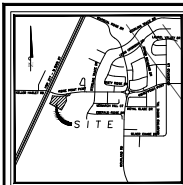




# Screening Wall

ADJACENT USE NON-RESIDENTIAL

GAS EASEMENT PROHIBITS WALL CONSTRUCTION



VICINITY MAP  
NOT TO SCALE



GRAPHIC SCALE

( IN FEET )  
1 inch = 20' 0"

## LEGEND

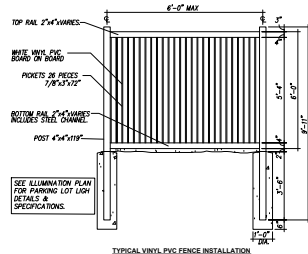
PROPOSED PARKING COUNT

4

SITE DATA SUMMARY TABLE	
ITEM	
GENERAL SITE DATA:	
ZONING	R-RETAIL
LAND USE	DAYCARE FACILITY
LOT AREA	1.53 AC/46,440 SF
BUILDING FOOTPRINT AREA	10,309 SF
BUILDING HEIGHT (STORES)	1
PARKING:	
PARKING RATIO	1 SPACE PER 4 STUDENTS
REQUIRED PARKING	48 (190/4 = 48)
PROVIDED PARKING	48
ACCESSIBLE PARKING	2
ACCESSIBLE PARKING PROVIDED	2

- REMARKS:**
1. WAIVE BUFFER TREE REQUIREMENTS IN GAS EASEMENT (SIDE AND FRONT BUFFER).
  2. REDUCE FRONT LANDSCAPE BUFFER FROM 30' TO 5'.
  3. WAIVE SCREENING WALL REQUIREMENTS.
  4. ALLOW THE USE OF PVC AND ALUMINUM TYPE FENCING.
  5. ALLOW DRIVE AISLE AND DUMPSTER ENCLOSURE TO ENCROUGH WITHIN THE REAR LANDSCAPE BUFFER.
  6. ALLOW PLAY AREA TO ENCROUGH WITHIN LANDSCAPE BUFFER (TO ADDRESS ANY PAVED AREA OR OTHER FEATURES IN THE PLAY AREA).
  7. WAIVE THE CANOPY TREE REQUIREMENT ON THE SOUTH SIDE OF THE SOUTHWEST PARKING LOT.

- SITE NOTES:**
1. ALL DIMENSIONS ARE MEASURED FROM THE FACE OF CURB UNLESS OTHERWISE SHOWN.
  2. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND LAYOUT.
  3. ALL HANDICAP RAMPS AND PARKING SPACES SHALL MEET STATE AND ADA STANDARDS. EACH HANDICAP PARKING SPACE SHALL HAVE REQUIRED IDENTIFICATION SIGNAGE.
  4. CONNECT BUILDING UTILITY PIPES TO THE CITY WATER AND WASTEWATER FOR SERVICES.
  5. GENERAL CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION.
  6. ALL PARKING LAYOUT LINES SHALL BE 4" PAINTED WHITE STRIPES.
  7. ALL CONCRETE SHALL BE CLASS "A" STRUCTURAL CONCRETE (4000 PSI IN 28 DAYS), AND ALL REINFORCING SHALL BE GR60 60 UNLESS OTHERWISE NOTED.
  8. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THE CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE CITY ORDINANCES & CODES AND THE LOCAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
  9. CONTRACTOR MUST BE RESPONSIBLE TO CONSTRUCT THE PROPOSED IMPROVEMENTS AT PRIOR LOCATIONS AS SHOWN IN THIS PLAN SET. IF ANY CONFLICT ARISES, THE CONTRACTOR MUST NOTIFY ENGINEER IMMEDIATELY.
  10. REFERENCE ARCHITECTURAL PLANS FOR MONUMENT DETAILS.



TYPICAL VINYL PVC FENCE INSTALLATION

App.	Date	Revisions

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CONTRACTOR IS RESPONSIBLE FOR  
OBTAINING ALL NECESSARY PERMITS  
AND APPROVALS FROM THE  
APPLICABLE AGENCIES IN ORDER  
TO OBTAIN A PERMIT TO CONSTRUCT.

**PRELIMINARY**  
FOR REVIEW ONLY  
NOT TO BE USED FOR PERMIT APPLICATIONS  
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THE LEARNING EXPERIENCE  
151 RIDGE POINT PARKWAY  
KELLER, TX

## SITE PLAN

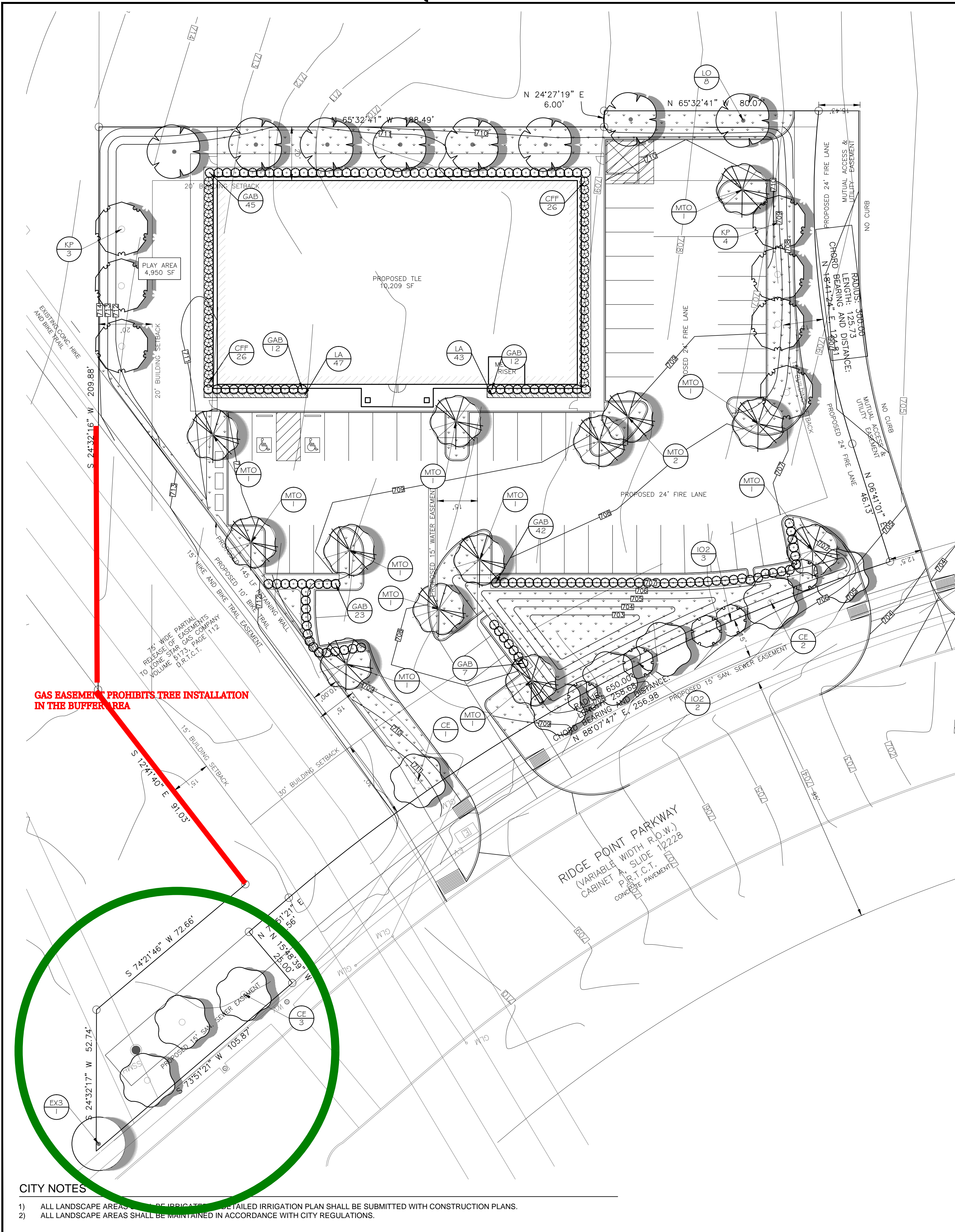
Scale: AS SHOWN  
Designed by: SM  
Drawn by: SM  
Checked by: EV  
Date: NOVEMBER 2017  
Project No. C33001

SHEET  
C-03





EAST BUFFER TREE REQUIREMENTS



PLANT\_SCHEDULE

TREES	CODE	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE	QTY
	EX3	Existing Tree - to be Retained frontage tree credit	exist.	exist.	exist.	1
	IO2	American Holly / Ilex opaca 'East Palatka' multi-trunk; frontage tree	CONT.	4"Cal	min. 10' ht.	5
	KP	Golden Rain Tree / Koeleruteria paniculata perimeter buffer tree	CONT.	3"Cal	10-12' ht.	7
	LO	Live Oak / Quercus virginiana perimeter buffer tree	CONT.	3"Cal	min. 10' ht.	8
	CE	Cedar Elm / Ulmus crassifolia frontage tree	CONT.	4"Cal	12-15' ht.	9
	MTO	Lacebark Elm / Ulmus parviflora parking lot tree	CONT.	3"Cal	10-12' ht.	12
SHRUBS	CODE	COMMON NAME / BOTANICAL NAME	SIZE			QTY
	CFF	Chinese Fringe Flower / Lorapetulum chinensis 36" o.c.	3 gal			52
	GAB	Glossy Abelia / Abelia grandiflora 24" ht/36" o.c.; parking lot screen	5 gal			141
GROUND COVERS	CODE	COMMON NAME / BOTANICAL NAME	CONT			QTY
	CT	Bermuda Grass / Cynodon dactylon 'Tif 419'	sod			8,999 sf
	LA	Aztec Grass / Liriope muscari 'Aztec' 15" o.c.	1 gal			90

LANDSCAPE CALCULATIONS

**BUFFER TREES**  
LENGTH OF FRONTAGE: 258 LF  
CANOPY TREES REQUIRED IN FRONT BUFFER: 10 CANOPY TREES (1 TREE PER 25 LF)  
CANOPY TREES PROVIDED: 10 CANOPY TREES  
ORNAMENTAL TREES REQUIRED IN FRONT BUFFER: 5 ORNAMENTAL TREES (2 TREES PER 50 LF)  
ORNAMENTAL TREES PROVIDED: 5 ORNAMENTAL TREES

**LENGTH OF SIDE/REAR BUFFERS:** 733 LF  
**TREES REQUIRED IN SIDE/REAR BUFFERS:** 25 CANOPY TREES (1 TREE PER 30 LF)  
**CANOPY TREES PROVIDED:** 18 CANOPY TREES (DEFICIENCY DUE TO 75' ATMOS ESMT.)

**PARKING LOT**  
PARKING LOT AREA: 18,164 SF  
LANDSCAPE AREA REQUIRED: 3,633 SF (15%)  
LANDSCAPE AREA PROVIDED: 3,555 SF

PARKING LOT SCREENED WITH CONTINUOUS SOLID ROW OF SHRUBS

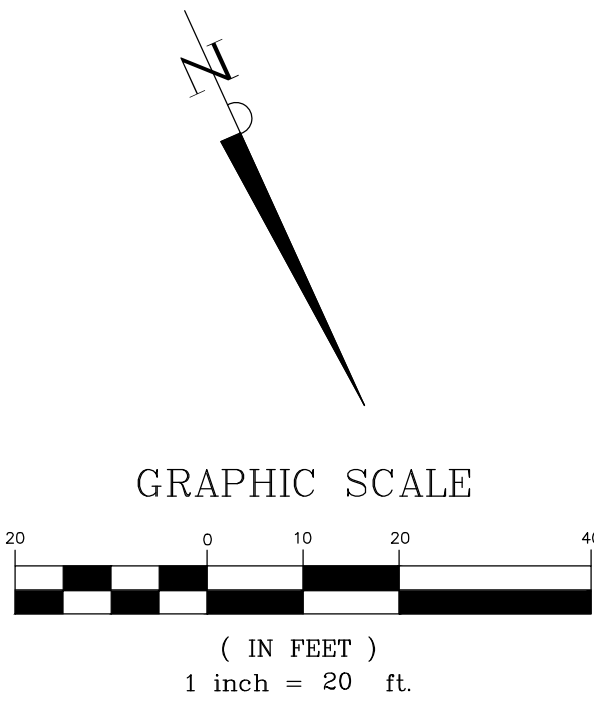
PARKING LOT TREE PROVIDED AT END OF EACH PARKING BAY

GENERAL PLANTING NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN). BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES IN LANDSCAPE AREAS AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ENSURE THAT THE GRADE IN SHRUB AREAS SHALL BE 2" BELOW FINISH GRADE AFTER INSTALLING SOIL AMENDMENTS, AND 1" BELOW FINISH GRADE IN SOD AREAS AFTER INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- INSTALL 5 OUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC (DEWITT 'PRO-5' OR EQUAL) UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING BEDS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.
- INSTALL 14G, GREEN STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS, AND BETWEEN GROUNDCOVERS AND OTHER PLANTS (WHERE INDICATED ON THE PLAN).
- HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
  - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
  - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
  - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2" INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.
- THE CANOPY TREE REQUIREMENT ON THE SOUTH SIDE OF THE SOUTHWEST PARKING LOT SHALL BE WAIVED AS PART OF THIS PROPOSED LANDSCAPE PLAN.

PLANTING AND IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.



No.	Date	Revisions	App.

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CONTRACTOR IS RESPONSIBLE FOR ANY DISCREPANCY WITHIN THE PLANS & DISCIPLINES ON FIELD TO CONTACT ENGINEER ON RECORD WITHIN 24 HOURS FOR ADJUSTMENT OR VERIFICATION.

**DANIEL REEG**  
REGISTERED LANDSCAPE ARCHITECT  
STATE OF TEXAS  
11/16/17

**THE LEARNING EXPERIENCE**  
151 RIDGE POINT PARKWAY  
KELLER, TX

**LANDSCAPE PLAN**

Scale: AS SHOWN  
Designed by: DR  
Drawn by: DR  
Checked by: RM  
Date: APRIL 21, 2017  
Project No. CS2001

SHEET  
**LP-1**

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