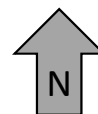
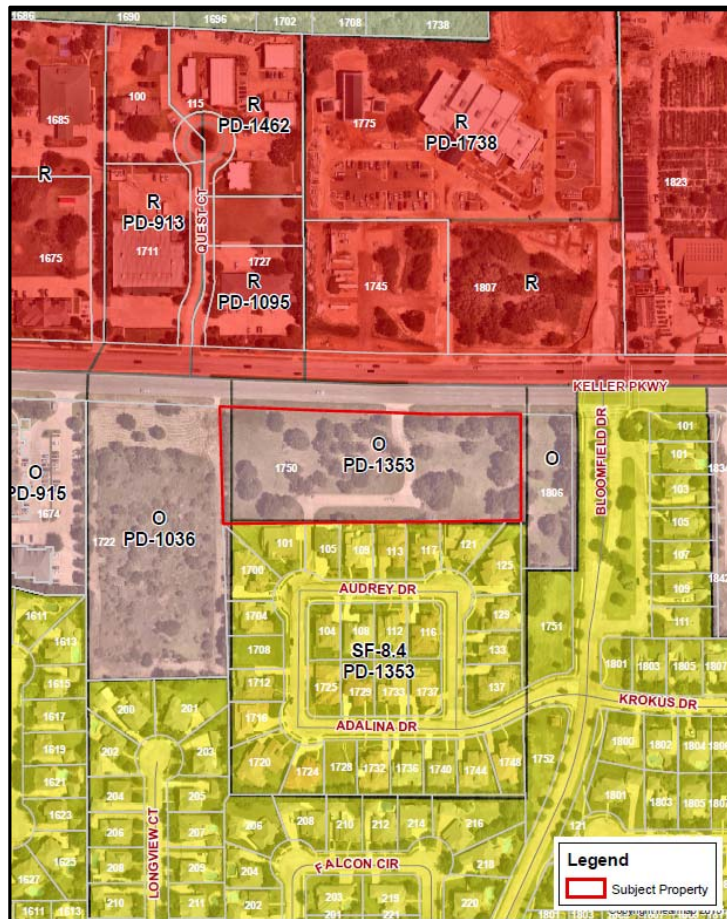


Item G-1

PUBLIC HEARING: Consider an ordinance approving a of Planned Development Amendment from PD-O (Planned Development - Office) to PD-O (Planned Development - Office), amending the Adalina at Bloomfield Planned Development (Ordinance No. 1353), to allow a reconfiguration of the building layout and to subdivide one (1) lot into six (6) lots, on an approximately 3.31-acre property, being Lot 1, Block C, Adalina at Bloomfield Addition, located on the south side of the Keller Parkway (FM1709), approximately one hundred sixty feet (160') west of the intersection of Keller Parkway (FM1709) and Bloomfield Drive, addressed as 1750 Keller Parkway (FM1709). Ambercrombie Holdings, LLC, owner. Castle Development, applicant. Matt Moore, Claymoore Engineering, engineer. (Z-17-0014)

Item G-1
Zoning Map

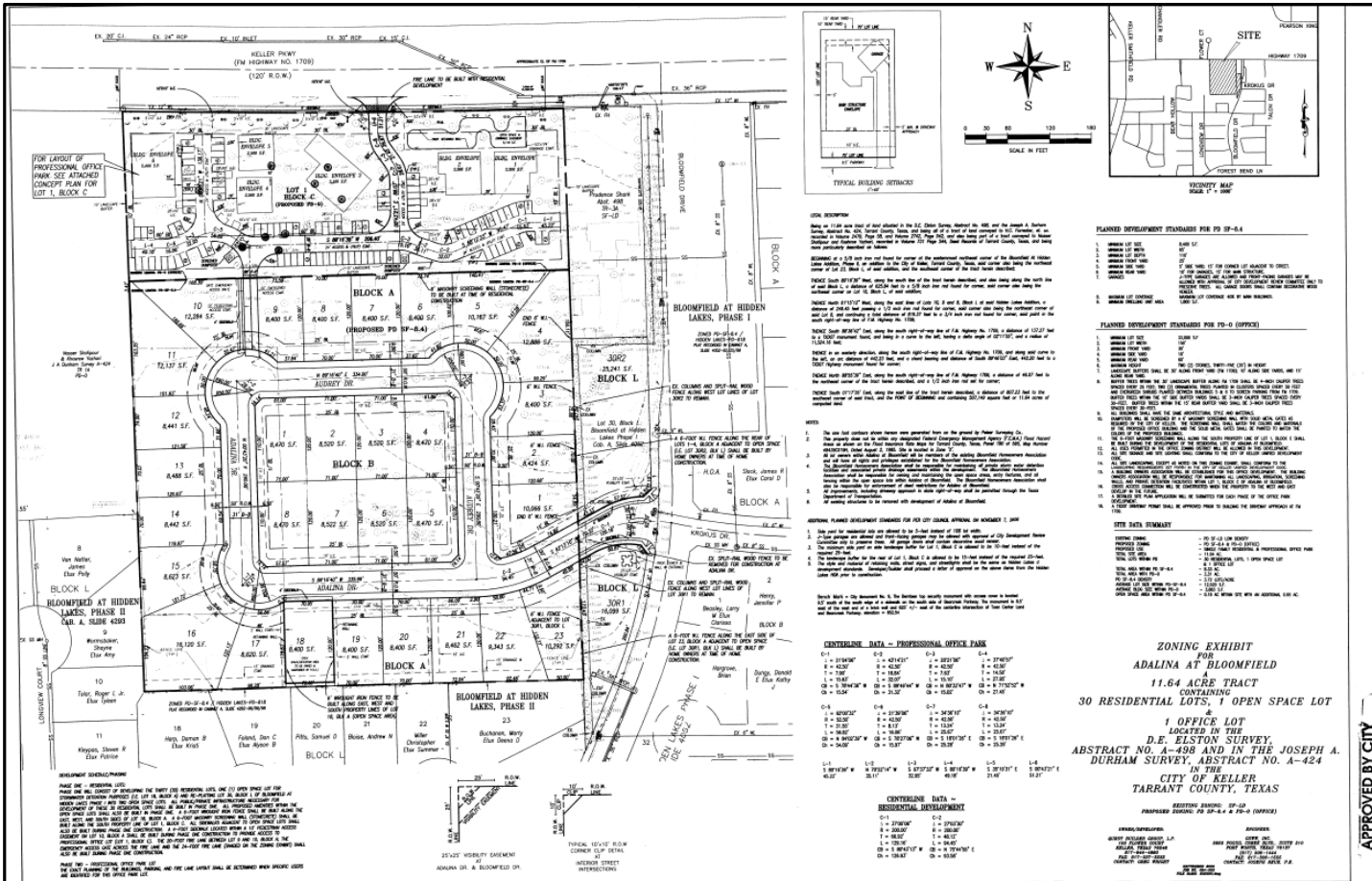


Item G-1
Aerial View



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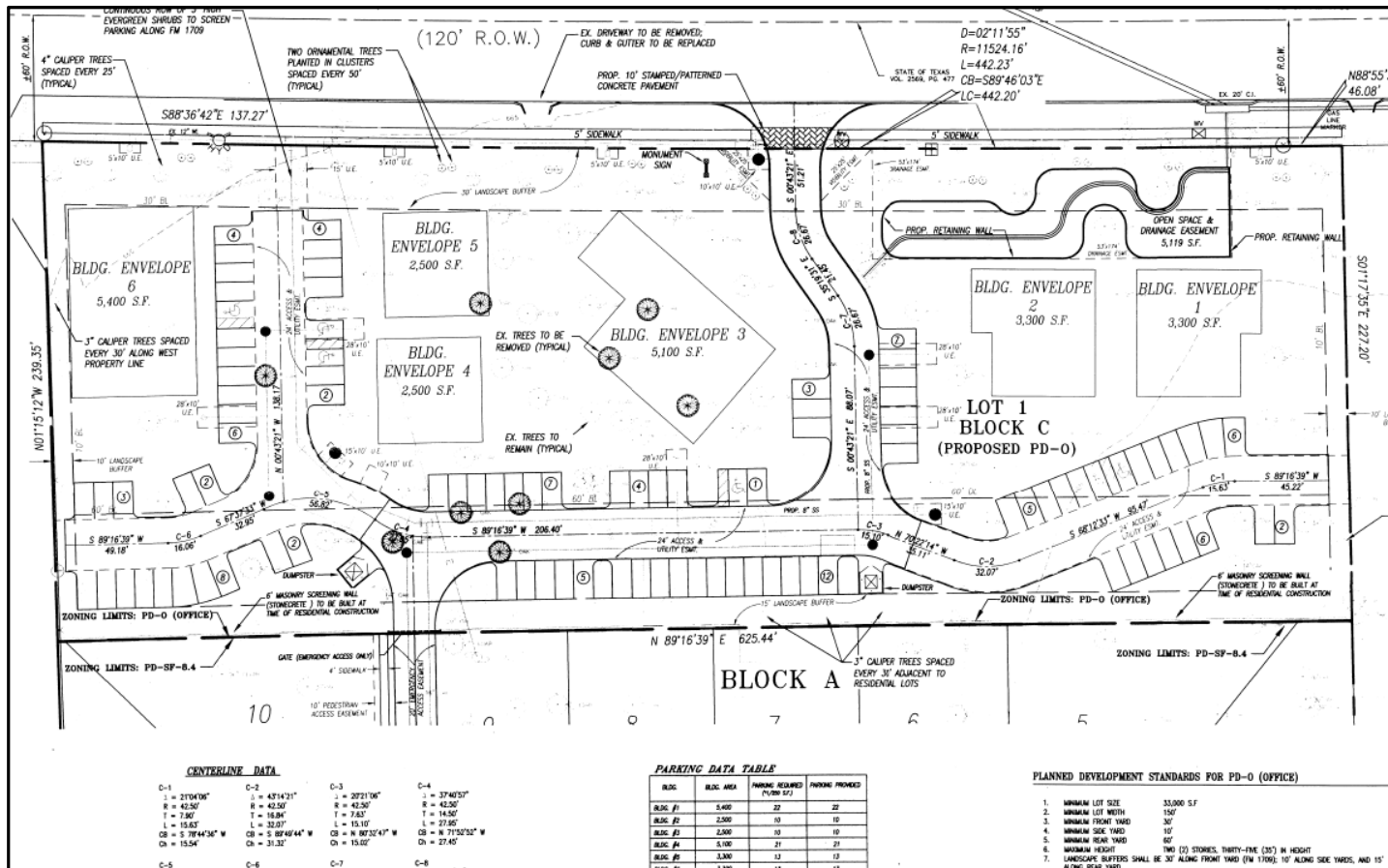
Item G-1 Background



- Zoning approved by Ordinance No. 1353 on November 7, 2006. - Included the Residential and Office uses
- Layout consisted of 6 Office Buildings on 1 Lot.

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Item G-1 Background



- Site Plan approved by Resolution No. 2593 on September 18, 2007 with the following condition:
 - A sidewalk shall be installed to provide a pedestrian connection from within the office park to the pedestrian access easement and gate at the southern boundary of the site.
- Site Plan expired in 2008.

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Item G-1 Background

1. Minimum lot size : 33,000 S.F

2. Minimum lot width: 150'

3. Minimum front yard: 30'

4. Minimum side yard: 10'

5. Minimum rear yard: 60'

6. Maximum height: 2 stories, 35' maximum

7. Landscape buffers shall be 30' along front yard (FM 1709), 10' along side yard, and 15' along rear yard.

8. Buffer trees within the 30' landscape buffer along FM 1709 shall be 4-inch caliper trees spaced every 25 feet; Two (2) ornamental trees planted in clusters spaced every 50 feet and evergreen shrubs planted between buildings 5 & 6 to screen parking from FM 1709. Buffer trees within the 10' side buffer yards shall be 3-inch caliper trees spaced every 30-feet. **Buffer trees within in 15' rear buffer yard shall be 3-inch caliper trees spaced every 30-feet.**

9. All buildings shall have the same architectural style and materials.

10. Dumpsters will be screened by a 6' masonry screening wall with solid metal gates as required by the City of Keller. The screening wall shall match the colors and materials of the proposed office building and the solid metal gates shall be painted to match the colors of the proposed buildings.

11. The 6-foot masonry screening wall along the south property line of Lot 1, Block C, shall be built during the development of the residential lots of Adalina at Bloomfield.

12. All uses permitted in the office zoning district will be allowed in this development.

13. All site signage and site lighting shall conform to the City of Keller Unified Development Code.

14. All site landscaping, except as noted on this zoning exhibit, shall conform to the landscaping requirements of the City of Keller Unified Development Code.

15. A Building Owners Association will be established for this office development. The Buildings Owners Association will be responsible to maintain all landscaping, irrigation, screening walls, and private detention facilities within Lot 1, Block C, of Adalina at Bloomfield.

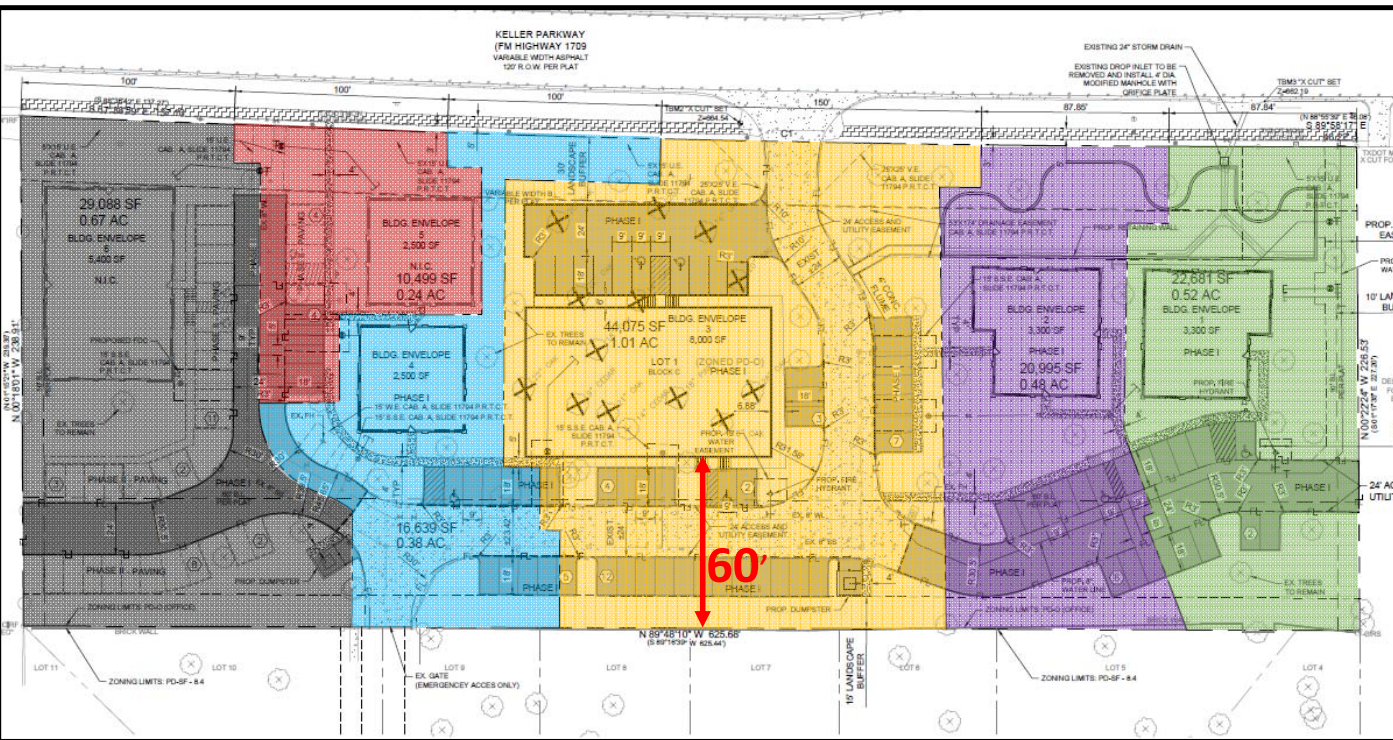
16. Cross access connection will be constructed when the property to the east and west develop in the future.

17. A detailed site plan application will be submitted for each phase of the office park development.

18. A TXDOT driveway permit shall be approved prior to building the driveway approach at FM 1709.

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Item G-1



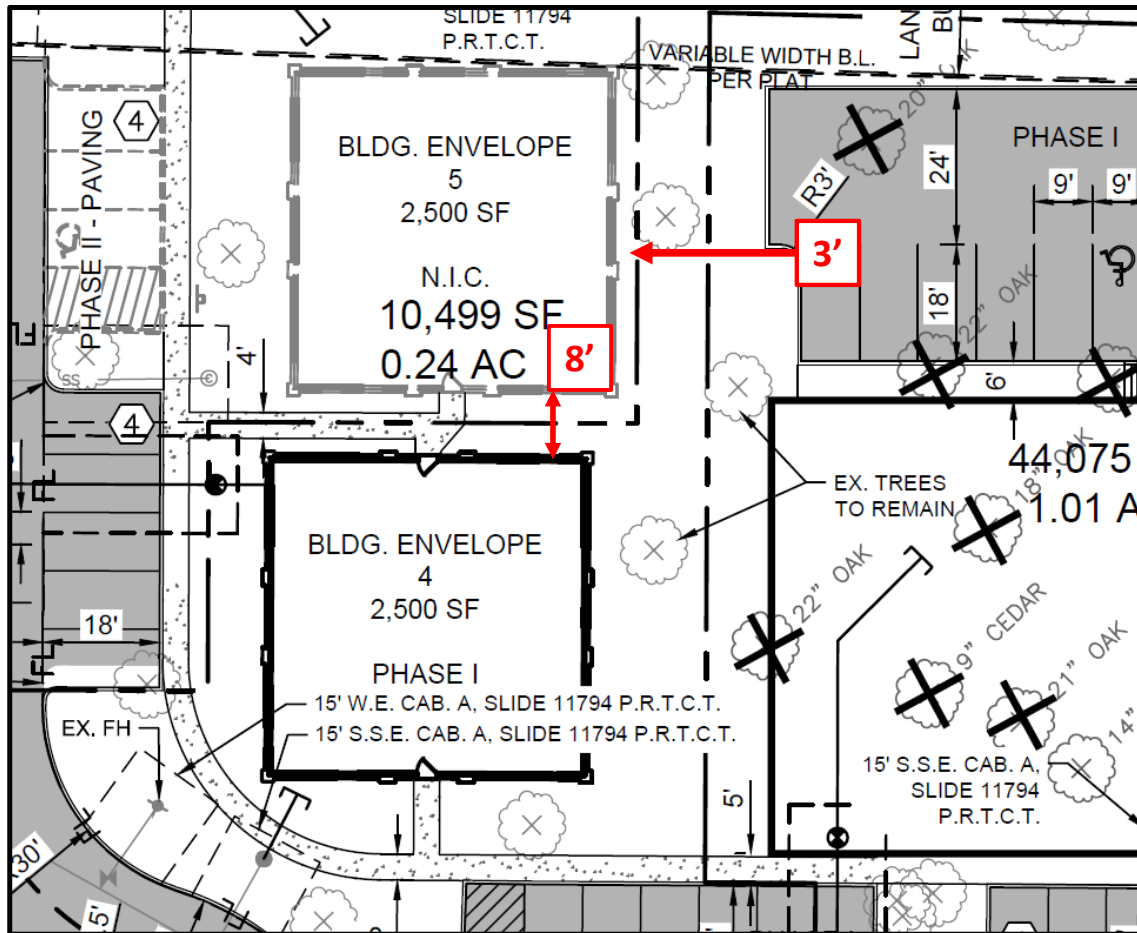
Standard	Proposed	Existing PD-O	UDC O (Office)
Min. Lot Size	10,499 S.F.	33,000 S.F.	33,000 S.F.
Min. Lot Width	87'	150'	150'
Max. Height	1 stories, max 35'	2 stories, max 35'	2 stories, max 35'
Min. Front Yard	30'	30'	30'
Min. Side Yard	3'	10'	Interior: none Exterior: 15'
Min. Rear Yard	4'	60'	20'

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[illegible]

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Item G-1

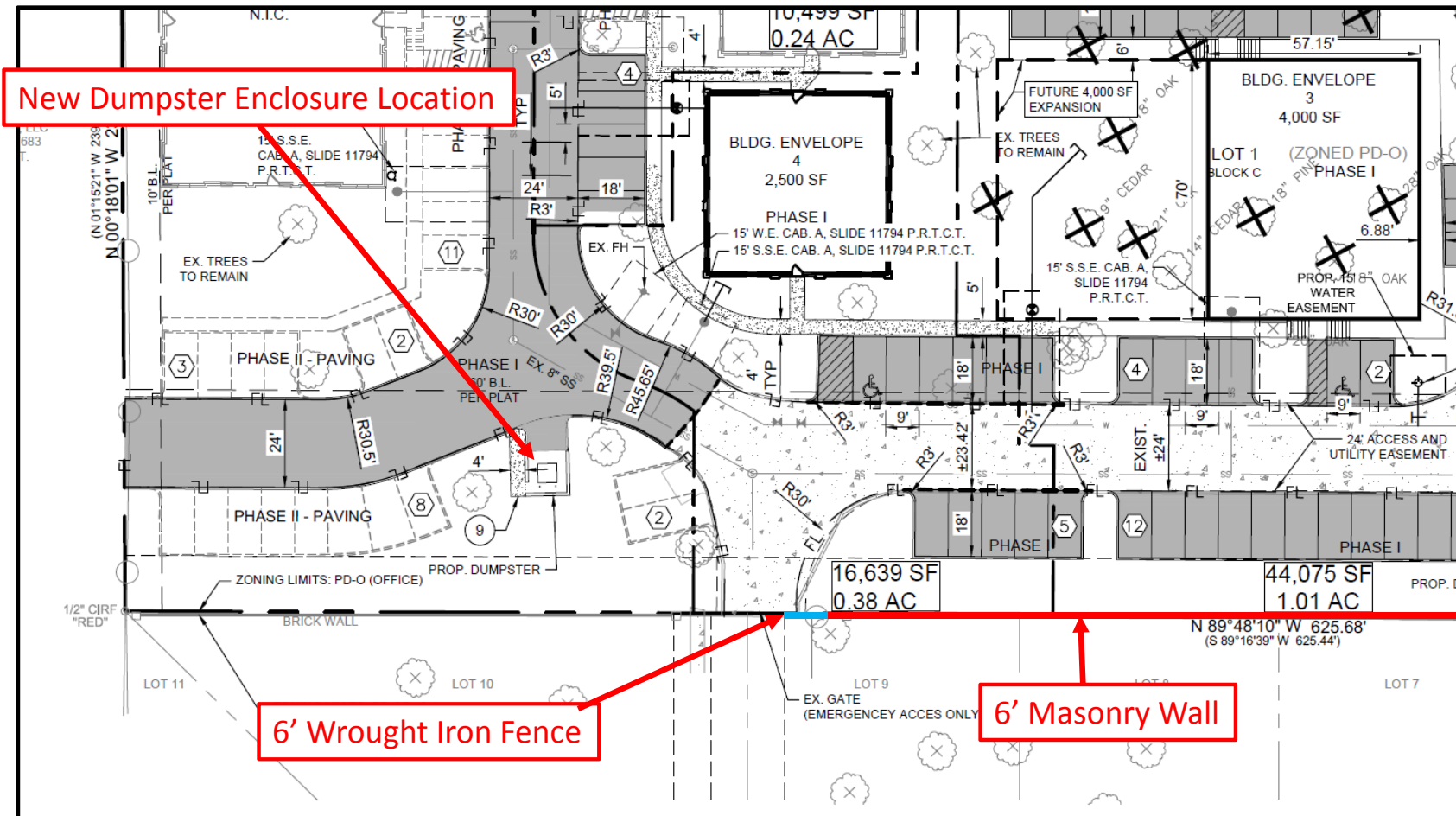


Amendments:

7. Landscape buffers shall be 30' along the front yard (FM 1709) and a minimum of **three feet (3')** along side yards, and **four feet (4')** along rear yards.

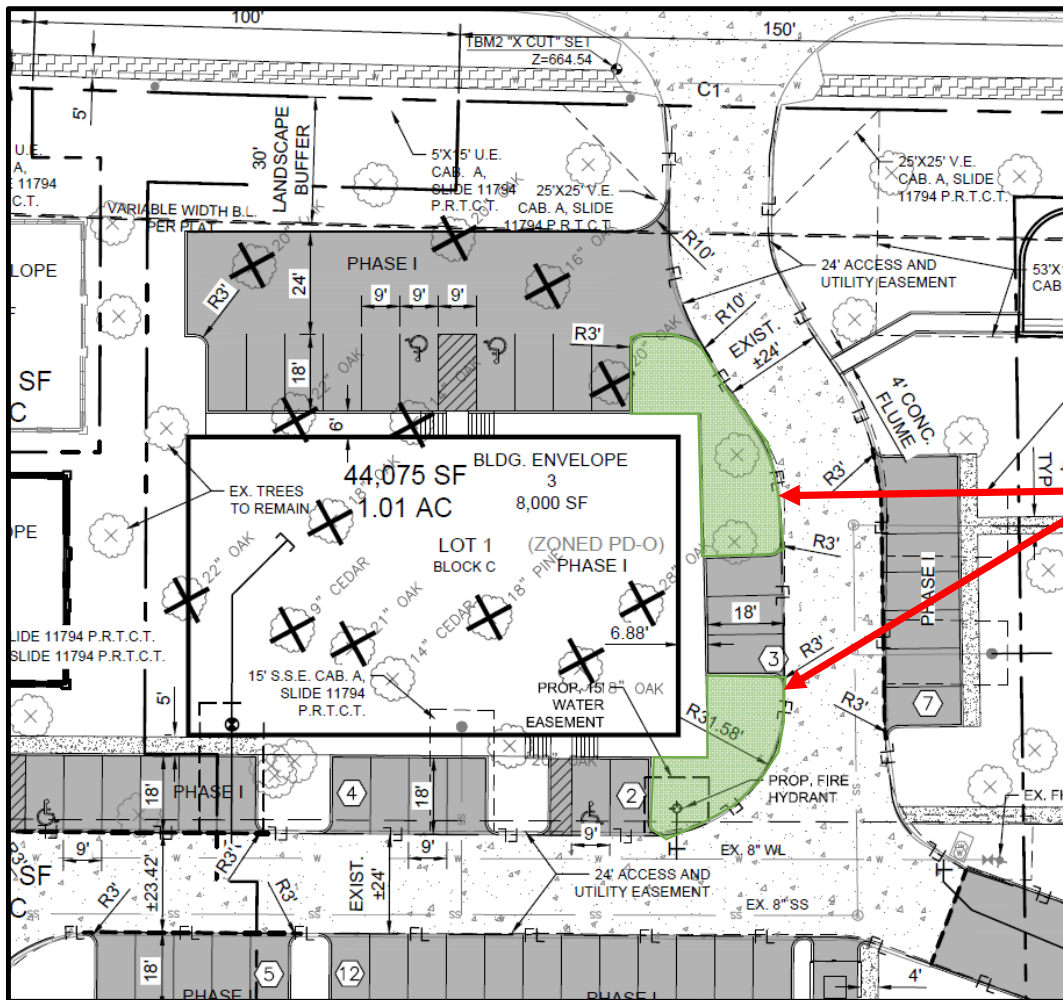
15. A Building Owners Association will be established for this office development. The Buildings Owners Association will be responsible to maintain all landscaping, irrigation, screening walls, and private detention facilities within ~~Lot 1, Block C~~ **Lots 1R and 2-6**, Block C, of Adalina at Bloomfield.

Item G-1



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Item G-1



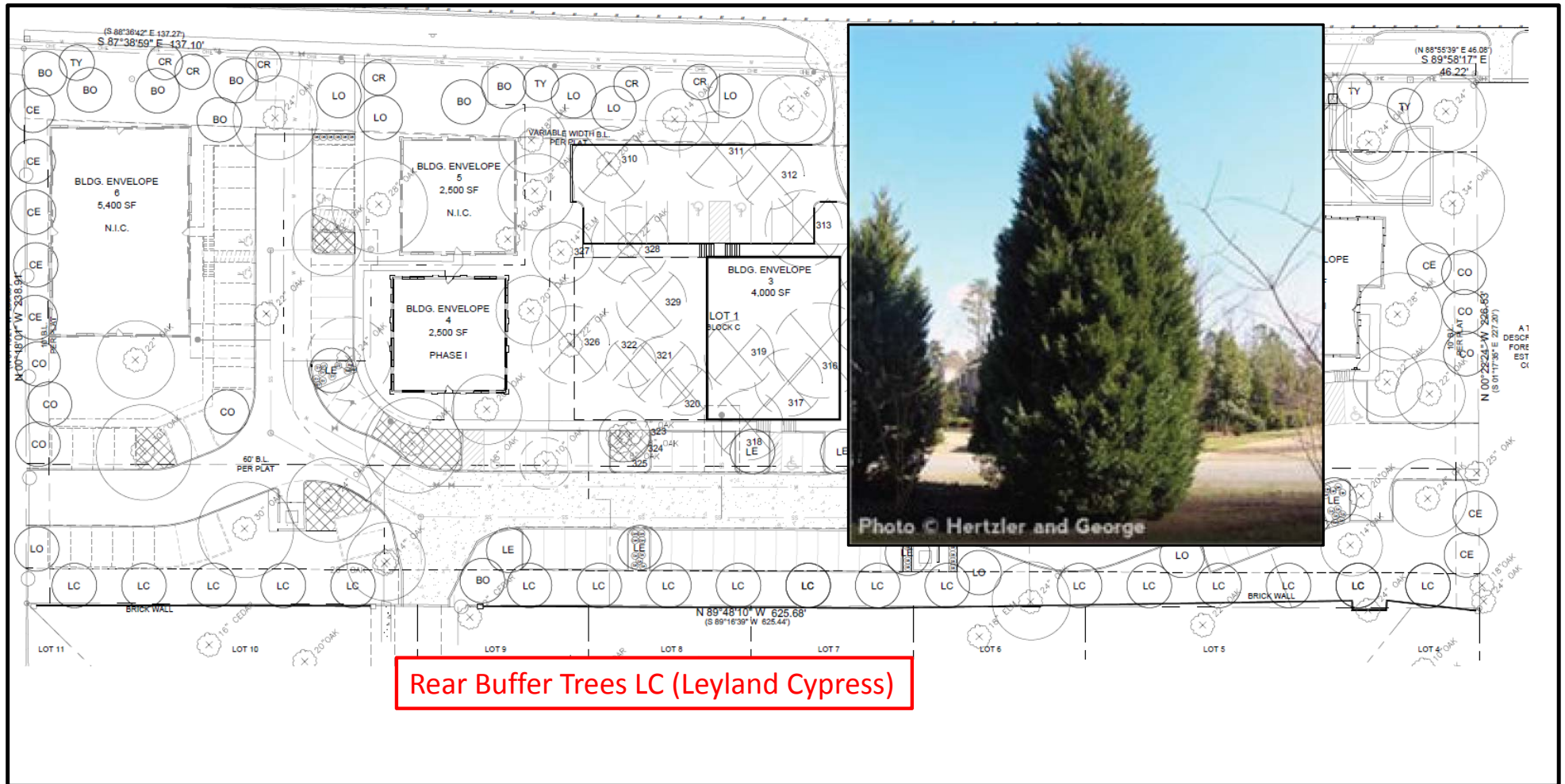
Additional Variance:

1. A variance for the foundation planting requirement to be waived for Building 3 as shown in "Exhibit A."

Landscape Islands

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Item G-1



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Item G-1 Summary

1. Minimum lot size : 10,499 S.F

2. Minimum lot width: 87'

3. Minimum front yard: 30'

4. Minimum side yard: 3'

5. Minimum rear yard: 4'

6. Maximum height: 1 story, 35' maximum

7. Landscape buffers shall be 30' along front yard (FM 1709), 3' along side yard, and 4' along rear yard.

8. Buffer trees within the 30' landscape buffer along FM 1709 shall be 4-inch caliper trees spaced every 25 feet; Two (2) ornamental trees planted in clusters spaced every 50 feet and evergreen shrubs planted between buildings 5 & 6 to screen parking from FM 1709. Buffer trees within the 10' side buffer yards shall be 3-inch caliper trees spaced every 30-feet. Buffer trees within in 15' rear buffer yard shall be 3-inch caliper trees spaced every 30-feet.

9. All buildings shall have the same architectural style and materials.

10. Dumpsters will be screened by a 6' masonry screening wall with solid metal gates as required by the City of Keller. The screening wall shall match the colors and materials of the proposed office building and the solid metal gates shall be painted to match the colors of the proposed buildings.

11. The 6-foot masonry screening wall along the south property line of Lot 1, Block C, shall be built during the development of the residential lots of Adalina at Bloomfield.

12. All uses permitted in the office zoning district will be allowed in this development.

13. All site signage and site lighting shall conform to the City of Keller Unified Development Code.

14. All site landscaping, except as noted on this zoning exhibit, shall conform to the landscaping requirements of the City of Keller Unified Development Code.

15. A Building Owners Association will be established for this office development. The Buildings Owners Association will be responsible to maintain all landscaping, irrigation, screening walls, driveways, and private detention facilities within Lots 1R-6, Block C, of Adalina at Bloomfield.

16. Cross access connection will be constructed when the property to the east and west develop in the future.

17. A detailed site plan application will be submitted for each phase of the office park development.

18. A TXDOT driveway permit shall be approved prior to building the driveway approach at FM 1709.

19. A variance for the foundation planting requirement to be waived for Building 3.

20. A variance for Leyland Cypress to be used in the rear landscape buffer.

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Item G-1 Analysis

Section 8.02 (D.1.e) of the UDC states that when considering a zoning change request, the Planning and Zoning Commission and City Council shall consider the following factors. Staff has provided their analysis in bold italics below each consideration:

1. Whether the uses permitted by the proposed change will be appropriate in the immediate area concerned and their relationship to the general area and the City as a whole, and in compliance with the Future Land Use Plan.

The proposed use complies with the comprehensive plan and is appropriate in this area of the City. The proposed amendments address the subdivision of the lots, reorientation and expansion of Building 3. The remaining buildings will stay as originally approved.

2. Whether the proposed change is in accord with any existing or proposed plans for providing streets, water supply, sanitary sewers, and other utilities to the area, and shall note the findings.

City water and wastewater services are available on Keller parkway (FM 1709). Street access will be from Keller Parkway (FM 1709) and from future cross connections from adjacent properties to the east and west.

Item G-1 Analysis

3. The amount of vacant land currently classified for similar development in the vicinity and elsewhere in the City, and any special circumstances which may make a substantial part of such vacant land unavailable for development.

There are approximately 65.09 acres of Keller zoned Office. Approximately 78.6% of land in the O (Office) zoning district is developed while 19.4% remain undeveloped.

4. The recent rate at which land is being developed in the same zoning classification as the request, particularly in the vicinity of the proposed change.

There have been recent office developments completed along Stone Glen Drive, including Phase II of the Stone Glen Offices and the Offices at Stone Glen. Hidden Lakes Offices (on Davis Boulevard) has their final phase under construction. Bloomfield Offices (adjacent to the west) has an active site plan under staff review.

Item G-1 Analysis

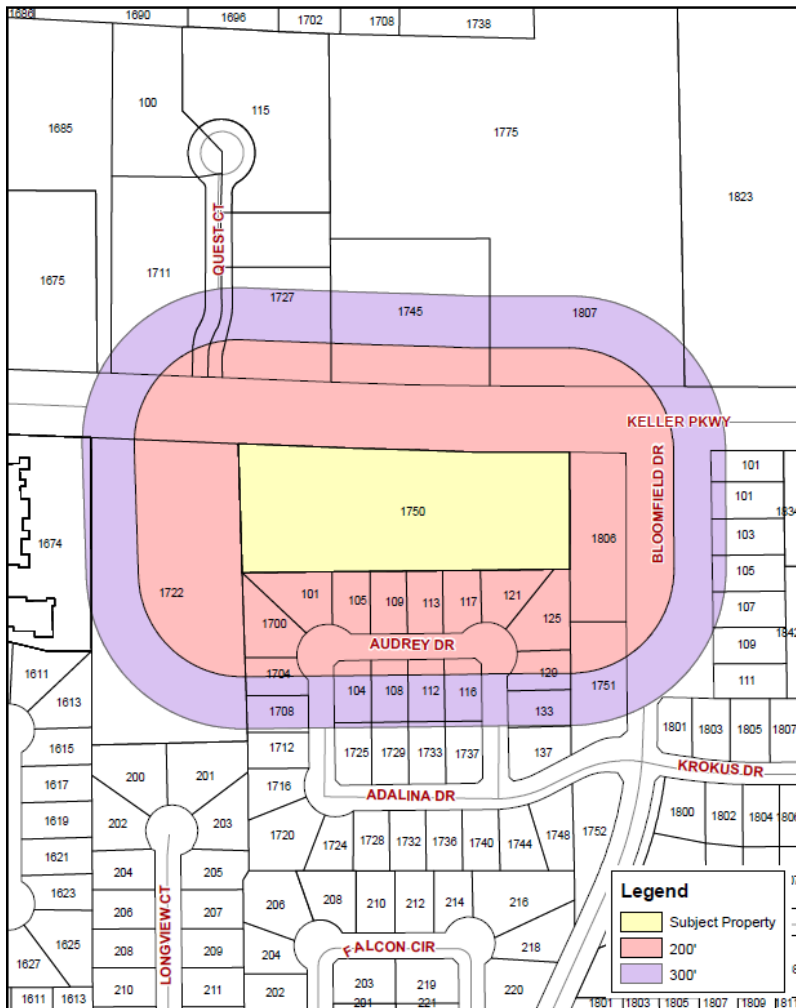
5. How other areas designated for similar development will be, or are unlikely to be, affected if the proposed amendment is approved.

Staff does not see this rezoning having a significant impact on other areas designated for similar development. The planned development for the Adalina Offices has been in place since 2006. The applicant has relayed to staff that the amendments to Building 3 are at the request of a potential user.

6. Any other factors which will substantially affect the health, safety, morals, or general welfare.

Staff does not anticipate any other issues affecting the health, safety, morals, or general welfare.

Item G-1 Citizen Input



- November 1, 2017 38 letters were sent to surrounding property owners and KISD. A sign was posted on the site.
- Newspaper notice was published on November 5, 2017.
- The developer met with the neighbors and staff on October 30, 2017.

Item G-1 Professional Opinion

Staff's professional opinion is to **support** this zoning change request as it complies with the Future Land Use Plan. The base zoning district is not changing and all uses allowed by the O (Office) zoning district (with the same conditions) will be allowed. The purpose of this amendment is to allow the applicant to subdivide one (1) lot into six (6) lots and amend the configuration of Building 3.

Staff forwards this planned development zoning change application for City Council consideration with the following amendments and variances:

1. Amendment for the minimum lot size from 33,000 square feet, to 10,499 square feet to be considered.
2. Amendment for the minimum lot with from one hundred fifty feet (150') to eighty-seven feet (87') to be considered
4. Amendment for the minimum side yard from ten feet (10') to three feet (3') to be considered.
5. Amendment for the minimum rear yard from sixty feet (60') to four feet (4') to be considered
6. Amendment for the maximum height to be one (1) story, thirty-five feet (35') to be considered.
7. Landscape buffers shall be 30' along the front yard (FM 1709) and a minimum of three feet (3') along side yards, and four feet (4') along rear yards to be considered.
15. A Building Owners Association will be established for this office development. The Buildings Owners Association will be responsible to maintain all landscaping, irrigation, screening walls, driveways, and private detention facilities within Lots 1R and 2-6, Block C, of Adalina at Bloomfield.
19. A variance for the foundation planting requirement to be waived for Building 3 as shown in "Exhibit A" to be considered.
20. A variance for Leyland Cypress trees to be planted in the rear landscape buffer to be considered.

Item G-1 Board Review

The Planning and Zoning Commission considered this item on November 13, 2017 and provided a recommendation to approve as submitted with a unanimous vote (7-0).

Item G-1 City Council Action

The City Council has the following options when considering a Planned Development Amendment application:

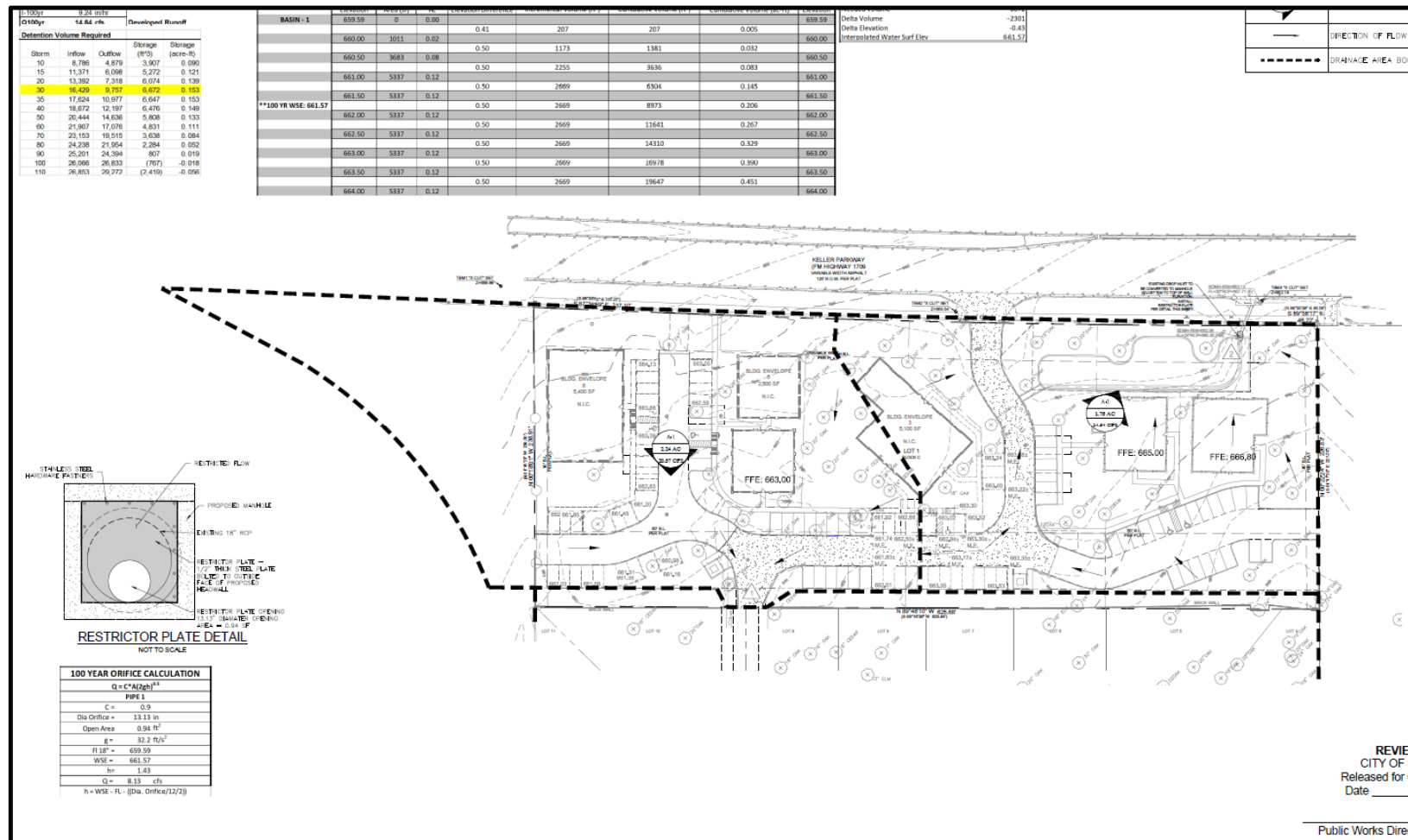
- Approve as submitted (with variance and amended conditions)
- Approve with modified or additional condition(s)
- Tabling the agenda item to a specific date with clarification of intent and purpose
- Deny



Questions?
Michele Berry
817-743-4125

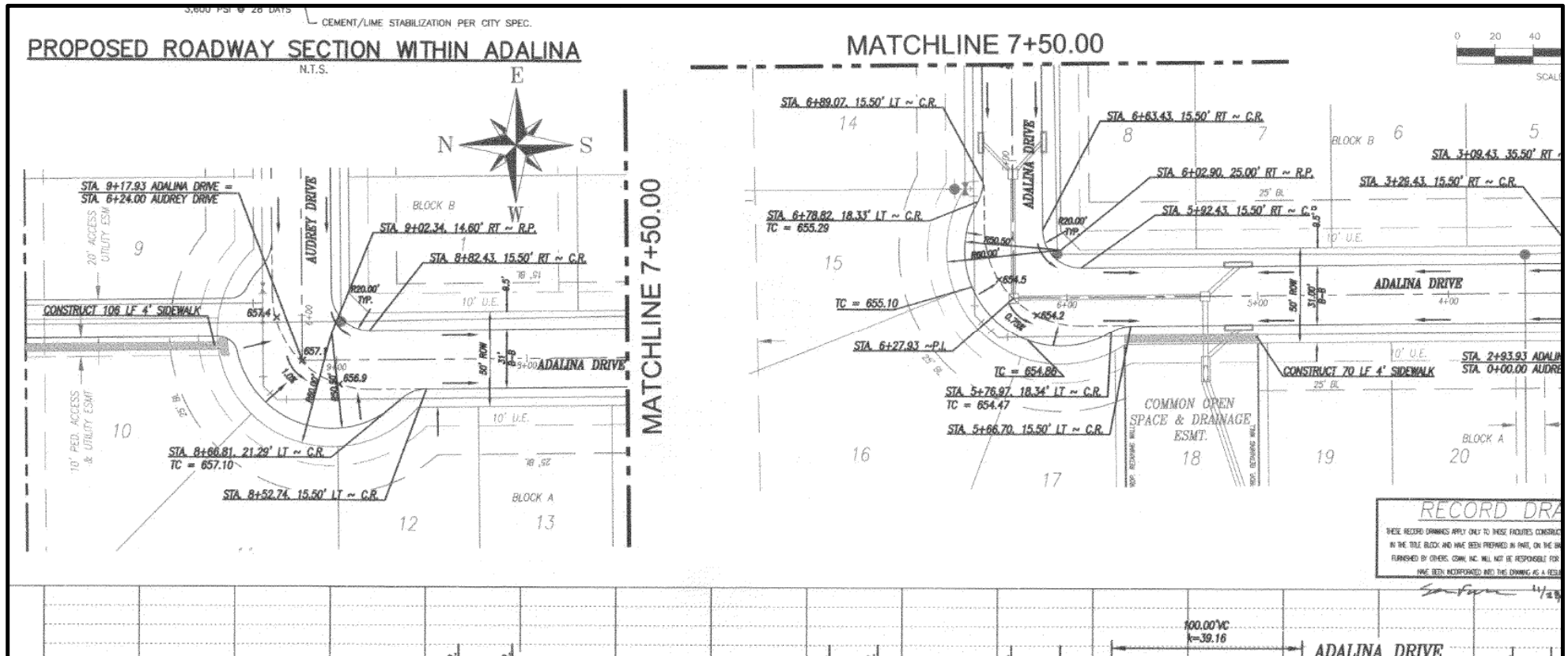
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Item F-1



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Questions?
Daniel Turner
817-743-4129

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