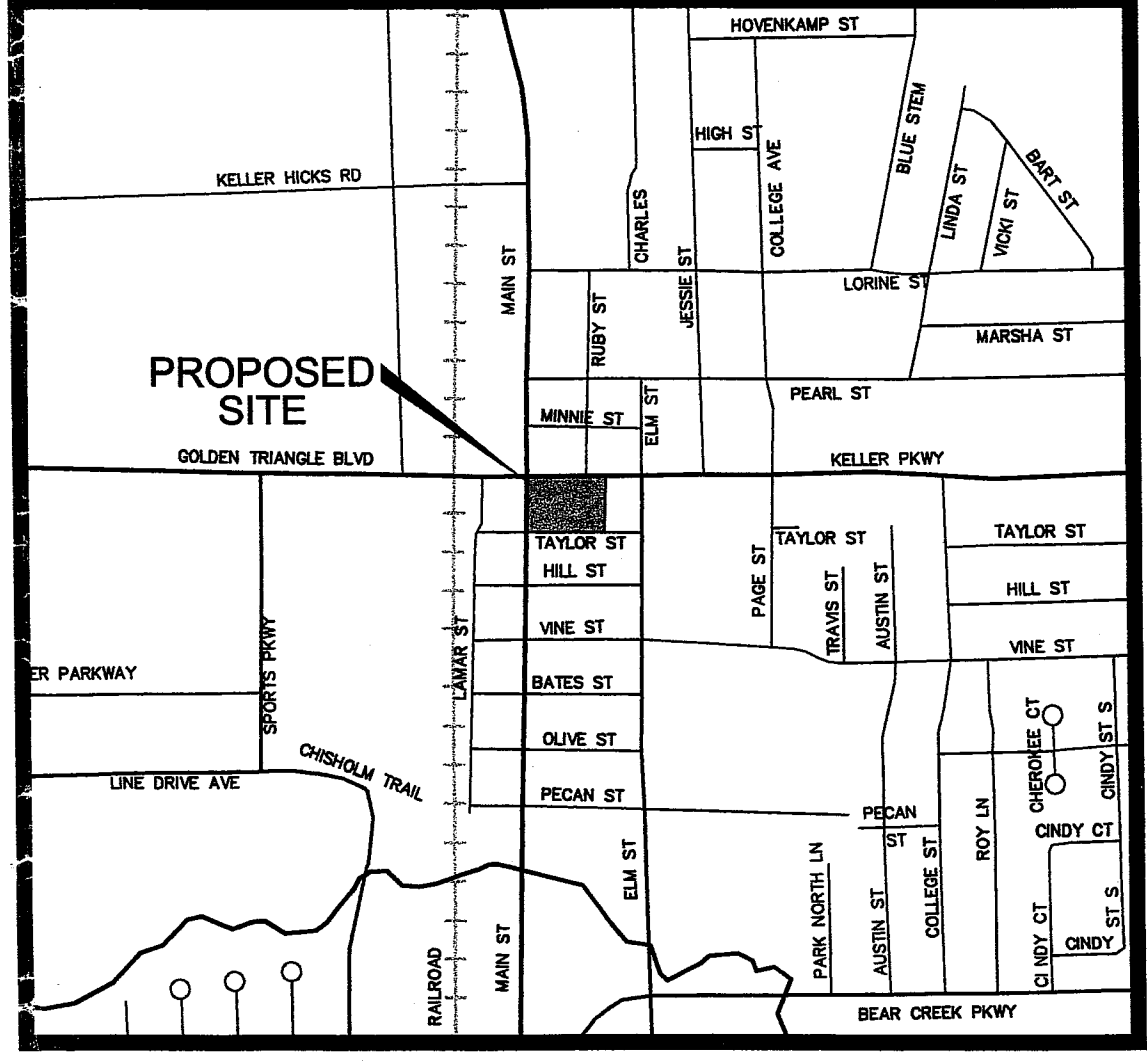
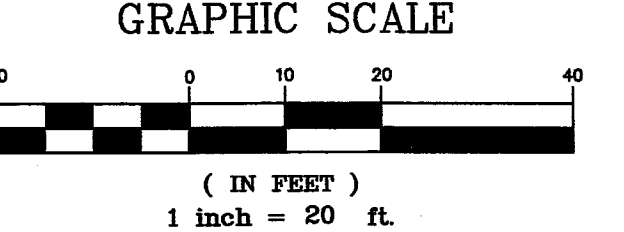


HIGHWAY 377 - MAIN STREET
(80' RIGHT-OF-WAY)

FM HWY. 1709 - KELLER PARKWAY
(130' RIGHT-OF-WAY)

TAYLOR STREET
(80' RIGHT-OF-WAY)



SITE SUMMARY DATA

SITE AREA:	
BEFORE R.O.W. DEDICATION:	1.39 ± ACRES
AFTER R.O.W. DEDICATION:	1.32 ± ACRES
BUILDING AREA	8,049 S.F.
PARKING DATA :	
PARKING REQUIRED:	27 STALLS
(1 PER 300 sf FOR BANK	
PARKING PROVIDED:	
STANDARD STALLS (ON-SITE)	33 STALLS
STANDARD STALLS (OFF-SITE)	17 STALLS
HANDICAP STALLS	3 STALLS
TOTAL PARKING PROVIDED	53 STALLS

SITE PLAN
HIBERNIA NATIONAL BANK
LOT 1, BLOCK A
an addition to the City of Keller, Texas
BEING 1.3874 ACRES SITUATED IN THE
SAMUEL NEEDHAM SURVEY, ABSTRACT NO. 1171
CITY OF KELLER, TARRANT COUNTY, TEXAS
ZONED: "R" - RETAIL AND
O.T.K. (OLD TOWN KELLER OVERLAY)
JULY 23, 2004

Kimley-Horn and Associates, Inc.

801 Cherry Street, Suite 1025, Unit 11
Fort Worth, Texas 76102
Tel. No. (817) 335-6511
Fax No. (817) 335-5070

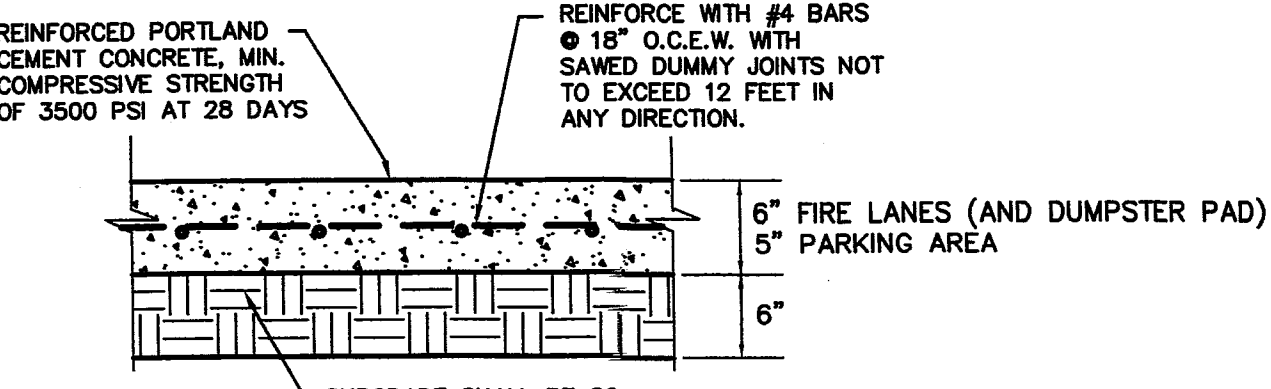
REVISED: December 17, 2004

PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
Kimley-Horn and Associates, Inc.
ENGINEERING, PLANNING AND ENVIRONMENTAL CONSULTANTS
Engineer: JOHN BLACKER
P.E. No. 68300 Date: 12/17/04

The SITE PLAN shall NOT be modified without the approval of the Community Development Department.

SHEET
SP-1
OF 9

- NOTES:
1. ALL SIGNAGE WILL MEET THE REQUIREMENTS OF THE OLD TOWN KELLER OVERLAY DISTRICT WITHIN THE UDC.
 2. PROPOSED BRICK PAVERS SHALL MATCH EXISTING MAIN STREET SIDEWALK DESIGN. EXTERIOR PAVEMENT SHALL BE RIVER RED IN COLOR. 2" SQUARE INTERIOR CORE SHALL BE TERRA COTTA IN COLOR, AS PROVIDED BY PAVESTONE CO. OR APPROVED EQUAL.
 3. CROSS CONNECTION IS REQUIRED TO ADJACENT PROPERTIES. FINAL LOCATION OF CURB CUTS AND DRIVE CONNECTIONS WILL BE MADE WHEN PROPERTIES TO THE EAST SUBMIT A SITE PLAN APPLICATION.
 4. DETAILED CONSTRUCTION PLANS FOR THIS PROJECT WILL BE SUBMITTED AT THE TIME OF BUILDING PERMIT APPLICATION. ANY CHANGES TO THE APPROVED SITE PLAN RESULTING FROM THE CONSTRUCTION PLAN REVIEW SHALL BE REFLECTED ON THE SITE PLAN AND IS THE SOLE RESPONSIBILITY AND COST OF THE DEVELOPER.



TYPICAL PAVEMENT SECTION

SCALE: NONE

Applicant:
Kimley-Horn And Associate, Inc.
801 Cherry Street, Suite 1025, Unit 11
Fort Worth, Texas 76102
Phone (817) 335-6511
Fax (817) 335-5070
Contact: Mr. Bobby Kubin

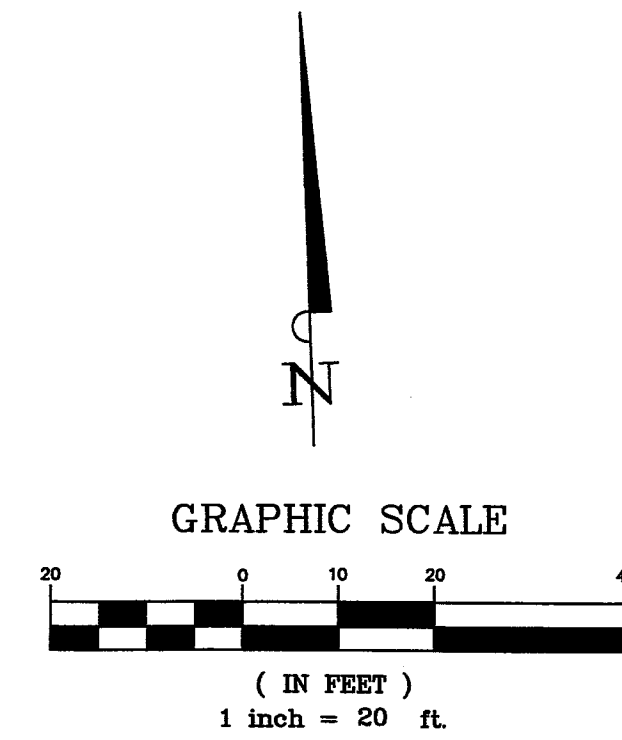
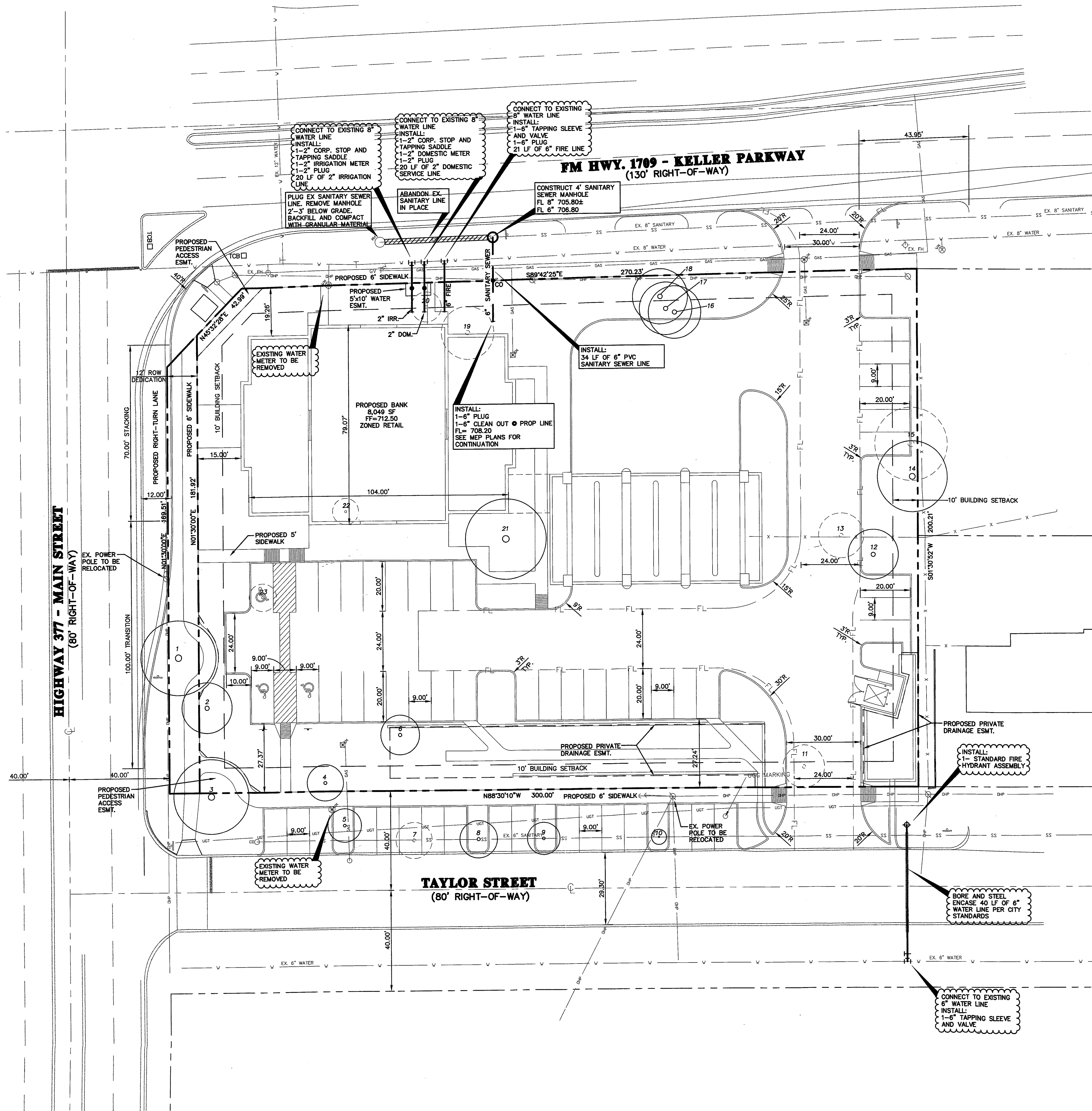
Owners:
Hibernia National Bank
225 Baronne Street
New Orleans, LA 70112
Phone: (504) 533-2321
Fax: (504) 533-2469
Contact: Mr. Brian Smith

Kimley-Horn and Associates, Inc.
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HIBERNIA NATIONAL BANK
MAIN STREET
KELLER, TEXAS

SITE PLAN

AS SHOWN
Designed by: BJK
Drawn by: BJK
Checked by: JDB
Date: DECEMBER 2004
Project No. 067244006



LEGEND	
	SANITARY SEWER SYSTEM NOTE
	WATER SYSTEM NOTE
	EXISTING FIRE HYDRANT
	EXISTING WATER MAIN
	PROPOSED WATER LINE
	PROPOSED GATE VALVE
	EXISTING TREE TO BE REMOVED
	PROPOSED WATER METER
	PROPOSED IRRIGATION METER
	EXISTING SAN. SWR. AND MANHOLE
	PROPOSED SAN. SWR.
	SAN. SWR. CLEAN-OUT
	M.E.P.
	MECHANICAL, ELECTRICAL, AND PLUMBING
	EXISTING TREE TO REMAIN

The SITE PLAN shall NOT be modified without the approval of the Community Development Department.

HIBERNIA NATIONAL BANK
LOT 1, BLOCK A
an addition to the City of Keller, Texas

BEING 1.3874 ACRES SITUATED IN THE
SAMUEL NEEDHAM SURVEY, ABSTRACT NO. 1171
CITY OF KELLER, TARRANT COUNTY, TEXAS
ZONED: "R" - RETAIL AND
O.T.K. (OLD TOWN KELLER OVERLAY)
JULY 23, 2004

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Fax No. (817) 335-5070
REVISED: DECEMBER 17, 2004

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Kimley-Horn and Associates, Inc.
ENGINEERING, PLANNING AND ENVIRONMENTAL CONSULTANTS
Engineer: **JOHN BLACKER**
P.E. No. 68300 Date 12/17/04

BENCHMARKS

SQUARE AT NE CORNER OF BASE OF LIGHT STANDARD AT ENTRANCE TO NORTHWEST BANK, 90' WEST OF CENTERLINE OF HWY. 377 AT INTERSECTION OF HWY. 377 AND LORINE STREET (TxDOT DATUM) ELEV. 705.13

SQUARE ON RETAINING WALL, WEST SIDE OF HWY. 377, 120' SOUTH OF INTERSECTION OF HWY. 377 AND FM 1709 (KELLER PARKWAY) ELEV. 713.93

SQUARE ON SOUTH CURB OF MEDIAN IN FM 1709 (KELLER PARKWAY) AT INTERSECTION OF FM 1709 AND RUBY STREET ELEV. 706.87

HIBERNIA NATIONAL BANK
UTILITY PLAN

Kimley-Horn and Associates, Inc.
801 Cherry Street, Suite 1025, Unit 11
Fort Worth, Texas 76102
Tel. No. (817) 335-6511
Fax No. (817) 335-5070

Scale: AS SHOWN
Designed by: BJK
Drawn by: BJK
Checked by: JDB
Date: DECEMBER 2004
Project No. 067244006

SHEET
SP-2
OF 9

HIGHWAY 377 - MAIN STREET
(80' RIGHT-OF-WAY)

FM HWY. 1709 - KELLER PARKWAY
(130' RIGHT-OF-WAY)

TAYLOR STREET
(80' RIGHT-OF-WAY)

PROPOSED BANK
8,049 SF
FF=712.50
ZONED RETAIL

DA 1
1.03 Ac.
5.53 cfs

DA 2
0.62 Ac.
0.11 cfs

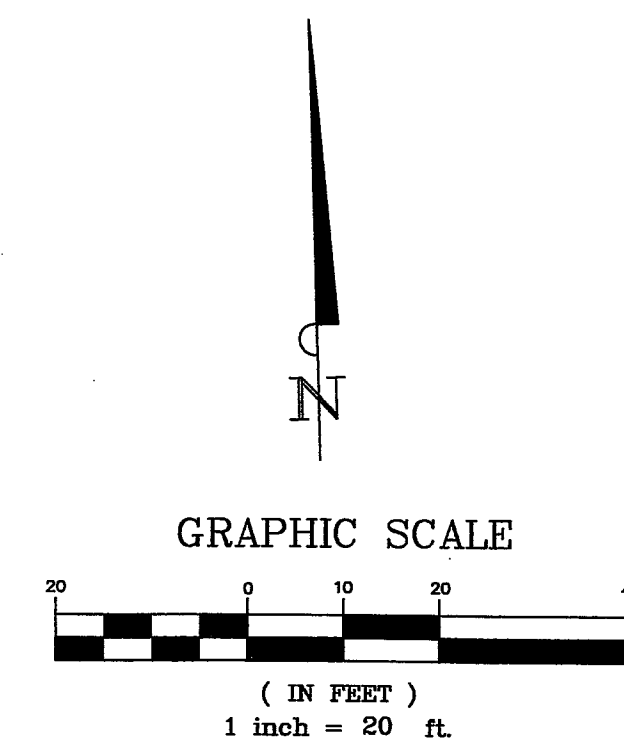
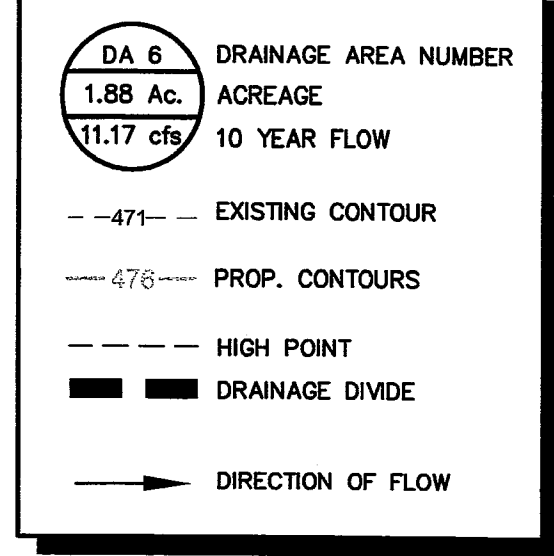
DA 3
0.27 Ac.
1.49 cfs

DA 4
0.01 Ac.
0.08 cfs

PROPOSED DETENTION POND

PROPOSED DETENTION POND

LEGEND



RUNOFF CALCULATIONS

DRAINAGE AREA NO.	AREA (Ac.)	C (Coeff.)	t _c (min.)	I _h (in./hr.)	Q _h (cfs)	I _{mp} (in./hr.)	Q _{mp} (cfs)	REMARKS
1	1.03	* 0.68	10.0	7.9	5.53	11.6	8.12	
2	0.02	* 0.67	10.0	7.9	0.11	11.6	0.16	
3	0.27	* 0.70	10.0	7.9	1.49	11.6	2.19	
4	0.01	* 1.00	10.0	7.9	0.08	11.6	0.12	
TOTAL	1.34		10.0	7.9	7.21	11.6	10.59	

* RUN OFF COEFFICIENTS ARE BASED ON CALCULATED IMPERVIOUS AREAS.

DETENTION CALCULATIONS

ALLOWABLE RELEASE RATE BASED ON EXISTING CONDITIONS=	5.29 CFS	Q=C(0.50) x I (7.9) x A(1.34)
DESIGN RELEASE RATE FROM DETENTION PONDS =	5.04 CFS	
TOTAL DETENTION REQUIRED =	1,570 CF	20 MIN. STORM
TOTAL POND VOLUME PROVIDED=	1,900± CF	W.S. ELEV. VARIES

The SITE PLAN shall NOT be modified without the approval of the Community Development Department.

HIBERNIA NATIONAL BANK

LOT 1, BLOCK A

an addition to the City of Keller, Texas

BEING 1.3874 ACRES SITUATED IN THE
SAMUEL NEEDHAM SURVEY, ABSTRACT NO. 1171
CITY OF KELLER, TARRANT COUNTY, TEXAS

ZONED: "R" - RETAIL AND

O.T.K. (OLD TOWN KELLER OVERLAY)

JULY 23, 2004

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Contact: Mr. Bobby Kubin

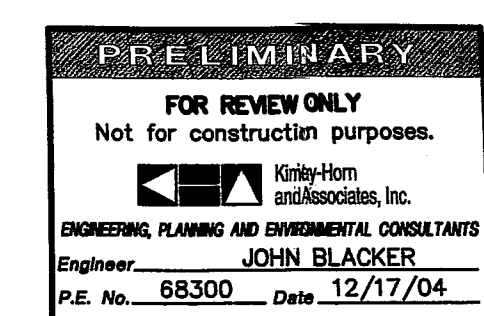
Owners:
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Kimley-Horn
and Associates, Inc.

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Fort Worth, Texas 76102 Fax No. (817) 335-5070

REVISED: December 17, 2004



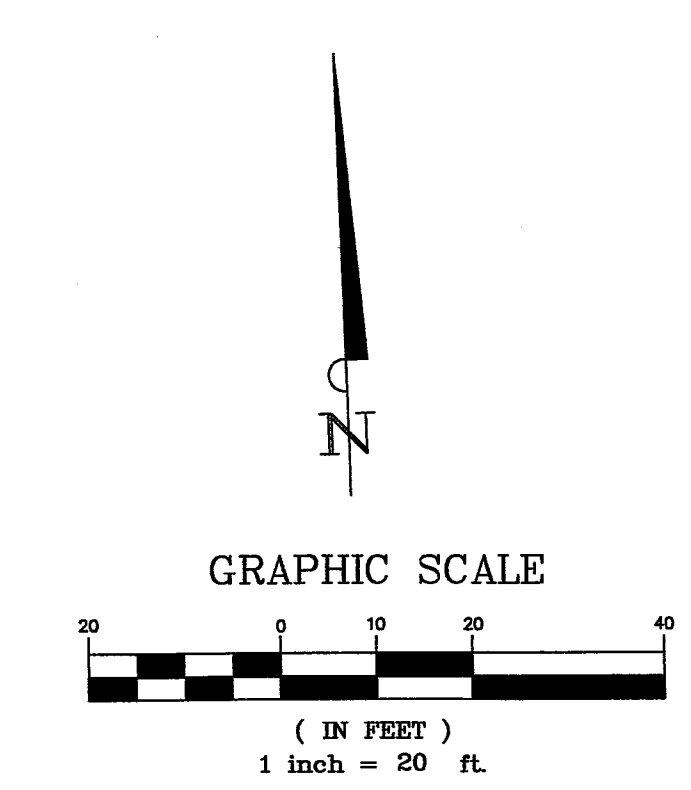
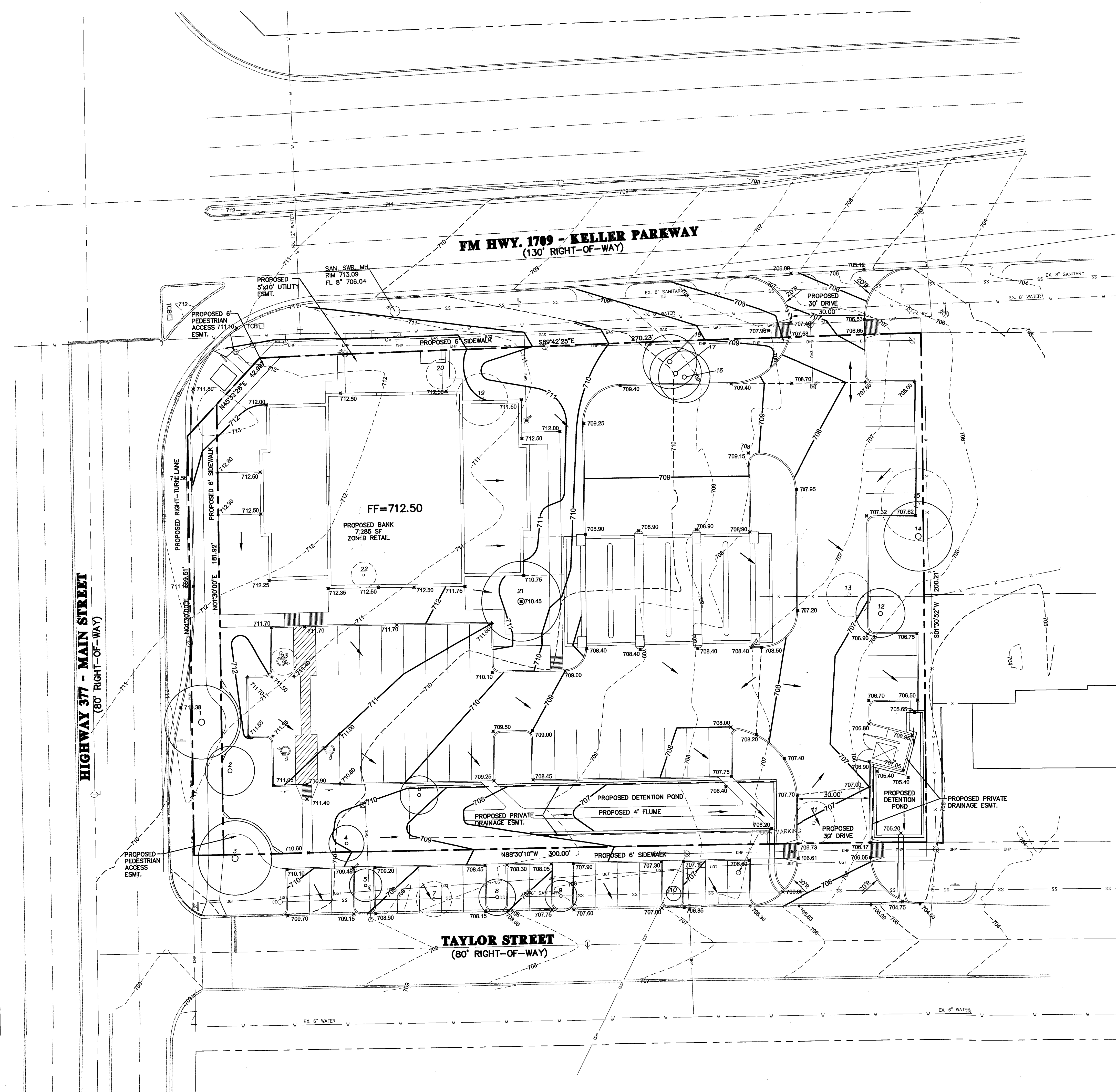
BENCHMARKS
SQUARE AT NE CORNER OF BASE OF LIGHT STANDARD AT ENTRANCE TO NORTHWEST BANK, 90' WEST OF CENTERLINE OF HWY. 377 AT INTERSECTION OF HWY 377 AND LORINE STREET (TXDOT DATUM) ELEV. 705.13
SQUARE ON RETAINING WALL, WEST SIDE OF HWY. 377, 120' SOUTH OF INTERSECTION OF HWY. 377 AND FM 1709 (KELLER PARKWAY) ELEV. 713.93
SQUARE ON SOUTH CURB OF MEDIAN IN FM 1709 (KELLER PARKWAY) AT INTERSECTION OF FM 1709 AND RUBY STREET ELEV. 706.87

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Fax No. (817) 335-5070

HIBERNIA
NATIONAL BANK
MAIN STREET
KELLER, TEXAS

DRAINAGE
AREA MAP

Scale: AS SHOWN
Designed by: BUK
Drawn by: BUK
Checked by: JDB
Date: DECEMBER 2004
Project No. 087244006
SHEET
SP-3
OF 9



- LEGEND**
- EXISTING CONTOUR
 - PROP. CONTOURS
 - HIGH POINT
 - DIRECTION OF FLOW
 - * 752.36 TOP OF PAVEMENT OR PROPOSED GRADE
 - TC TOP OF CURB
 - ME MATCH EXISTING
 - EXISTING TREE TO BE REMOVED
 - EXISTING TREE TO REMAIN

The SITE PLAN shall NOT be modified without the approval of the Community Development Department.

HIBERNIA NATIONAL BANK
LOT 1, BLOCK A
an addition to the City of Keller, Texas
BEING 1.3874 ACRES SITUATED IN THE
SAMUEL NEEDHAM SURVEY, ABSTRACT NO. 1171
CITY OF KELLER, TARRANT COUNTY, TEXAS
ZONED: "R" - RETAIL AND
O.T.K. (OLD TOWN KELLER OVERLAY)
JULY 23, 2004

Applicant:
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Tel. No. (817) 335-6511 Fax No. (817) 335-5070
REVISED: December 17, 2004

PRELIMINARY
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Kimley-Horn and Associates, Inc.
ENGINEERING, PLANNING AND ENVIRONMENTAL CONSULTANTS
Engineer: JOHN BLACKLER
P.E. No. 68300 Date: 12/17/04

BENCHMARKS
SQUARE AT NE CORNER OF BASE OF LIGHT STANDARD AT ENTRANCE TO NORTHWEST BANK, 90' WEST OF CENTERLINE OF HWY. 377 AT INTERSECTION OF HWY 377 AND LORINE STREET (TXDOT DATUM) ELEV. 705.13
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SQUARE ON SOUTH CURB OF MEDIAN IN FM 1709 (KELLER PARKWAY) AT INTERSECTION OF FM 1709 AND RUBY STREET ELEV. 706.87

No.	Date	Revisions	App.

Kimley-Horn and Associates, Inc.
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Fax No. (817) 335-5070

HIBERNIA NATIONAL BANK
NATIONAL BANK
MAIN STREET
KELLER, TEXAS

GRADING AND DRAINAGE PLAN

Scale: AS SHOWN
Designed by: BUK
Drawn by: BUK
Checked by: JDB
Date: DECEMBER 2004
Project No. 06724006

SHEET
SP-4
OF 9

63, CIVIL 67244006 (0604-Drainage, 12/19/2004, 18:25)

HIGHWAY 377 - MAIN STREET
(80' RIGHT-OF-WAY)

FM HWY. 1709 - KELLER PARKWAY
(130' RIGHT-OF-WAY)

TAYLOR STREET
(80' RIGHT-OF-WAY)

- NOTES:
- 1 - REFERENCE SHEET SP-8 FOR EXISTING TREE DETAILS
 - 2 - OWNER OF PROPERTY IS RESPONSIBLE FOR ALL MAINTENANCE OF LANDSCAPED AREAS. REF. UNIFIED DEVELOPMENT CODE, ARTICLE (8.07.D)
 - 3 - ALL LANDSCAPED AREAS WILL BE IRRIGATED AS PER THE DETAILED IRRIGATION PLANS SUBMITTED WITH THE CONSTRUCTION PLANS.
 - 4 - BENCH AND TRASHCAN TO MATCH EXISTING BENCHES AND CANS INSTALLED UNDER 'OLD TOWN KELLER - MAIN STREET SUBDISTRICT' GUIDELINES. REF. UNIFIED DEVELOPMENT CODE, ARTICLE (8.04.C.4.b.4)
 - 5 - CANOPY TREES PROVIDED BY 5 NEW AND 3 PRESERVED EXISTING CANOPY TREES. ORNAMENTAL TREES PROVIDED BY 9 NEW AND 2 PRESERVED EXISTING ORNAMENTAL TREES.
 - 6 - PER TDDOT REVIEW, TREES MAY NOT BE PLANTED BETWEEN BOC AND SIDEWALK. HEAVY PLANTING ALONG US 377(MAIN STREET) IS INTENDED TO COMPENSATE.

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Owners:
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Phone: (504) 533-2321
Fax: (504) 533-2469
Contact: Mr. Brian Smith

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Fax No. (817) 335-5070
REVISED: December 17, 2004

LANDSCAPE PLAN SUPERCEDED BY AMENDED SITE PLAN.
CASE NO. SP-10-0010 RES. NO. 2013
HIBERNIA NATIONAL BANK

LOT 1, BLOCK A
an addition to the City of Keller, Texas
BEING 1.3874 ACRES SITUATED IN THE
SAMUEL NEEDHAM SURVEY, ABSTRACT NO. 1171
CITY OF KELLER, TARRANT COUNTY, TEXAS
ZONED: "R" - RETAIL AND
O.T.K. (OLD TOWN KELLER OVERLAY)
JULY 23, 2004

Landscape Tabulations:

Street Tree Requirements:

- FM 1709 : Canopy Trees Required: 8
Canopy Trees Provided: 8
Ornamental Trees Required: 11
Ornamental Trees Provided: 11
*See Note 5
- US 377(Main Street) : Canopy Trees Required: 7
Canopy Trees Provided: 5
Ornamental Trees Required: 7
Ornamental Trees Provided: 8
*See Note 6
- Taylor St. : Canopy Trees Required: 10
Canopy Trees Provided: 12

Interior Landscape Requirements:

- Required: 5' Wide Foundation Planting Area
Provided: Varying Width Foundation Planting Area (7' min.)

Parking Lot Requirements:

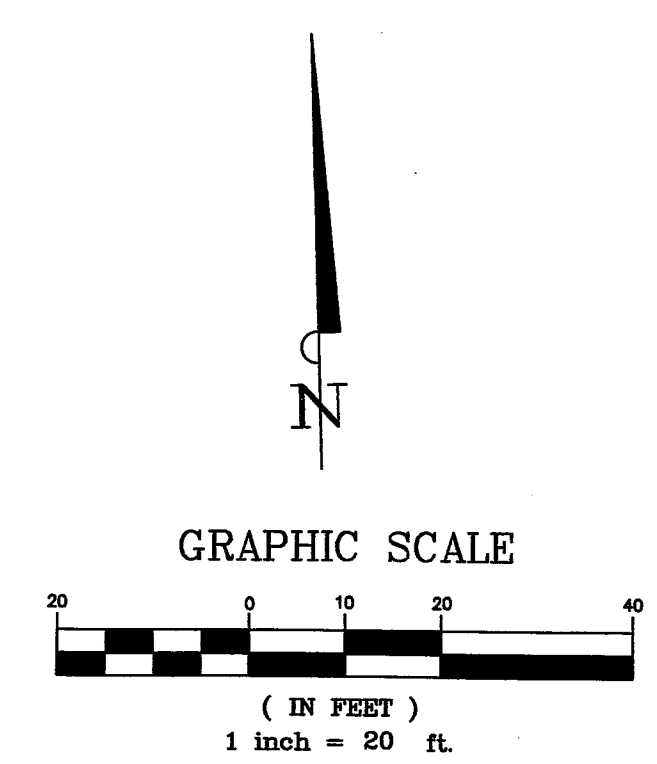
- Screen Requirement: 100% Screening From Adj. Streets
Screen Provided: Shrub Screen 3' high @ 30" O.C.
Required Landscape Area: 5,500 sf
Provided Landscape Area: 14,640 sf
Required Trees: 11
Provided Trees: 12

Tree Mitigation Requirements:

- Non-Exempt Protected Trees (in caliper inches): 283"
Total Protected: 237"
Total Allowed Removal (20% of total): 56.6"
Total Removed: 46"

PLANT LIST

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATION
TREES				
7	QS	Quercus shumardii	Shumard Oak	4" cal., 8-10' ht. container grown
5	PC	Pistacia chinensis	Chinese Pistache	25 gal., 7' min. ht.
8	TD	Taxodium distichum	Bald Cypress	25 gal., 7' min. ht.
10	IV	Ilex vomitoria	Yaupon Holly	Multi-trunk, min. 3 stems, 10-12' ht., 65 gal. container
19	LI	Lagerstroemia indica	Crepe Myrtle	Multi-trunk, min. 3 stems, 10-12' ht., 65 gal. container
SHRUBS				
192	RI	Raphiolepis indica	Indian Hawthorne	5 gal., 3' o.c. 24-30" ht., full
82	PCH	Pennisetum alopecuroides 'Hamlen'	'Hamlen' Fountain Grass	5 gal. min., 30" o.c.
GROUND COVER				
735	LM	Liriope muscari	Liriope	1 gal., 18" o.c.
6025	TA	Trachelospermum asiaticum	Asian Jasmine	4" min. pot, 12" o.c.
555	CL	Coreopsis lanceolata	Lanceleaf Coreopsis	4" min. pot, 12" o.c.
990	VB	Verbena bipinnatifida	Prarie Verbena	4" min. pot, 12" o.c.
110	AN	Annals	Annals	4" min. pot, 8" o.c.
PER PLAN	LAWN	Cynodon dactylon	Common Bermuda	Sod or seed (2 lbs per 1,000 sf, seed)



App.	Revisions	Date	No.

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Kimley-Horn and Associates, Inc.
LAND PLANNING AND LANDSCAPE ARCHITECTURAL CONSULTANTS
L.A. No. 2033, Date 12/17/04

HIBERNIA NATIONAL BANK
MAIN STREET
KELLER, TEXAS

LANDSCAPE PLAN

Scale:	AS SHOWN
Designed by:	JAF
Drawn by:	JAF
Checked by:	JWL
Date:	DECEMBER 2004
Project No.	067244006

SHEET
SP-5
OF 9

HIGHWAY 377 - MAIN STREET
(80' RIGHT-OF-WAY)

FM HWY. 1709 - KELLER PARKWAY
(130' RIGHT-OF-WAY)

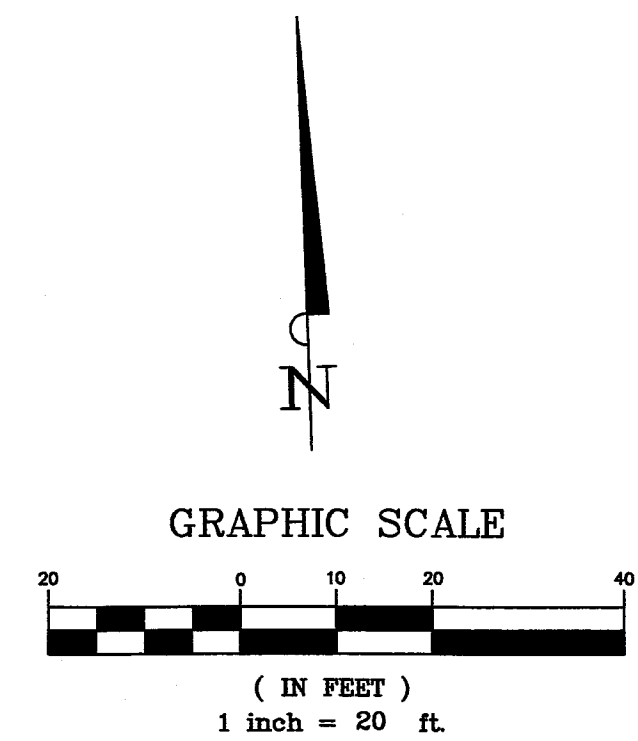
TAYLOR STREET
(80' RIGHT-OF-WAY)

PROPOSED BANK
8,049 SF
FF=712.50
ZONED RETAIL

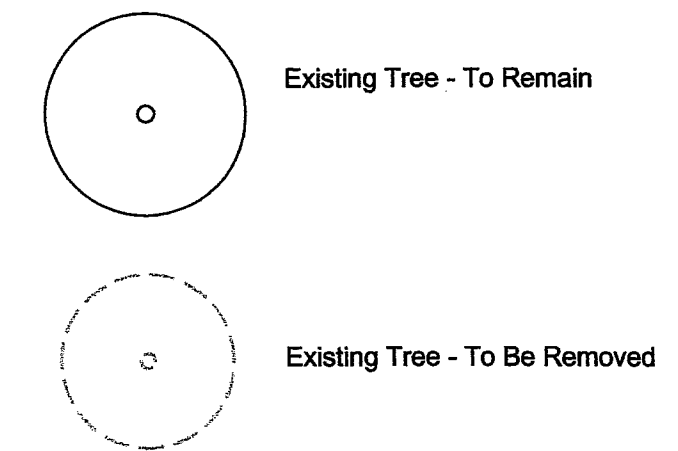
Applicant:
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modified without the approval of
the Community Development
Department.



Legend



Protected Tree Specifications

Protected Tree	Caliper	Critical Root Zone
1 - Shumard Oak	31"	30'
2 - Pecan	22"	20'
3 - American Elm	21"	30'
4 - Pecan	6"	14.5'
5 - Pecan	7"	13.5'
6 - Pecan	9"	13.5'
7 - Pecan	8"	14.5'
8 - Pecan	8"	15'
9 - Pecan	9"	13'
10-Pecan	6"	8'
11-Mulberry	17"	17'
12-Pecan	21"	20'
13-American Elm	11"	18'
14-American Elm	14"	28'
15-American Elm	26"	29'
16-American Elm	15"	21'
17-American Elm	10"	21'
18-American Elm	26"	23'
19-Pecan	18"	21'
20-Pecan	6"	12'
21-Pecan	32"	32'
22-Pear	7"	10'
23-Shumard Oak	6"	11'

Tree Mitigation Requirements:

Non-Exempt Protected Trees (in caliper inches):	283"
Total Protected:	237"
Total Allowed Removal (20% of total):	56.6"
Total Removed:	46"

HIBERNIA NATIONAL BANK LOT 1, BLOCK A an addition to the City of Keller, Texas

BEING 1.3874 ACRES SITUATED IN THE
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REVISED: December 17, 2004

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LAND PLANNING AND
LANDSCAPE ARCHITECTURAL CONSULTANTS
L.A. SEITZNEY, W. LINDER
L.A. No. 2033, Date 12/17/04

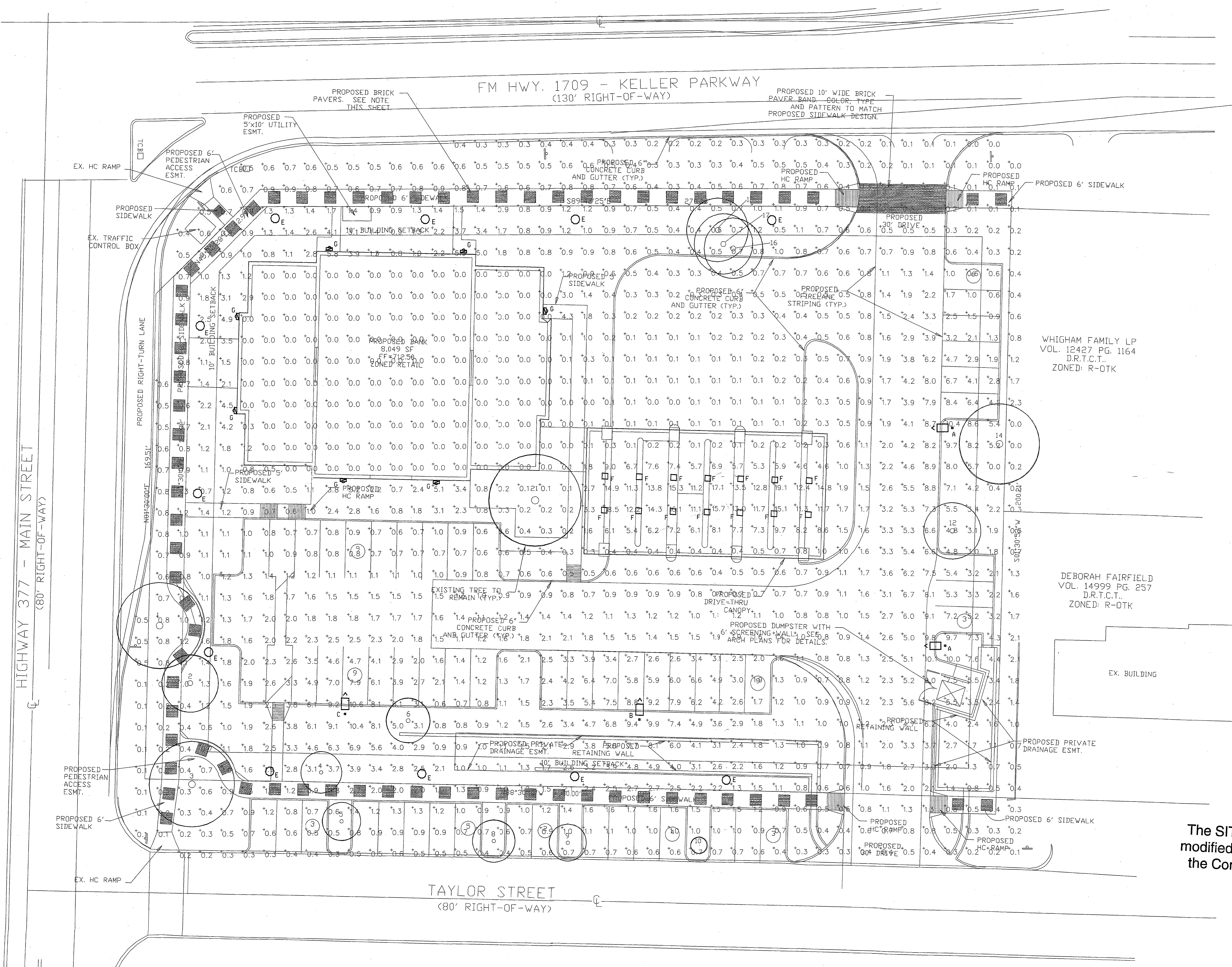
HIBERNIA
NATIONAL BANK
MAIN STREET
KELLER, TEXAS

TREE MITIGATION
PLAN

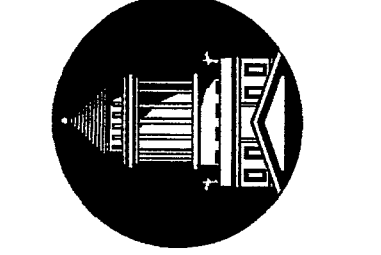
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Designed by: BJK
Drawn by: JAF
Checked by: JWL
Date: DECEMBER 2004
Project No. 067244006

SHEET
SP-6
OF 9

Kimley-Horn
and Associates, Inc.
801 Cherry Street, Suite 1025, Unit 11
Fort Worth, Texas 76102
Tel. No. (817) 335-6511
Fax No. (817) 335-5070



The SITE PLAN shall NOT be modified without the approval of the Community Development Department.



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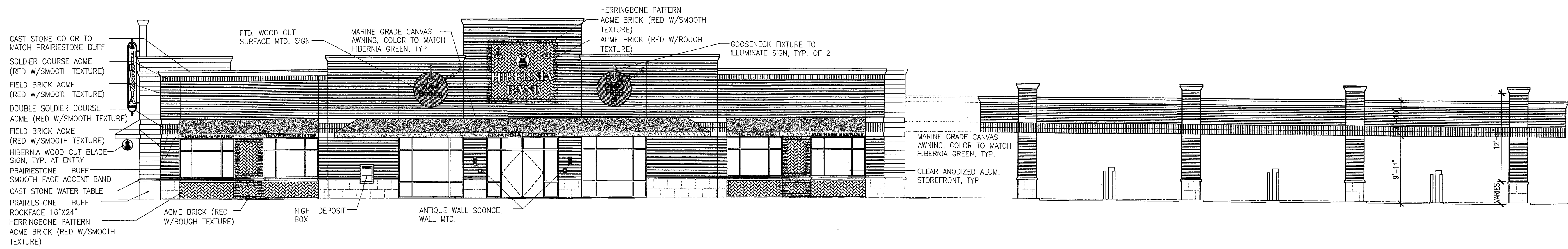
PROJECT NO.	HIB-159
DATE:	11/29/04
DRAWN BY:	STAFF
REF:	HNB KELLER
SCALE:	AS NOTED
FILE:	SP08-159.DWG

REVISIONS:

SHEET TITLE:
EXTERIOR ELEVATIONS

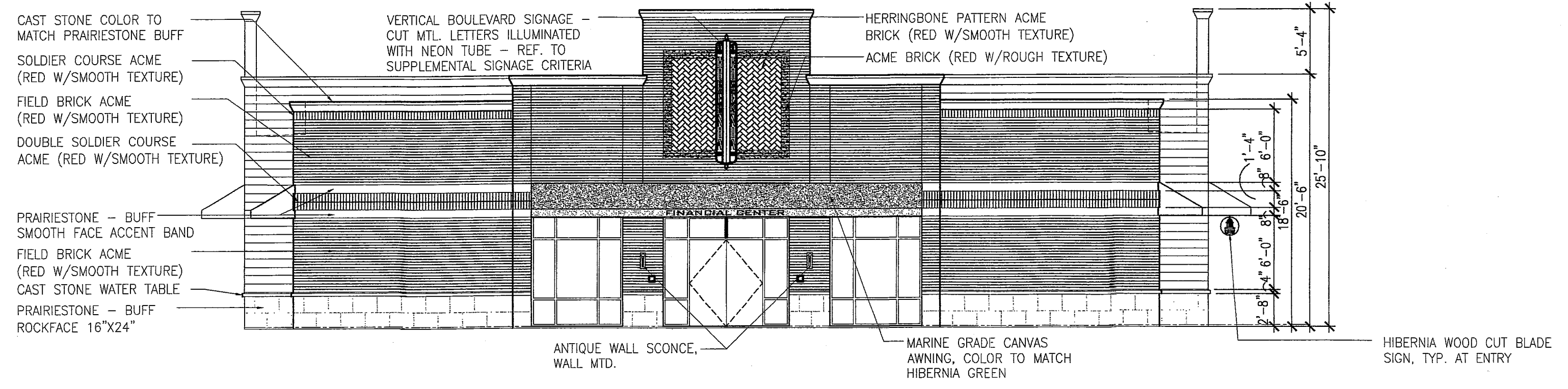
HIBERNIA BANK KELLER, TEXAS
KELLER FINANCIAL CENTER
377 MAIN STREET & KELLER PARKWAY
KELLER, TEXAS

SP-8



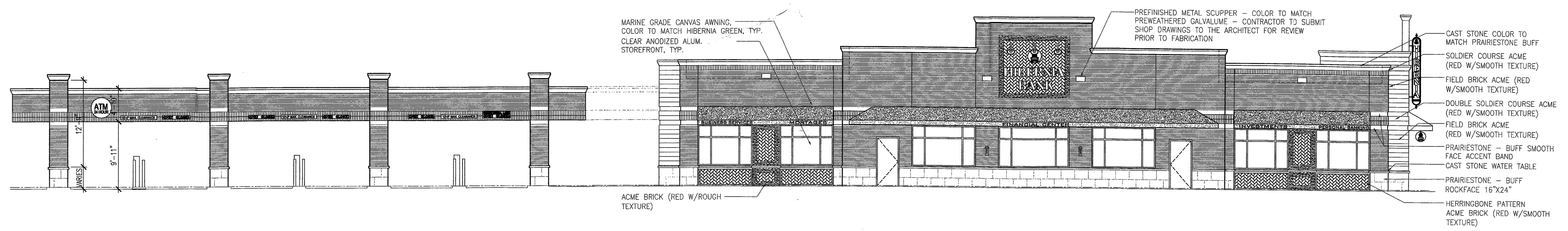
1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



2 WEST ELEVATION

SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



4 EAST ELEVATION

SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES

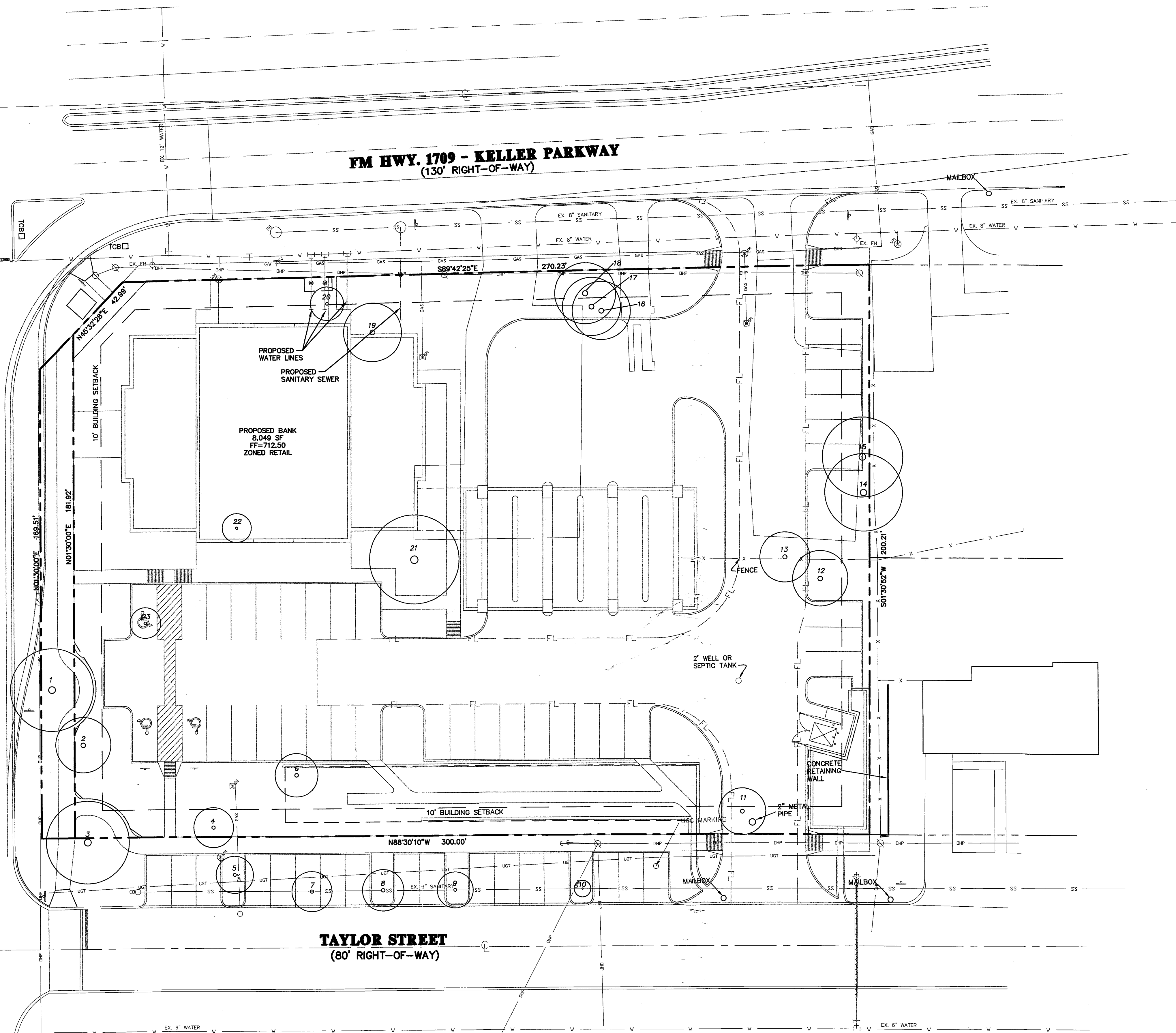
- A. CONTRACTOR TO COORDINATE THE REQUIREMENTS OF ALL OWNER SUPPLIED SIGNAGE PRIOR TO INSTALLATION. CONTRACTOR TO SCHEDULE A PRE INSTALLATION MEETING WITH THE OWNER AND ARCHITECT PRIOR TO INSTALLATION.
- B. CONTRACTOR TO INSTALL ALL BANK PROVIDED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS. CONTRACTOR SHALL SCHEDULE A PRE INSTALLATION MEETING FOR ALL BANK SUPPLIED EQUIPMENT PRIOR TO INSTALLATION AND AFTER REVIEW OF EQUIPMENT SHOP DRAWINGS.
- C. NOT USED.
- D. ROOF DRAINS AND OVERFLOW DRAIN LINES TO BE CONCEALED IN THE SUPPORT PILASTERS AND SHALL DISCHARGE APPROXIMATELY 12" ABOVE FINISH GRADE - REFER TO PLUMBING FOR ADDITION INFORMATION AND DISCHARGE FIXTURE.
- E. COLOR SELECTIONS FOR THE FIELD BRICK AND PRAIRIE STONE ARE PRELIMINARY UNTIL OWNER APPROVAL. CONTRACTOR TO SUBMIT FULL SIZE SAMPLES OF EACH COLOR TO THE ARCHITECT AND OWNER FOR REVIEW PRIOR TO ORDER. COLOR SELECTIONS ALSO DEPENDENT UPON JURISDICTION APPROVAL.

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HIGHWAY 377 - MAIN STREET
(80' RIGHT-OF-WAY)

FM HWY. 1709 - KELLER PARKWAY
(130' RIGHT-OF-WAY)

TAYLOR STREET
(80' RIGHT-OF-WAY)



Applicant:
Kimley-Horn And Associate, Inc.
2301 Eagle Parkway, Suite 185
Fort Worth, Texas 76177
Phone (682) 831-1000
Fax (682) 831-1003
Contact: Mr. Bobby Kubin

Owners:
Hibernia National Bank
225 Baronne Street
New Orleans, LA 70112
Phone: (504) 533-2321
Fax: (504) 533-2469
Contact: Mr. Brian Smith

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Department.

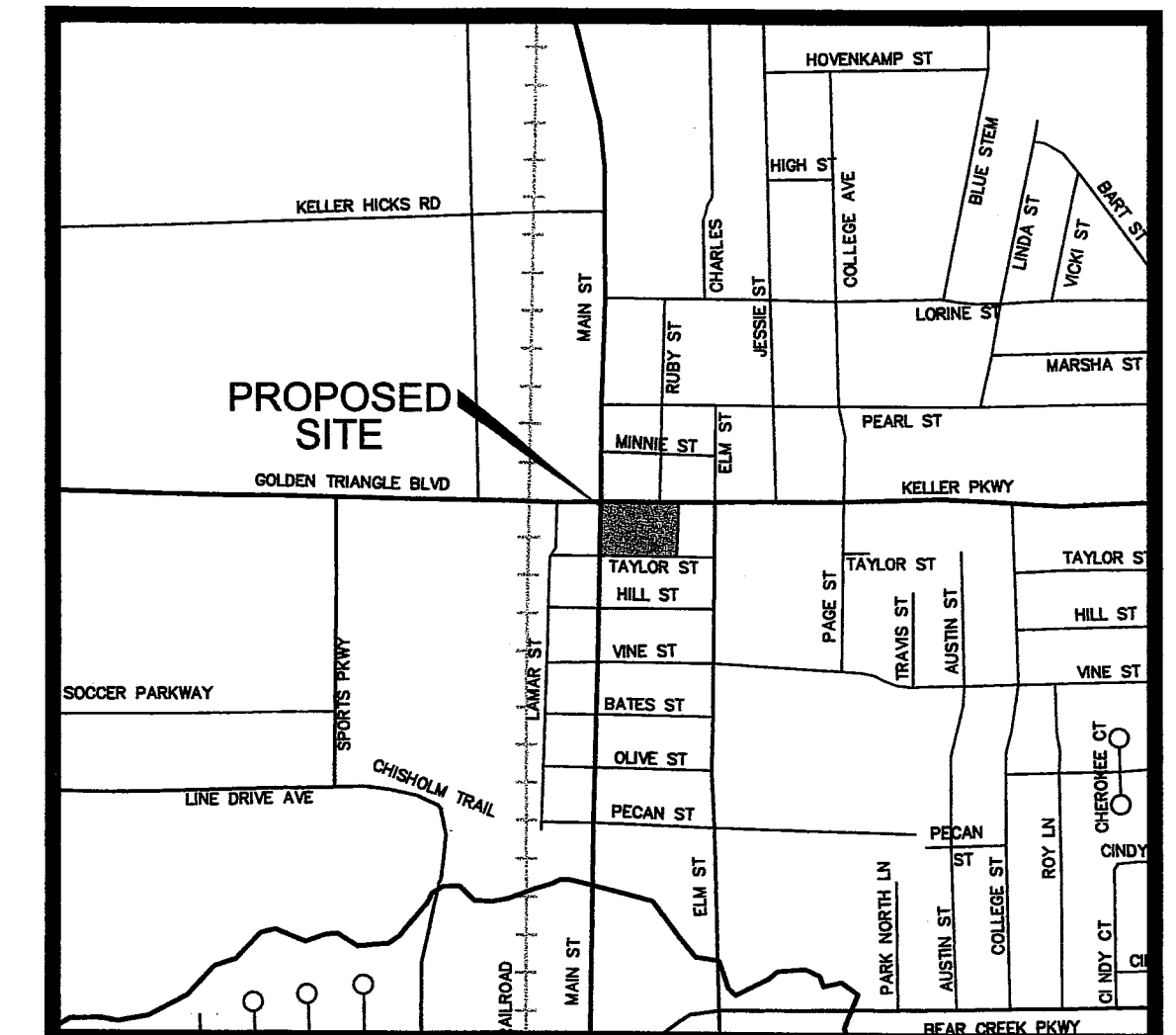
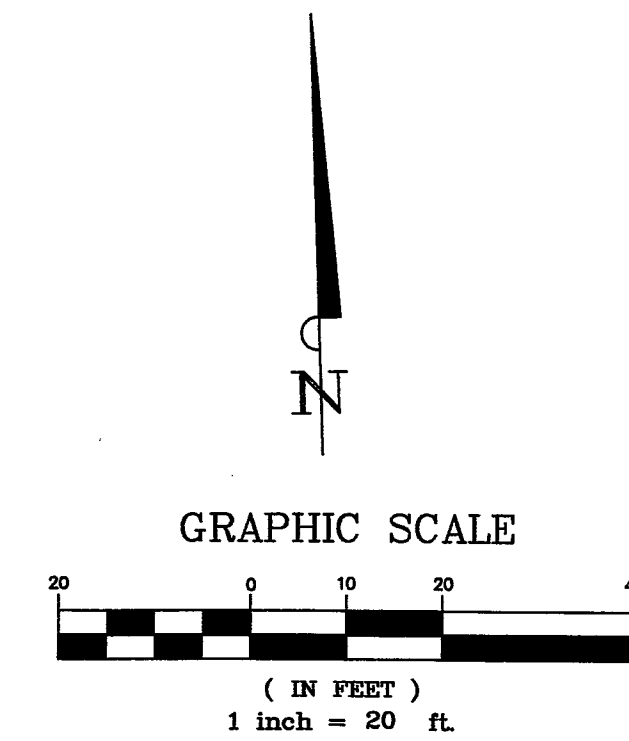


Kimley-Horn
and Associates, Inc.

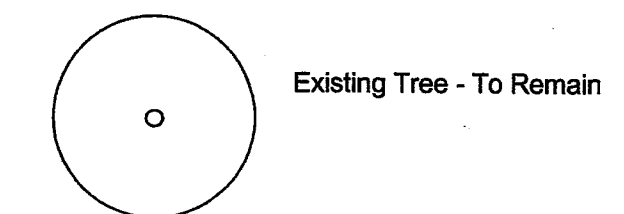
2301 Eagle Parkway, Suite 185
Fort Worth, Texas 76177

Tel. No. (682) 831-1000
Fax No. (682) 831-1003

REVISED: December 17, 2004



Legend



Protected Tree Specifications

Protected Tree	Caliper	Critical Root Zone
1 - Shumard Oak	31"	30'
2 - Pecan	22"	20'
3 - American Elm	21"	30'
4 - Pecan	6"	14.5'
5 - Pecan	7"	13.5'
6 - Pecan	9"	13.5'
7 - Pecan	8"	14.5'
8 - Pecan	8"	15'
9 - Pecan	9"	13'
10 - Pecan	6"	8'
11 - Mulberry	17"	17'
12 - Pecan	21"	20'
13 - American Elm	11"	18'
14 - American Elm	14"	28'
15 - American Elm	26"	29'
16 - American Elm	15"	21'
17 - American Elm	10"	21'
18 - American Elm	26"	23'
19 - Pecan	18"	21'
20 - Pecan	6"	12'
21 - Pecan	32"	32'
22 - Pear	7"	10'
23 - Shumard Oak	6"	11'

SITE PLAN
HIBERNIA NATIONAL BANK
LOT 1, BLOCK A
an addition to the City of Keller, Texas
BEING 1.3874 ACRES SITUATED IN THE
SAMUEL NEEDHAM SURVEY, ABSTRACT NO. 1171
CITY OF KELLER, TARRANT COUNTY, TEXAS
ZONED: "R" - RETAIL AND
O.T.K. (OLD TOWN KELLER OVERLAY)
JULY 23, 2004

TREE
SURVEY

Scale: AS SHOWN
Designed by: BUK
Drawn by: RCG
Checked by: JML
Date: DECEMBER 2004
Project No. 087244006

SHEET
SP-9
OF 9

HIBERNIA
NATIONAL BANK
MAIN STREET
KELLER, TEXAS

PRELIMINARY
FOR REVIEW ONLY
Not for construction, bidding,
or permit purposes.
Kimley-Horn
and Associates, Inc.
L.A. JEFFREY M. LINDER
LANDSCAPE ARCHITECTURAL CONSULTANTS
L.A. No. 2033, Date 12/17/04

Kimley-Horn
and Associates, Inc.
Tel. No. (817) 335-6511
Fax No. (817) 335-5070
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HIGHWAY 377 - MAIN STREET
(80' RIGHT-OF-WAY)

FM HWY. 1709 - KELLER PARKWAY
(130' RIGHT-OF-WAY)

TAYLOR STREET
(80' RIGHT-OF-WAY)

- NOTES:
- 1 - REFERENCE SHEET SP-6 FOR EXISTING TREE DETAILS
 - 2 - OWNER OF PROPERTY IS RESPONSIBLE FOR ALL MAINTENANCE OF LANDSCAPED AREAS. REF. UNIFIED DEVELOPMENT CODE, ARTICLE (8.07.D)
 - 3 - ALL LANDSCAPED AREAS WILL BE IRRIGATED AS PER THE DETAILED IRRIGATION PLANS SUBMITTED WITH THE CONSTRUCTION PLANS.
 - 4 - BENCH AND TRASHCAN TO MATCH EXISTING BENCHES AND CANS INSTALLED UNDER 'OLD TOWN KELLER - MAIN STREET SUBDISTRICT' GUIDELINES. REF. UNIFIED DEVELOPMENT CODE, ARTICLE (8.04.C.4.b.4)
 - 5 - CANOPY TREES PROVIDED BY 5 NEW AND 3 PRESERVED EXISTING CANOPY TREES. ORNAMENTAL TREES PROVIDED BY 9 NEW AND 2 PRESERVED EXISTING ORNAMENTAL TREES.
 - 6 - PER TxDOT REVIEW, TREES MAY NOT BE PLANTED BETWEEN BOC AND SIDEWALK. HEAVY PLANTING ALONG US 377(MAIN STREET) IS INTENDED TO COMPENSATE.

Landscape Tabulations:

Street Tree Requirements:

-FM 1709 :	Canopy Trees Required: 8 Canopy Trees Provided: 8 Ornamental Trees Required: 11 Ornamental Trees Provided: 11 *See Note 5
-US 377(Main Street) :	Canopy Trees Required: 7 Canopy Trees Provided: 5 Ornamental Trees Required: 7 Ornamental Trees Provided: 8 *See Note 6
-Taylor St. :	Canopy Trees Required: 10 Canopy Trees Provided: 12

Interior Landscape Requirements:

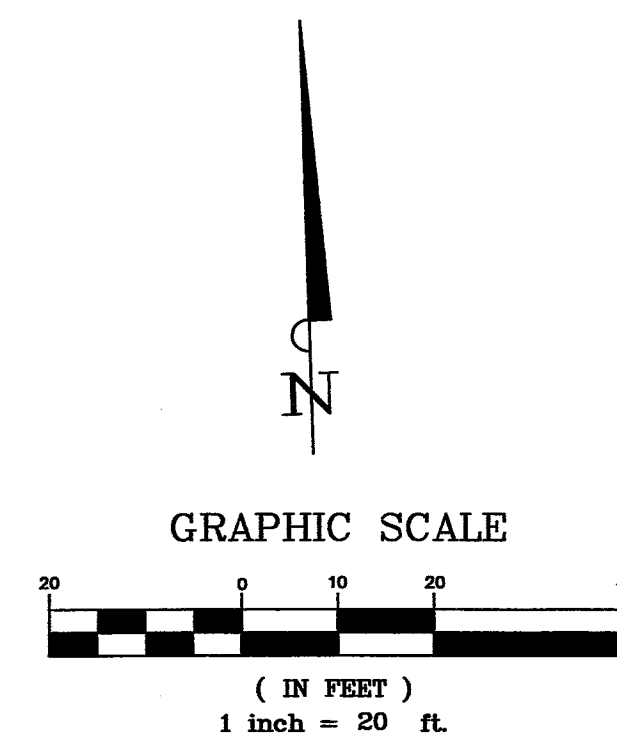
Required: 5' Wide Foundation Planting Area
Provided: Varying Width Foundation Planting Area (7' min.)

Parking Lot Requirements:

Screen Requirement:	100% Screening From Adj. Streets
Screen Provided:	Shrub Screen 3' high @ 30" O.C.
Required Landscape Area:	5,500 sf
Provided Landscape Area:	14,640 sf
Required Trees:	11
Provided Trees:	12

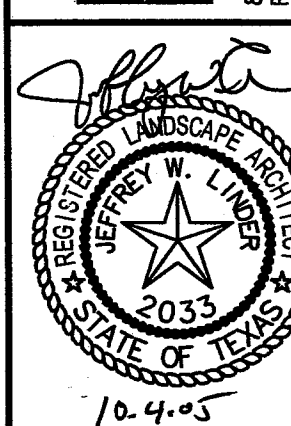
Tree Mitigation Requirements:

Non-Exempt Protected Trees (in caliper inches):	283"
Total Protected:	237"
Total Allowed Removal (20% of total):	56.6"
Total Removed:	46"



No.	Date	Revisions	App.
1	10/2/05	REMOVED EXISTING TREE (4) AND REVISED SCREENING DUE TO REDUCED LOT WIDTH	JWL

**Kimley-Horn
and Associates, Inc.**
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300 Cherry Street, Suite 1025, Unit 11
Fort Worth, Texas 76102



**HIBERNIA
NATIONAL BANK
MAIN STREET
KELLER, TEXAS**

**LANDSCAPE
PLAN**

LANDSCAPE PLAN
SUPERCEDED BY AMENDED SP
SP-10-0010+ RESOLUTION NO. 3013

The SITE PLAN shall NOT be
modified without the approval of
the Community Development
Department.

APPROVED BY COMMUNITY
DEVELOPMENT DEPARTMENT

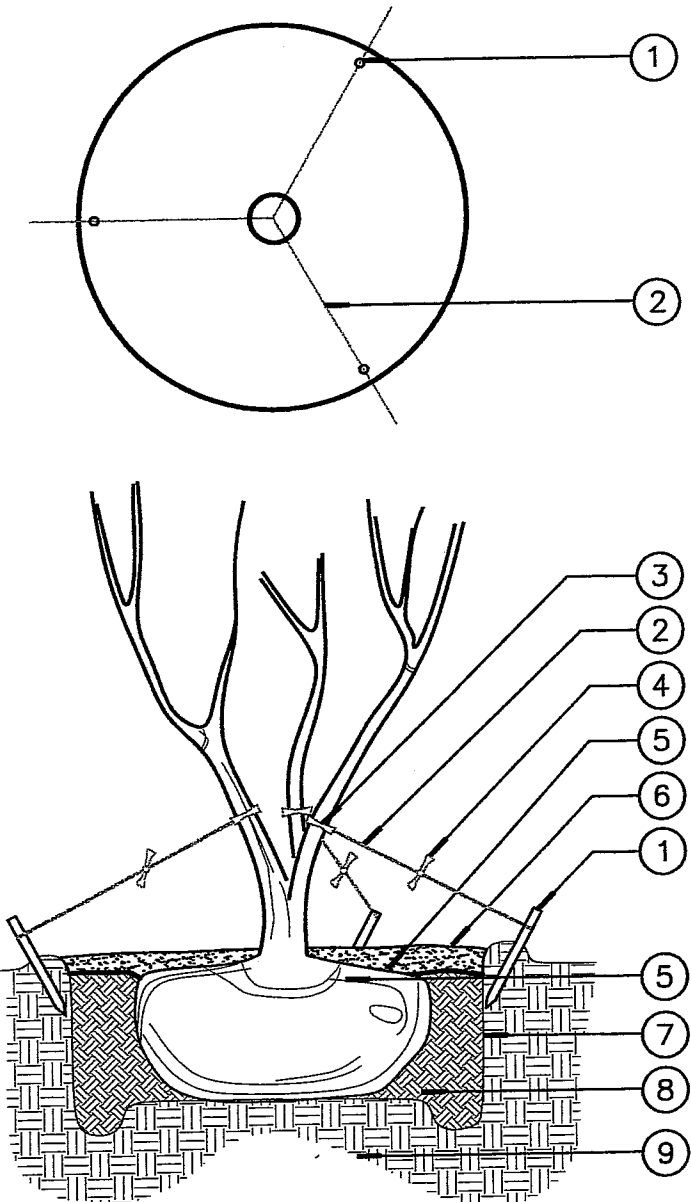
Date 10-12-05
Approved By *Richard E. Luedke*

Scale: AS SHOWN
Designed by: JAF
Drawn by: JAF
Checked by: JWL
Date: OCTOBER 2005
Project No. 067244006

SHEET
L-1
OF

LANDSCAPE NOTES

- 1. Plant material shall comply with all sizing and grading standards of the latest edition of 'American Standard for Nursery Stock.'
- 2. Contractor shall stake out tree locations and bed configuration for approval by owner prior to installation.
- 3. It is the responsibility of the contractor to advise the owner's representative of any condition found on site which prohibits installation as shown on these plans.
- 4. In the event of a discrepancy between drawings and plant schedule, the drawings shall prevail.
- 5. Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.
- 6. No substitutions shall be made without written authorization from the project Landscape Architect or the Owner.
- 7. Plant bed preparation procedure shall be to add 3" of compost and 20 pounds of organic fertilizer (Greensense, Systane or equal) per 1,000 square feet (of bed) to entire bed. Bed should be tilled to a minimum depth of 6"-8".
- 8. Existing soil shall be reasonably free of stones, lumps of clay, roots and other foreign matter. Acidity to be between 5.0 and 7.0 pH.
- 9. If rocks are encountered, remove to a depth of 4" and add 4" of friable fertile topsoil to all sodded areas. Grade according to Engineer's grading plan.
- 10. Lawn areas shall have 4" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.
- 11. All plant beds shall be top dressed with a minimum 2" of shredded hardwood mulch.
- 12. Provide steel edge between all plant beds and lawn areas unless indicated differently on plans.
- 13. All disturbed areas not indicated as planting beds shall be seeded by Contractor to provide an established turf area.
- 14. Tree planting pits shall be backfilled with top soil, and cleared of all rocks, lumps of clay and other foreign material. Place 1" of compost and 3" of mulch on top of root ball.
- 15. Methods of tree staking indicated on the drawings are for suggestion only. The landscape contractor shall use whatever method he/she deems fit, however, he/she will be held liable for any damage caused to trees due to improper staking methods (including absence of staking), and will be responsible for adjusting and/or replanting trees which are not held upright during the warranty period.
- 16. Trees shall be planted at least 4 feet from any right-of-way line, curb, walk or fire hydrant, and outside all utility easements.
- 17. Trees shall be planted at least 8 feet from any public utility line.
- 18. Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.
- 19. Trees planted on slopes shall be placed in planting pits of adequate depth such that the soil stain at the base of the trunk matches that of the average grade or slope.
- 20. During the warranty period The owner, tenant, and/or their agent (if any) shall be jointly responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. The work shall include - but not be limited to - mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to the maintenance of landscaping. All plant materials shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant material that is damaged, destroyed, removed, or showing more than 40% defoliation, shall be replaced with plant material of similar size and variety within thirty (30) days.
- 21. Contractor shall warranty plant material to remain alive and healthy for a period of one year after the final acceptance. Warranty shall not include damage for loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
- 22. Landscape areas shall be kept free of trash, litter and weeds.
- 23. The property owner is responsible for regular weeding, mowing, irrigation, fertilizing, pruning and other maintenance of all plantings. The required landscaping must be maintained in a healthy, growing condition at all times.
- 24. All landscaped areas must be maintained in a living state and in a neat and orderly manner in accordance with the landscape plan approved by the City Plan Commission.
- 25. All landscaped areas must be irrigated by an automatic underground irrigations system, equipped with rain and freeze sensors.

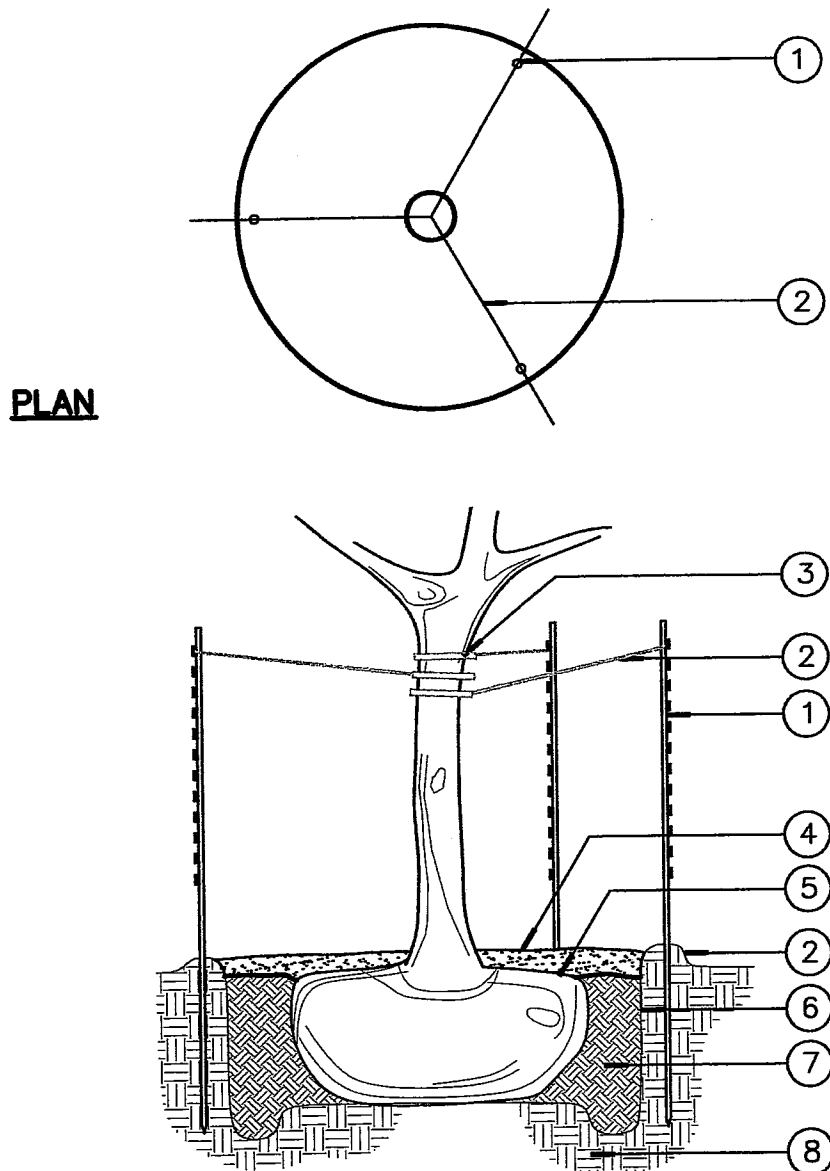


- 1 2"x2"x24" WOOD STAKE, 3 PER TREE, SPACED EQUALLY, MATERIAL PER SPECIFICATIONS.
- 2 GALVANIZED GUY WIRE, ADD TURNBUCKLES IF NECESSARY TO STABILIZE TREE
- 3 RUBBER CHAFING GUARD
- 4 WARNING FLAGS
- 5 ROOT BALL: REMOVE BURLAP, BURLAP TIES, AND WIRE BASKET FROM TOP 1/3 OF ROOTBALL. REMOVE ALL NYLON STRINGS, PLASTIC LINERS, AND OTHER SYNTHETIC MATERIALS FROM THE ENTIRE ROOTBALL.
- 6 1" COMPOST & 3" MULCH PER SPECIFICATIONS
- 7 PLANTING PIT EXCAVATED TWO TO THREE TIMES WIDTH OF ROOTBALL. PIT DEPTH AS NEEDED TO SET ROOTBALL COLLAR AT PROPOSED FINISHED GRADE. PLACE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL.
- 8 BACKFILL PIT WITH NATIVE SOIL
- 9 UNDISTURBED EARTH

SECTION

A MULTI-TRUNK TREE PLANTING

N.T.S.

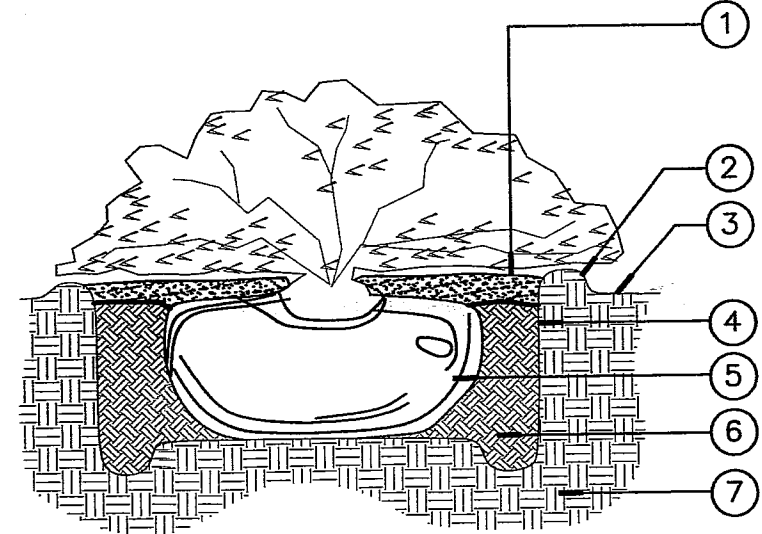


- 1 2"x2"x8" STEEL FENCE "1" POST, 3 PER TREE, SPACED EQUALLY, MATERIAL PER SPECIFICATIONS.
- 2 GALVANIZED GUY WIRE, ADD TURNBUCKLES IF NECESSARY TO STABILIZE TREE
- 3 RUBBER CHAFING GUARD
- 4 1" COMPOST & 3" MULCH PER SPECIFICATIONS
- 5 ROOT BALL: REMOVE BURLAP, BURLAP TIES, AND WIRE BASKET FROM TOP 1/3 OF ROOTBALL. REMOVE ALL NYLON STRINGS, PLASTIC LINERS, AND OTHER SYNTHETIC MATERIALS FROM THE ENTIRE ROOTBALL.
- 6 PLANTING PIT EXCAVATED TWO TO THREE TIMES WIDTH OF ROOTBALL. PIT DEPTH AS NEEDED TO SET ROOTBALL COLLAR AT PROPOSED FINISHED GRADE. PLACE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL.
- 7 BACKFILL PIT WITH NATIVE SOIL
- 8 UNDISTURBED EARTH

SECTION

B TREE PLANTING

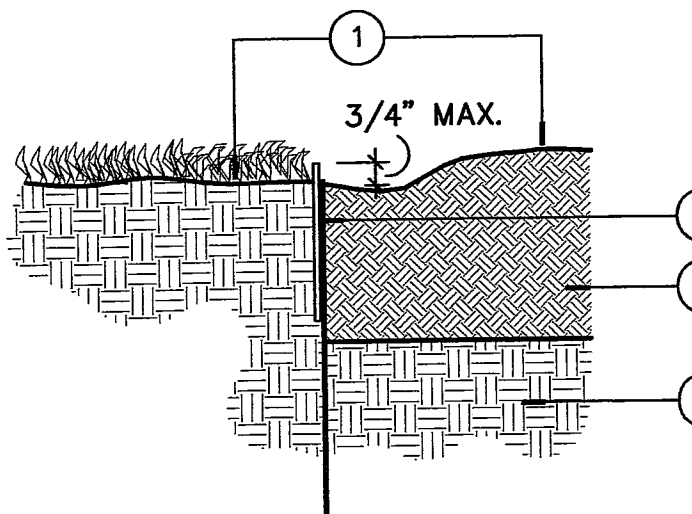
N.T.S.



- 1 2" MULCH LAYER. REF: SPECS.
- 2 3" HIGH EARTH SAUCER
- 3 "SHOVEL EDGE" (TYP.) WHERE BEDS MEET LAWN. REF: E/ THIS SHEET.
- 4 PLANTING PIT: EXCAVATE TO TWO TO THREE TIMES WIDTH OF ROOTBALL, W/ PIT DEPTH AS NEEDED TO SET ROOTBALL @ PROPOSED FINISHED GRADE. PLACE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL. SCARIFY SIDES OF PIT. PROVIDE CONTINUOUS PIT FOR MASSED BED PLANTINGS.
- 5 ROOT BALL: REMOVE FROM CONTAINER. GENTLY SCARIFY GIRDLED ROOTS AS NEEDED. REMOVE ALL TAGS & TWINE.
- 6 PIT BACKFILL W/ PREPARED SOIL BED MIX PER NOTES AND/OR SPECS. PROVIDE CONTINUOUS SOIL BED MIX IN MASS PLANTINGS.
- 7 UNDISTURBED EARTH

C SHRUB PLANTING

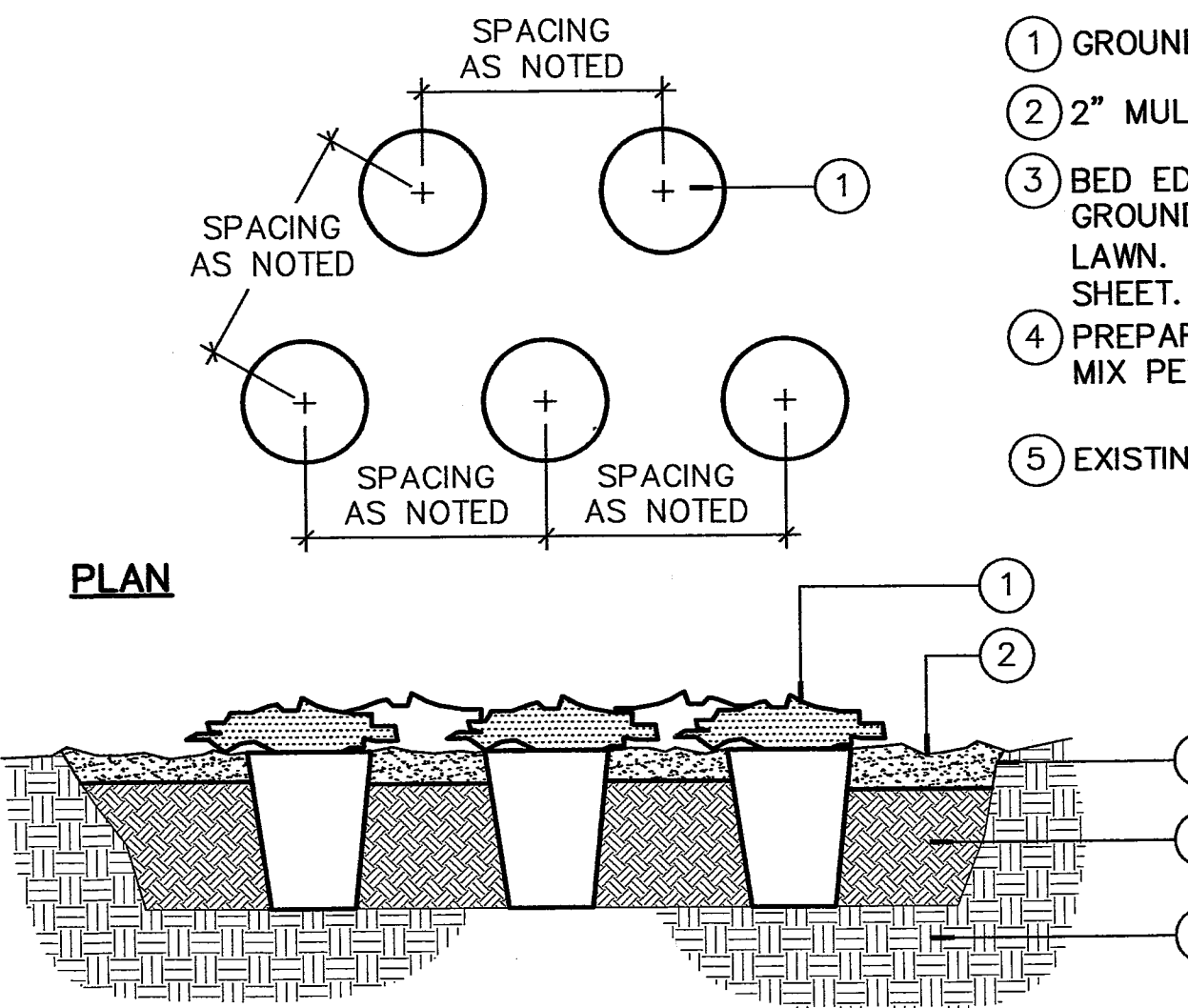
N.T.S.



- 1 DIFFERENT PLANTING TREATMENTS.
- 2 STEEL EDGING
- 3 AMENDED BED SOIL. 6" MINIMUM DEPTH - REF: NOTES FOR MIX. & DEPTH.
- 4 NATIVE SOIL

D STEEL EDGING

N.T.S.



- 1 GROUNDCOVER
- 2 2" MULCH LAYER
- 3 BED EDGE WHERE GROUNDCOVER MEETS LAWN. REF: E/ THIS SHEET.
- 4 PREPARED BED SOIL MIX PER NOTES.
- 5 EXISTING SUBGRADE

SECTION

E GROUNDCOVER / ANNUAL PLANTING

N.T.S.

PLANT LIST

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATION
TREES				
7	QS	Quercus shumardii	Shumard Oak	4" cal., 8-10' ht. container grown
5	PC	Pistacia chinensis	Chinese Pistache	25 gal., 7' min. ht.
8	TD	Taxodium distichum	Bald Cypress	25 gal., 7' min. ht.
10	IV	Ilex vomitoria	Yaupon Holly	Multi-trunk, min. 3 stems, 10-12' ht., 65 gal. container
19	LI	Lagerstroemia indica	Crepe Myrtle	Multi-trunk, min. 3 stems, 10-12' ht., 65 gal. container 'White Flora' only
SHRUBS				
192	RI	Raphiolepis indica	Indian Hawthorne	5 gal., 3' o.c. 24-30" ht., full
82	PCH	Pennisetum alopecuroides 'Hamlen'	'Hamlen' Fountain Grass	5 gal. min., 30" o.c.
GROUNDCOVER				
735	LM	Liriope muscari	Liriope	1 gal., 18" o.c.
5,335	TA	Trachelospermum asiaticum	Asian Jasmine	4" min. pot, 12" o.c.
555	CL	Coreopsis lanceolata	Lanceleaf Coreopsis	4" min. pot, 12" o.c.
990	VB	Verbena bipinnatifida	Prarie Verbena	4" min. pot, 12" o.c.
110	AN	Annuals	Annuals	4" min. pot, 8" o.c.
PER PLAN	LAWN	Cynodon dactylon	Common Bermuda	Sod or seed (2 lbs per 1,000 sf, seed)

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APPROVED BY COMMUNITY DEVELOPMENT DEPARTMENT

Date 10-12-05
Approved By Richard E. Luedke