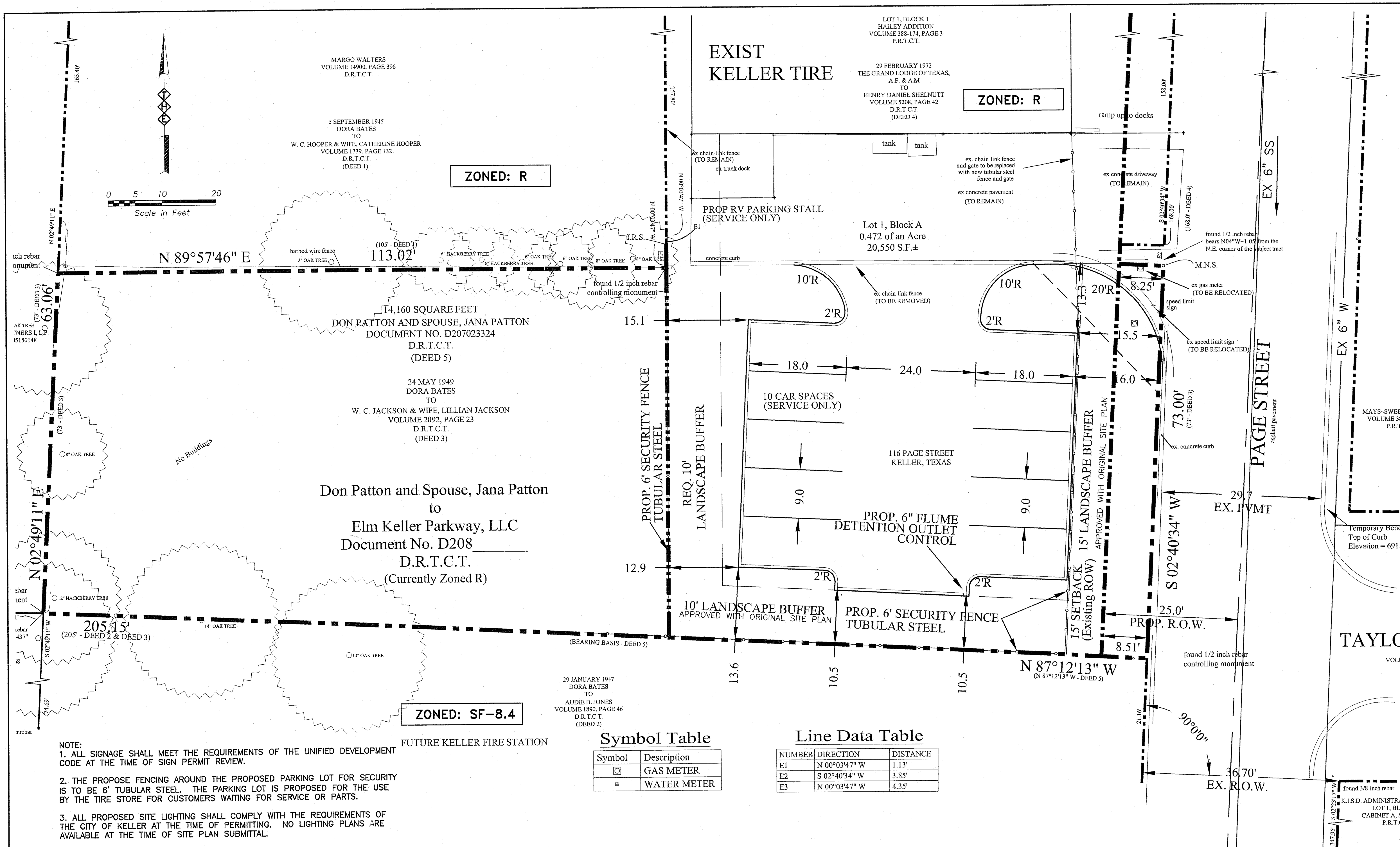
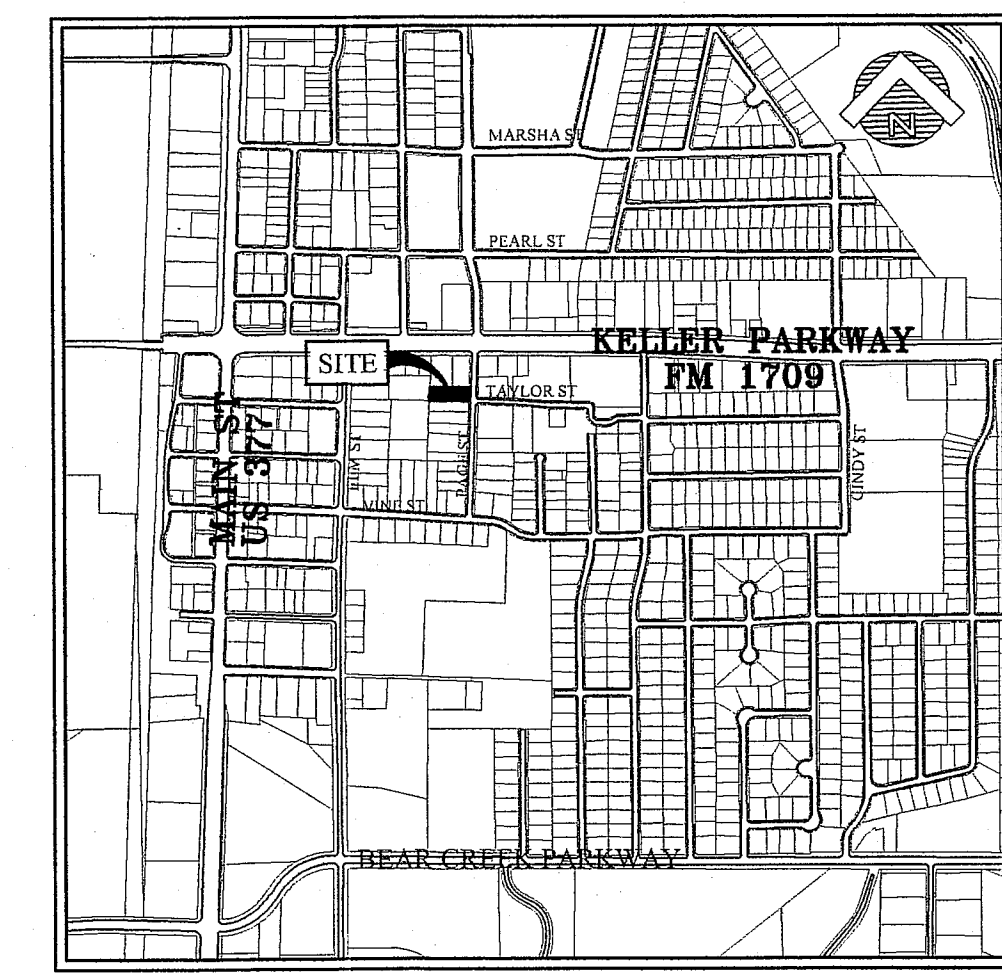




No.	REVISIONS/ SUBMISSIONS	Date



VICINITY MAP
SCALE: 1"=1000'

MAY'S-SWEET ADDITION
VOLUME 388, PAGE 29
P.R.T.C.T.

TAYLOR STREET
VOLUME 388, PAGE 29
P.R.T.C.T.

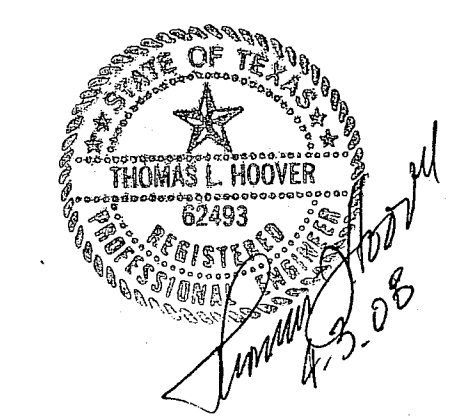
APPROVED BY COMMUNITY DEVELOPMENT DEPARTMENT
Date 04/14/08
Approved By Richard E. Luedke

THOMAS HOOVER ENGINEERING, LLC
1361 W. EULESS BLVD, SUITE 99
EULESS, TEXAS 76040
(817) 571-7574 PH. (817) 571-7564 FAX

KELLER TIRE PARKING LOT EXPANSION
116 PAGE STREET/248 KELLER PKWY

REPLAT OF LOT 1, BLOCK 1 HAILEY ADDN
AND A 14,600 SF TRACT
BEING LOT 1, BLOCK A PATTON ADDITION
0.472 ACRES/ 20,550 S.F.
IN THE CITY OF KELLER,
TARRANT COUNTY, TEXAS.
CURRENT ZONING - "R" RETAIL

SITE PLAN			
DESIGNED	TLH	SCALE	1"=10'
DRAWN	SDS	PROJECT NO.	
CHECKED	TLH	DATE	04-02-08
SHEET			SP-1



PREPARER/ENGINEER
THOMAS HOOVER ENGINEERING, LLC
1361 W. EULESS BLVD, SUITE 99
EULESS, TX 76040
817/571-7574
817/571-7564 FAX
CONTACT: TOM HOOVER

OWNER/APPLICANT
KELLER TIRE
248 KELLER PARKWAY
KELLER, TX 76248
817/431-9332
817/571-7564 FAX
CONTACT: DON PATTON

- NOTE:**
1. ALL SIGNAGE SHALL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE AT THE TIME OF SIGN PERMIT REVIEW.
 2. THE PROPOSED FENCING AROUND THE PROPOSED PARKING LOT FOR SECURITY IS TO BE 6" TUBULAR STEEL. THE PARKING LOT IS PROPOSED FOR THE USE BY THE TIRE STORE FOR CUSTOMERS WAITING FOR SERVICE OR PARTS.
 3. ALL PROPOSED SITE LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF KELLER AT THE TIME OF PERMITTING. NO LIGHTING PLANS ARE AVAILABLE AT THE TIME OF SITE PLAN SUBMITTAL.
 4. A LIST OF CONDITIONS OF APPROVAL FROM RESOLUTION NO. 2642 APPLIES TO THIS SITE PLAN. THE VARIANCES ARE AS FOLLOWS:

A) THE VARIANCE REQUEST TO REDUCE THE LANDSCAPE BUFFER ALONG PAGE STREET FROM FIFTEEN FEET (15') TO SIX FEET SIX INCHES (6'-6") SHALL BE ALLOWED.

B) THE VARIANCE REQUEST TO REDUCE THE REAR LANDSCAPE BUFFER ALONG THE SOUTH PROPERTY LINE FROM TWENTY-FIVE FEET (25') TO TEN FEET (10') SHALL BE ALLOWED.

C) THE VARIANCE REQUEST TO DELETE THE REQUIRED MASONRY SCREENING ALONG THE SOUTH PROPERTY LINE SHALL BE ALLOWED.
 5. PUBLIC WORKS HAS ONLY REVIEWED THIS SITE PLAN FOR LAYOUT PURPOSES. ALL TECHNICAL AND DESIGN INFORMATION SHALL BE REVIEWED WITH THE BUILDING PERMIT. ANY CHANGES TO THE SITE PLAN DUE TO THE TECHNICAL REVIEW OF THE CONSTRUCTION PLANS SHALL BE THE COST AND RESPONSIBILITY OF THE DEVELOPER.

FUTURE KELLER FIRE STATION

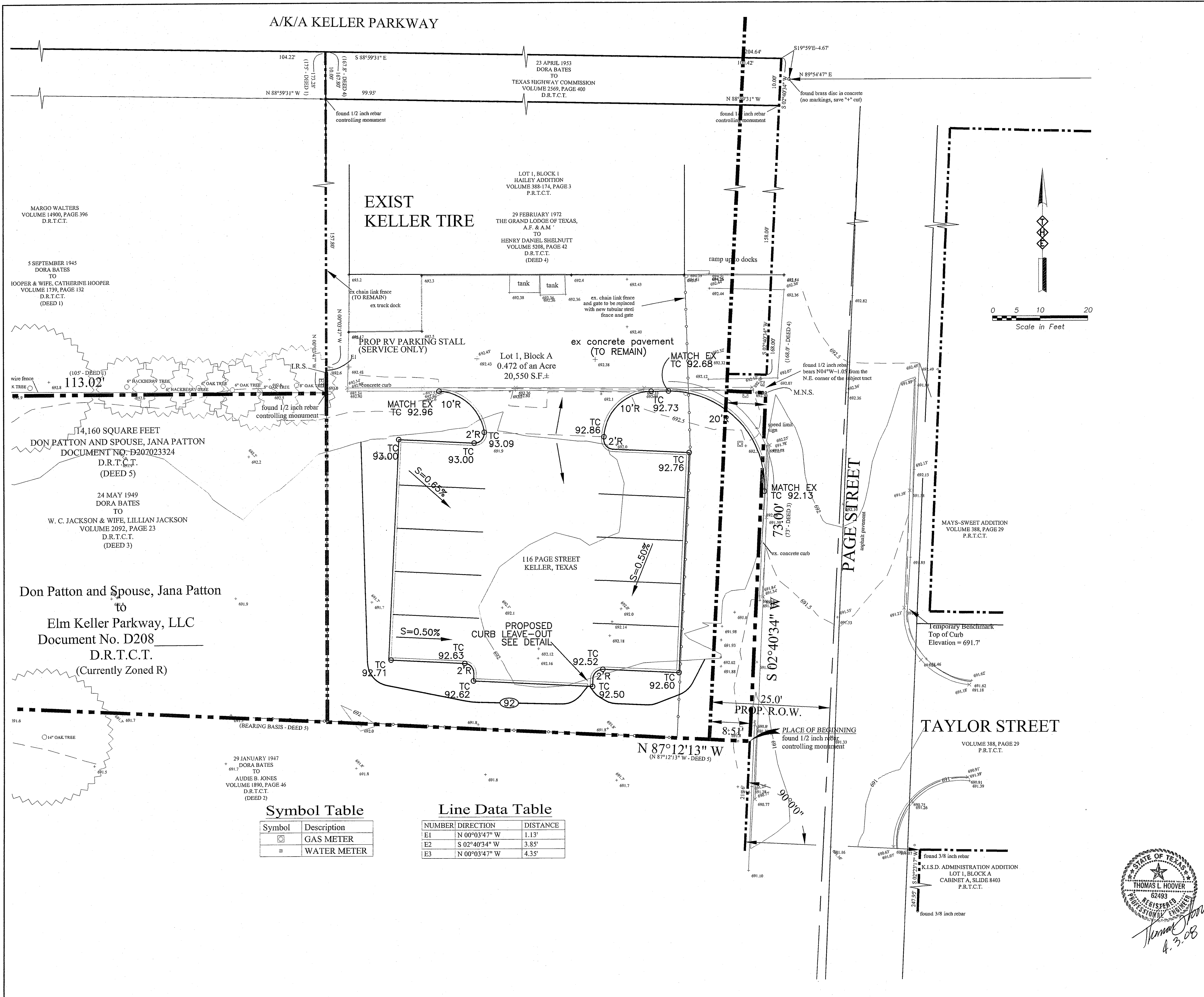
Symbol Table

Symbol	Description
☐	GAS METER
■	WATER METER

Line Data Table

NUMBER	DIRECTION	DISTANCE
E1	N 00°03'47" W	1.13'
E2	S 02°40'34" W	3.85'
E3	N 00°03'47" W	4.35'

SITE DATA SUMMARY TABLE	
	SITE PLAN FOR KELLER TIRE
CURRENT ZONING	R - RETAIL
PROPOSED USE	PARKING LOT
TRACT AREA	20,550 SF/ 0.472 ACRES
BUILDING SQUARE FOOTAGE	0 SF
PARKING REQUIRED	0
PARKING PROVIDED	10



No.	REVISIONS/ SUBMISSIONS	Date

LEGEND

- TG 572.90 PROPOSED GRADE ELEVATION
- TP 572.90 PROPOSED PAVEMENT ELEVATION
- TC 572.90 PROPOSED BACK OF CURB ELEVATION
- x 662.70 EXISTING GROUND ELEVATION
- DIRECTION OF RUNOFF FLOW
- 662 — EXISTING GRADE CONTOUR
- 62 — PROPOSED GRADE CONTOUR

CURB LEAVE-OUT
N.T.S.

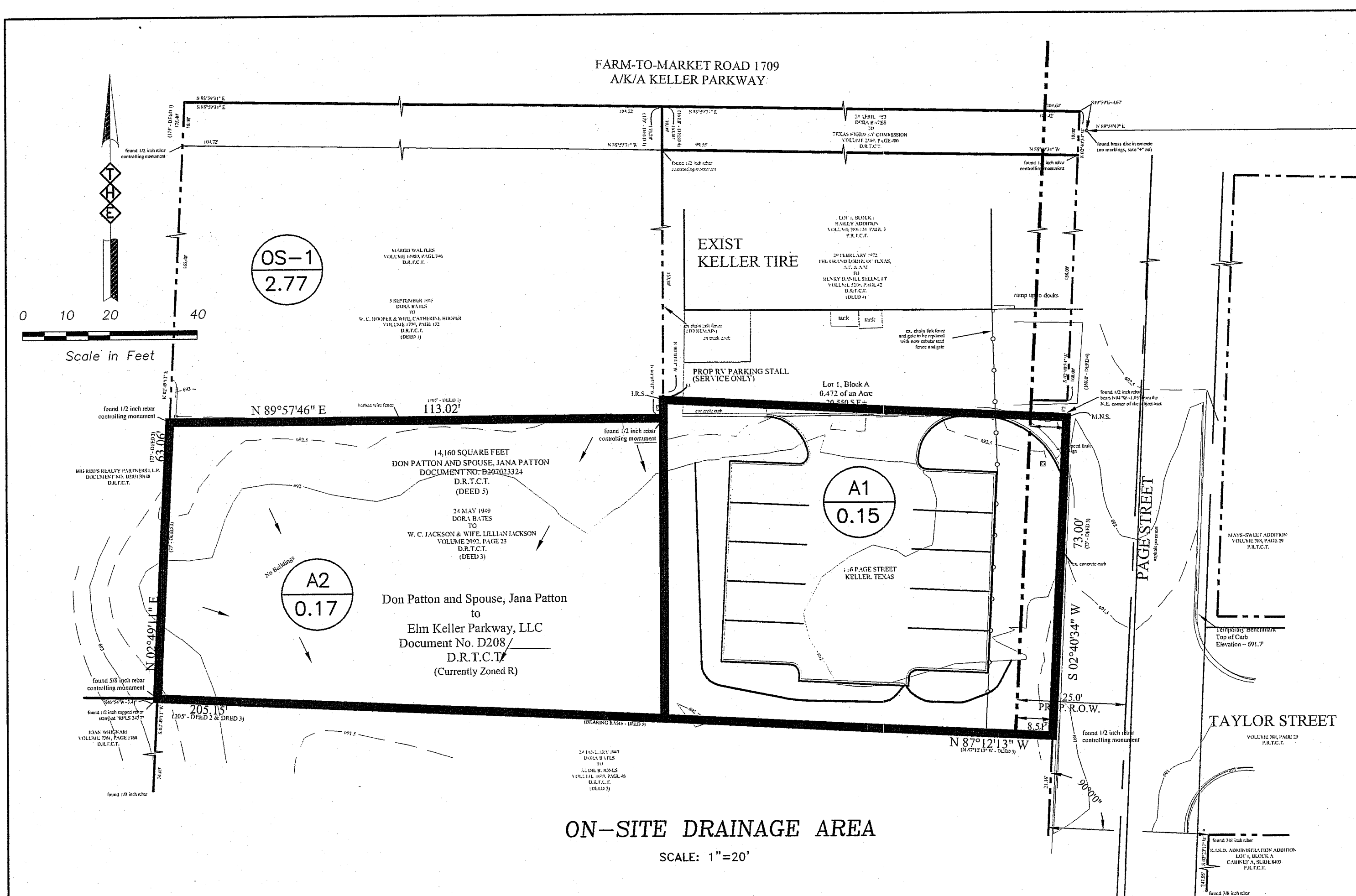
The SITE PLAN shall NOT be modified without the approval of the Community Development Department.

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REPLAT OF LOT 1, BLOCK 1 HAILEY ADDN
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CURRENT ZONING - "R" RETAIL

GRADING PLAN

DESIGNED TLH	SCALE 1"=10'	PROJECT NO.	SHEET SP-3 of
DRAWN SDS	DATE 04-02-08		
CHECKED TLH			



Ponding Elev	Ponding Depth	Surface Area	Average Area	Incr'l Volume	Cumul Volume	Provided Ac-Ft
93.0	1.00	2962	2962	741	2222	0.051
92.8	0.75	2962	2962	741	1481	0.034
92.5	0.50	2962	2222	555	741	0.017
92.3	0.25	1481	741	185	185	0.004
92.0	0.00	0	0	0	0	0.000

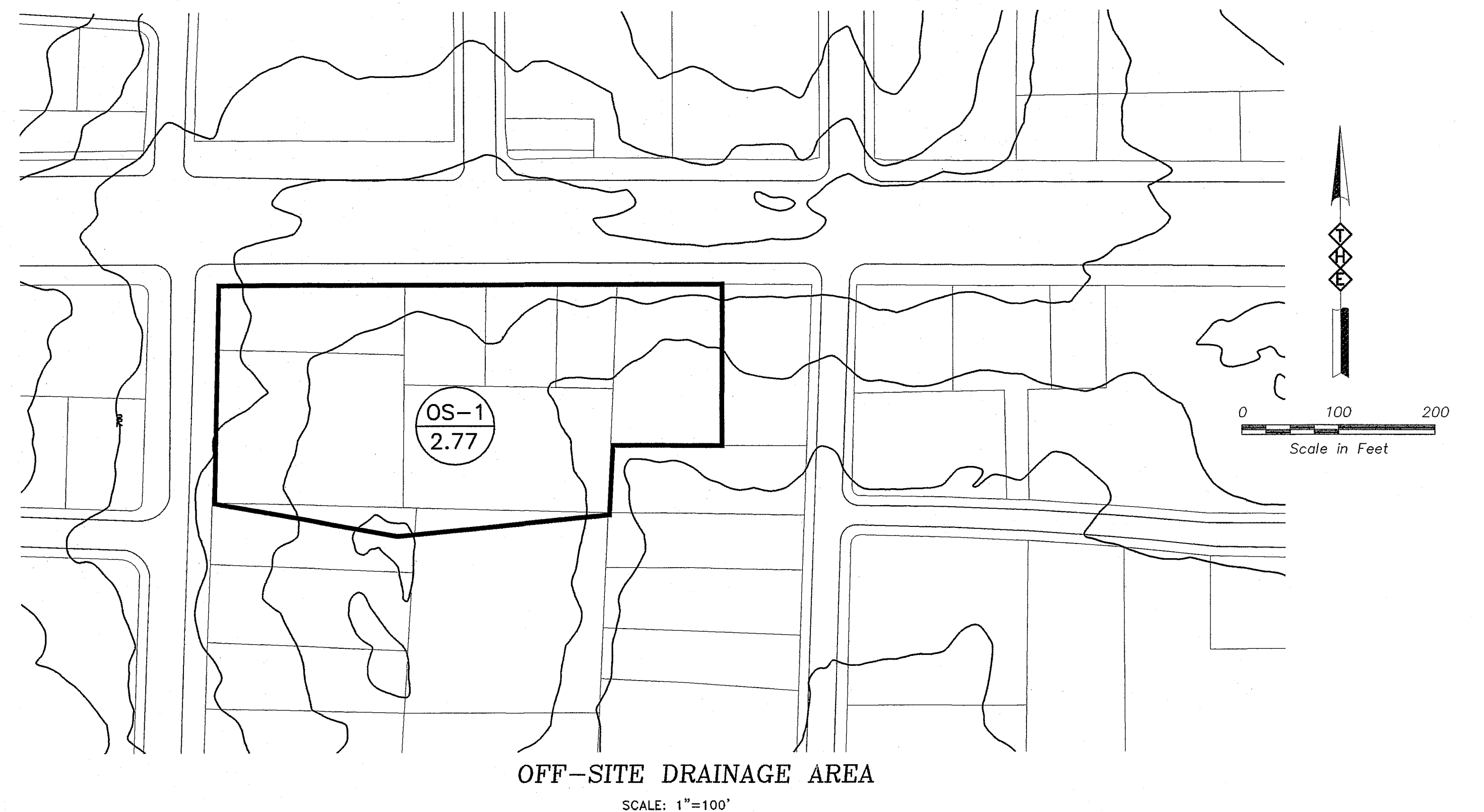
DRAINAGE AREA TABLE

Drainage Area	C	T _c	Design Frequency	I ₁₀	Q ₁₀	I ₁₀₀	Q ₁₀₀
No	Acres	(min)	(yr)	(in/hr)	(cfs)	(in/hr)	(cfs)
PRE-DEVELOPMENT							
A1	0.15	0.30	10	7.9	0.36	11.6	0.52
A2	0.17	0.30	10	7.9	0.41	11.6	0.60
OS-1	2.77	0.70	10	7.9	15.3	11.6	22.5
POST DEVELOPMENT							
A1	0.15	0.70	10	7.9	0.83	11.6	1.22
A2	0.17	0.30	10	7.9	0.41	11.6	0.60
OS-1	2.77	0.70	10	7.9	15.3	11.6	22.5

SHEET FLOW SOUTH OFF-SITE
SHEET FLOW SOUTH OFF-SITE
SHEET FLOW WEST OF PARKING LOT

DETENTION IN PARKING
NOT DEVELOPED THIS PHASE
SHEET FLOW WEST OF PARKING LOT

- NOTE:**
- FLOOD PROOFING OF THE NON-RESIDENTIAL STRUCTURE IS NOT REQUIRED.
 - $Q = 3.33 P Y^{1.5}$ (WEIR EQUATION) WAS USED TO DETERMINE THE WIDTH OF THE OUTLET FROM THE PARKING LOT. THE 0.51' WIDTH OF THE OUTLET WILL RELEASE 0.60 CFS AT A HEIGHT OF 0.50'. THE STORAGE AVAILABLE AT 6" EXCEEDS THE STORAGE REQUIRED.
 - CITY OF KELLER GIS INFORMATION WAS USED FOR THE OFF-SITE DRAINAGE AREA MAP.

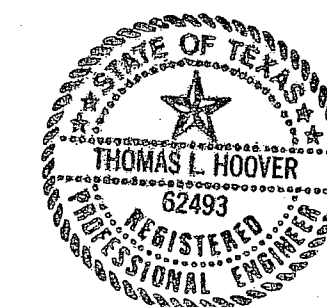


STORM (YR)	Required Storage (AC-FT)	PEAK RATE OF RUNOFF			MAX
		Pre-dev (CFS)	Bypass (CFS)	Inflow (CFS)	OUTFLOW (CFS)
100	0.015	0.5	0.0	1.2	0.5
50	0.014	0.5	0.0	1.1	0.5
25	0.012	0.4	0.0	1.0	0.4
10	0.010	0.4	0.0	0.8	0.4
5	0.008	0.3	0.0	0.7	0.3
2	0.006	0.2	0.0	0.6	0.2

The SITE PLAN shall NOT be modified without the approval of the Community Development Department.

LEGEND

- DIRECTION OF RUNOFF FLOW
- EXISTING GRADE CONTOUR
- PROPOSED GRADE CONTOUR
- DRAINAGE AREA DIVIDE
- DRAINAGE AREA NO.
- AMT. OF ACRES



I, **THOMAS L. HOOVER**, a licensed Professional Engineer in the State of Texas, have prepared this drainage study, drainage calculations and detailed drainage construction plans (the "Drainage Plans") based on verified topographic requirements and in compliance with the laws of the State of Texas, the Texas Water Code, the ordinances, requirements and criteria of the City of Keller, Texas (the "City"), and generally accepted engineering practices, and further certify that the Drainage Plans are acceptable to be released for construction. I further certify that the Drainage Plans were not prepared by the City.

Signed this 3 day of April, 2008.

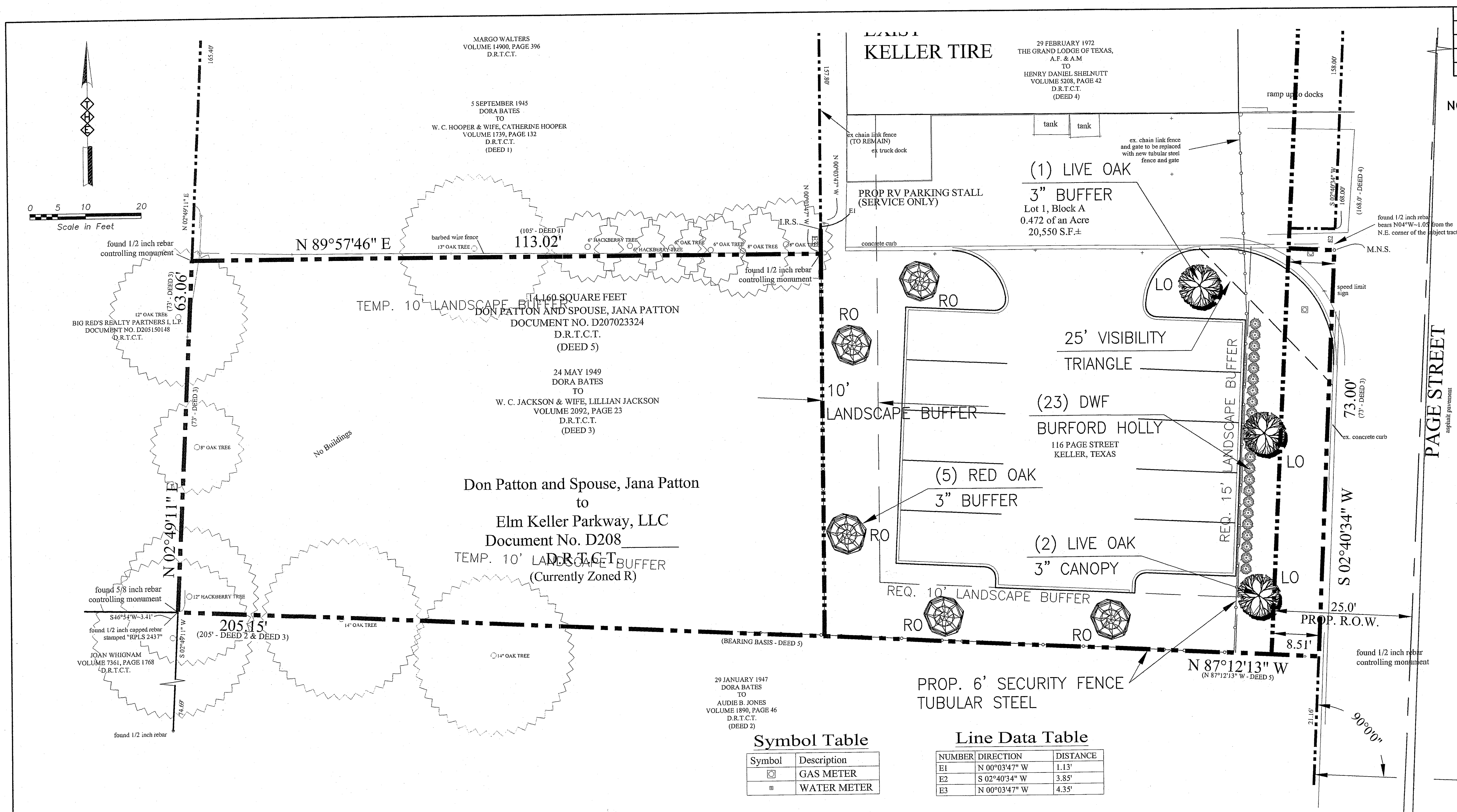
Thomas L. Hoover, P.E.

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DRAINAGE AREA MAP

DESIGNED	TLH	SCALE	1"=100'	PROJECT NO.	SHEET SP-4 of
DRAWN	SDS	DATE	04-02-08		
CHECKED	TLH				



- NOTE:**
1. DETAILED IRRIGATION AND LANDSCAPE PLANS FOR THIS PROJECT WILL BE SUBMITTED AT THE TIME OF BUILDING PERMIT APPLICATION.
 2. THE CANOPY TREES ALONG PAGE STREET SHALL BE A MINIMUM OF 3" CALIPER AND SPACED AT 30' ON CENTER.
 3. ALL OTHER BUFFER TREES SHALL BE A MINIMUM OF 3" CALIPER AND SPACED AS SHOWN BUT NOT TO EXCEED 30' ON CENTER.
 4. ALL LANDSCAPE AREAS SHALL BE IRRIGATED.
 5. ALL PLANT MATERIALS SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE CITY OF KELLER UNIFIED DEVELOPMENT CODE.

Symbol Table

Symbol	Description
	GAS METER
	WATER METER

Line Data Table

NUMBER	DIRECTION	DISTANCE
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LANDSCAPE PLAN

DESIGNED	TLH	SCALE	1"=10'	PROJECT NO.		SHEET	SP-5
DRAWN	SDS	DATE	04-02-08			of	
CHECKED	TLH						