

CONSTRUCTION DRAWINGS

MasterPlans
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JOHNSON WK SHOP
17-114

JOHNSON WORKSHOP
KELLER, TEXAS

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DATE REVISED: 9/5/18

DATE ISSUED: 2/5/18

DATE REVISED: 2/7/18

DATE REVISED: 2/8/18

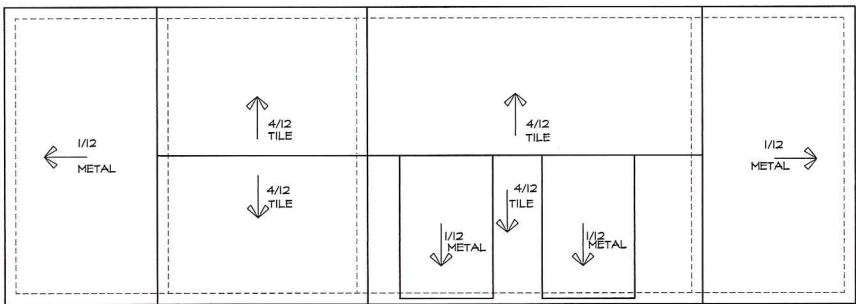
DATE REVISED: 2/19/18

DATE REVISED: 2/22/18

DATE REVISED: 3/5/18

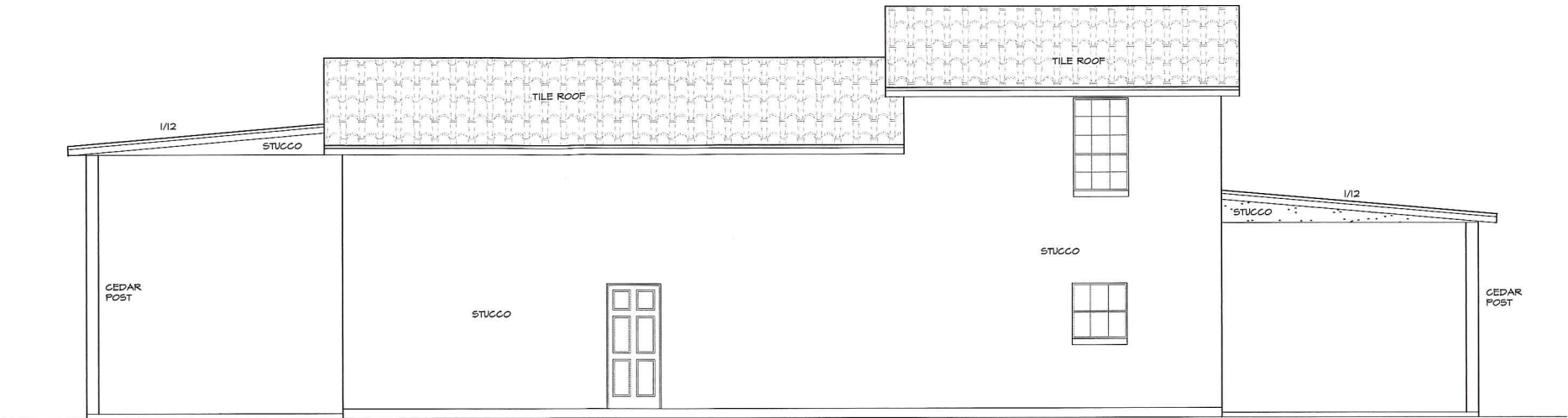
DATE REVISED: 3/8/18

DATE REVISED: 5/4/18



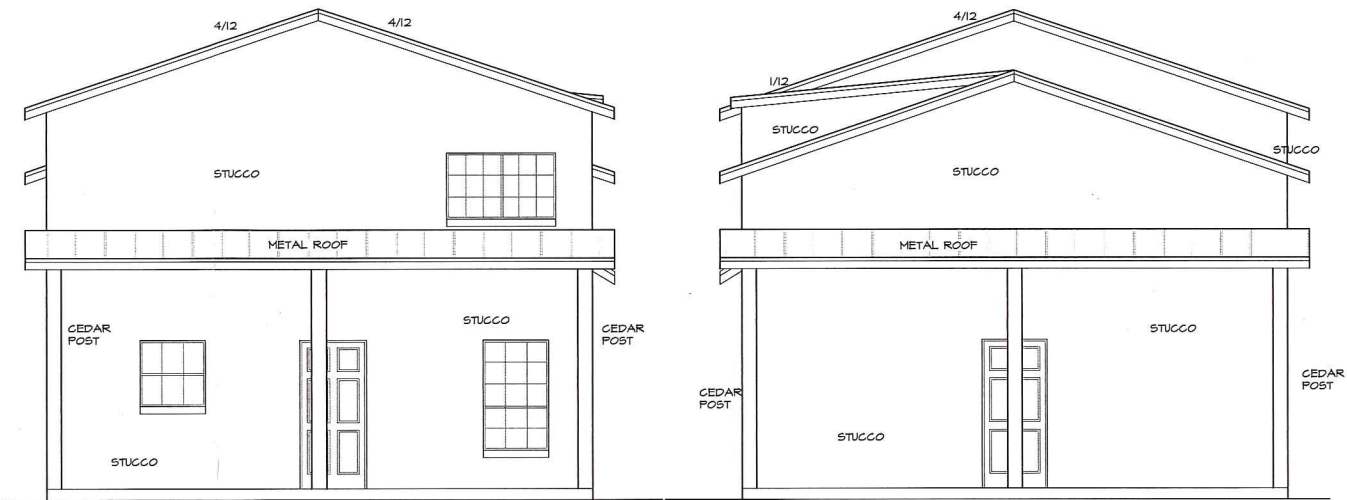
ROOF PLAN

SCALE 1/8" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"

RIGHT ELEVATION

SCALE 1/4" = 1'-0"



FRONT ELEVATION

SCALE 1/4" = 1'-0"

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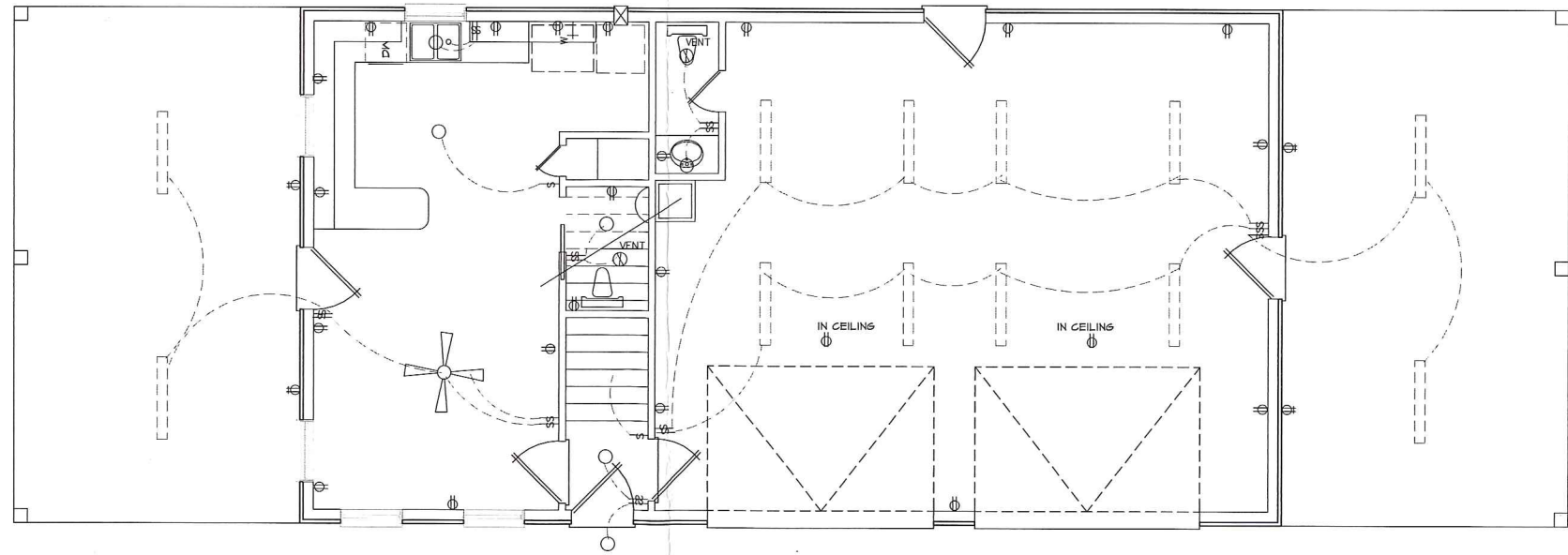
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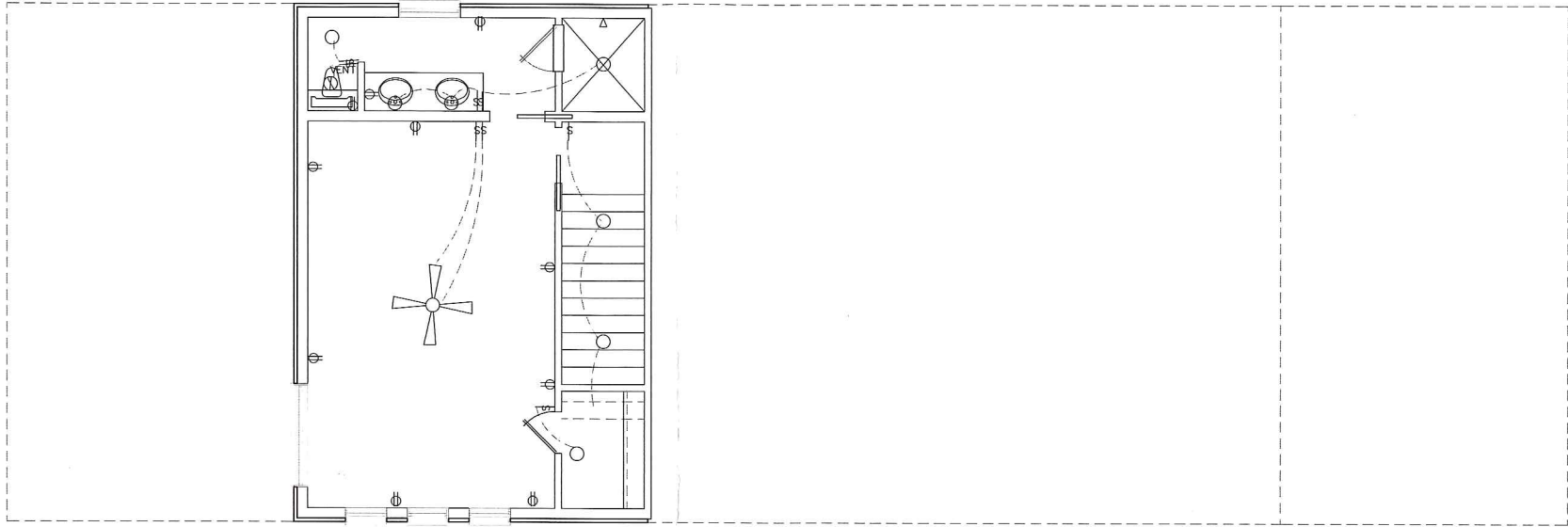
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FIRST FLOOR ELECTRICAL

SCALE 1/4" = 1'-0"



SECOND FLOOR ELECTRICAL

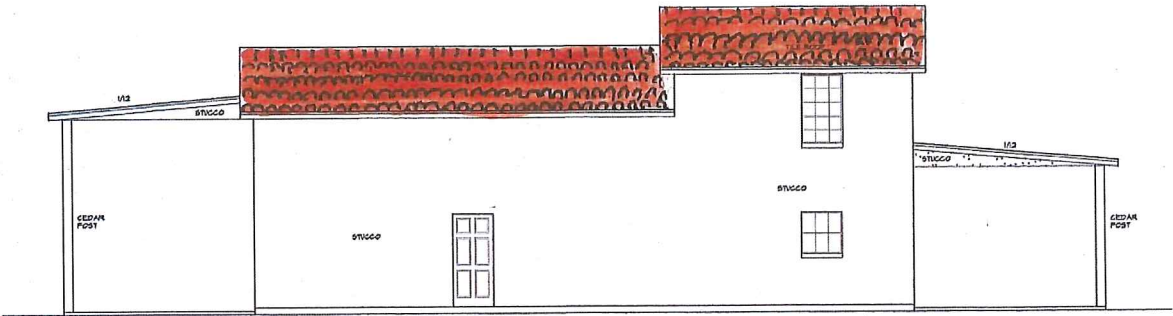
SCALE 1/4" = 1'-0"

CONSTRUCTION DRAWINGS

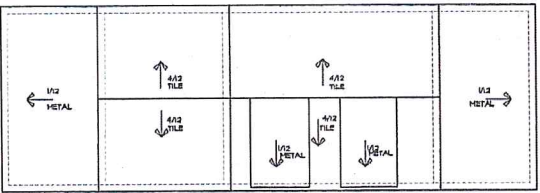
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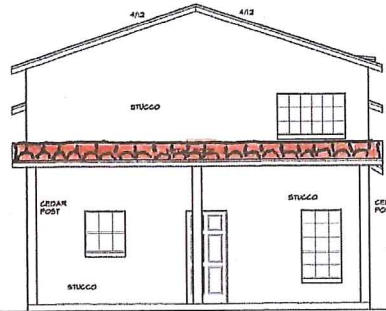
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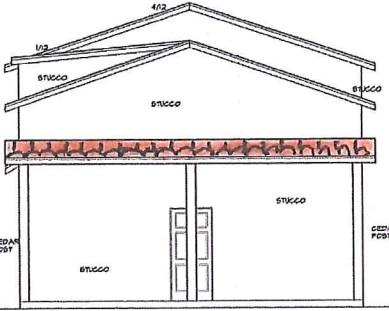
REAR ELEVATION
SCALE 1/4" = 1'-0"



ROOF PLAN
SCALE 1/8" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"

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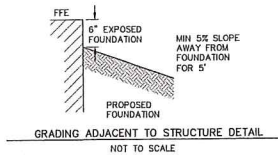
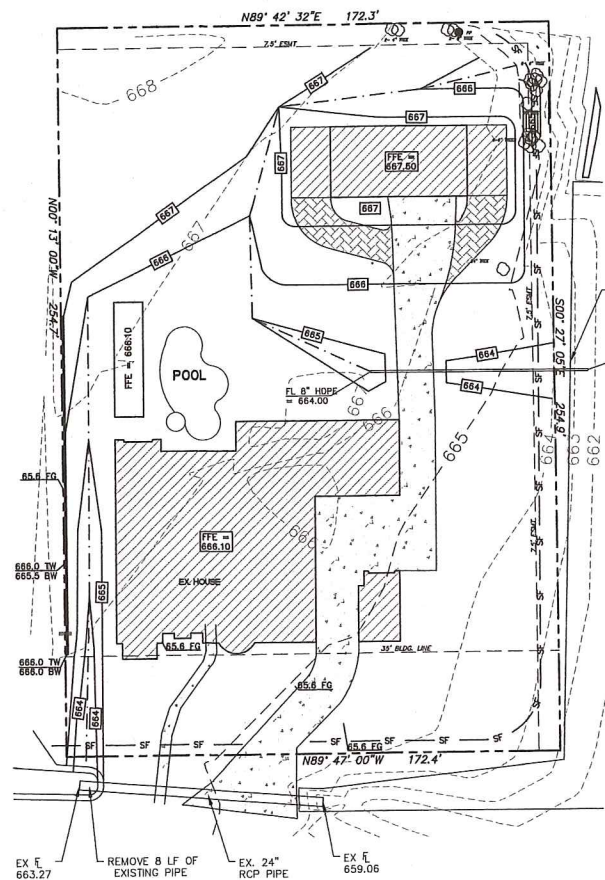
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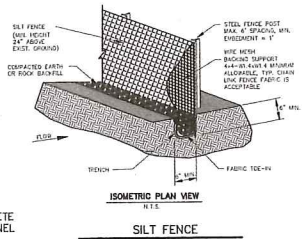
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DATE REVISED:	3/5/18
DATE REVISED:	8/8/18
DATE REVISED:	9/4/18



- GRADING NOTES**
- THIS GRADING PLAN IS DESIGNED TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE STRUCTURES IN ALL DIRECTIONS. THE CONTRACTOR SHALL FIELD VERIFY AND MAKE ELEVATION CHANGES AS NECESSARY TO ENSURE POSITIVE DRAINAGE OCCURS.
 - ALL YARD DRAINS AND RETAINING WALLS ARE SHOWN APPROXIMATE ONLY. FINAL LOCATIONS, HEIGHTS, ELEVATIONS AND OUTFALLS SHALL BE SET AND CONFIRMED BY THE LANDSCAPE ARCHITECT.
 - CONTRACTOR MAY PROVIDE MINOR ADJUSTMENTS TO GRADE IN THE FIELD AS TO MATCH FLOW ARROWS MAINTAINING SLOPES AS FOLLOWS:

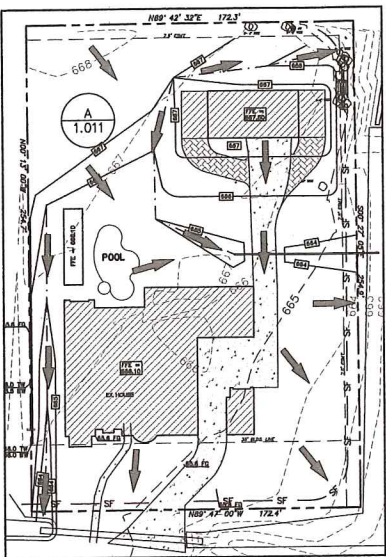
	MIN.	MIN. PREFERRED	MAX.	MAX. PREFERRED
LAWN	2.0	4.0%	4H:1V	5H:1V
ASPHALT	1.0	2.0%	10%	7.5%
CONCRETE	0.5%	0.75%	10%	7.5%
SIDEWALK	0%	1.0%	5%	2%

- LEGEND**
- PROPERTY LINE
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - EASEMENT
 - BUILDING SETBACK
 - EDGE OF PAVING
 - PROPOSED VALLEY
 - PROPOSED STRUCTURE
 - FLOW ARROW
 - SILT FENCE
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - FG FINISH GRADE



- SILT FENCE GENERAL NOTES**
- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
 - THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SHARP OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK OR UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
 - THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 - SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOODEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
 - INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
 - ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL POLLUTION.

DRAINAGE AREA MAP
SCALE: 1" = 30'



FLOOD PLAIN NOTE:
ACCORDING TO THE INFORMATION SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 48483C0000K, REVISED SEPTEMBER 25, 2009, THIS PROPERTY APPEARS TO BE WITHIN THE "SHADE ZONE 1" - 0.2% CHANCE OF FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH OF LESS THAN ONE FOOT OR WITH DRAINAGE AREAS LESS THAN ONE SQUARE MILE" - AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION, OR THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

NOTE:
CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION/EXCAVATION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON COMBINATION OF FIELD SURVEY & CITY RECORD DRAWINGS.

BEFORE YOU DIG CALL:
1-800-245-4545
TEXAS 811
TEXAS ONE CALL SYSTEM

REVISIONS

#	REVISION	DATE
1	FLOOD NOTE	09-19-18
2	ADD LEVEL	09-24-18

JOHNSON CONSTRUCTION, LLC
1565 NIGHTINGALE CIRCLE
KELLER, TX 76262
MR. JOHNSON (817) 231-3500 PH

WHITWORTH ENGINEERING
911 W. 4TH STREET, SUITE 100
KELLER, TEXAS 76262
(817) 231-3500 FAX
ENGINEERING FIRM NUMBER - 3875

STATE OF TEXAS
SEAL OF THE ENGINEER
IAN HOSFELK
83500
REGISTERED PROFESSIONAL ENGINEER
CIVIL
EXPIRATION DATE 09/01/2021

THIS DATE: **SEPT 12, 2018**
PROJECT NO.: **CV18-0001**
SHEET NUMBER: **C-1.0**

1 OF 1

Jerald Ducay

From: David Johnson <daviduj777@verizon.net>
Sent: Monday, October 15, 2018 2:55 PM
To: Jerald Ducay
Subject: !565 Nightingale Cir. (SUP)

The total exposed garage door square feet is 264. Each door size is 11x12 = 132 Sqft.



This is the type of material the applicant is proposing to emulate with the accessory structure (Stucco / Spanish Tile roofing)





JULY 25, 2018

JOHNSON CONSTRUCTION

GENTLEMEN,

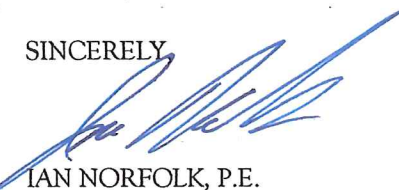
THE FOUNDATION PLANS, ACCOMPANIED BY THIS LETTER, AS DESIGNATED BY IAN NORFOLK, P.E.,
ARE AUTHORIZED FOR USE ONLY UPON THE PROPERTY DESCRIBED BELOW:

DESCRIPTION: SINGLE FAMILY RESIDENCE - WORKSHOP ADDITION
DESIGN CODE: WHITWORTH ENGINEERING REPORT NO. ST18-0162, 03/17/18
PI: 25 QU: 890 PSF
LOT/BLOCK: 9/1
SUBDIVISION: FLORENCE PLACE ADDITION
ADDRESS: 1565 NIGHTINGALE CIRCLE
KELLER, TEXAS
JOB NO.: WE18-0972

FOUNDATION DESIGN CRITERIA WAS FORMULATED BASED ON MODIFICATIONS OF
RECOMMENDATIONS AS SET FORTH IN CRITERIA FOR SELECTION AND DESIGN OF SLAB-ON-GROUND
(BRAB AND/OR WRI REPORT), ACI 318-99, IRC 2009, IRC 2012, IRC 2015, AND RECOGNIZED
ENGINEERING PRACTICES.

NOTE: ACCOMPANYING "OWNER MOISTURE MAINTENANCE LETTER" IS TO BE TRANSMITTED TO
OWNER, WITH OWNER'S RECEIPT ACKNOWLEDGED TO BUILDER/CONTRACTOR.

SINCERELY,



IAN NORFOLK, P.E.



The seal appearing on this
document was authorized by
Ian Norfolk, P.E.
93550
Whitworth Engineering
F-3973



FOUNDATION MOISTURE MAINTENANCE

PROPERTY OWNER:

Structures built on ground supported concrete foundations depend not only on proper design and construction, but also on proper foundation environment maintenance performed by the occupant or owner of the property. A properly designed and constructed foundation may still experience distress if the surrounding soils are not being properly cared for. Active soils are any type of soil that, when exposed to certain conditions, will undergo shrinking and swelling. In areas such as Dallas/Fort Worth, where active soils are present, excessive moisture or too little moisture can affect the condition of the foundation. *The objective of a proper maintenance program is to maintain as near constant moisture content, as possible, for the soil under the foundation.*

The following is a list of items to be considered when planning proper foundation maintenance:

1. Drainage:

- Never allow water to pond near or against foundation slabs.
- Maintain positive drainage away from the foundation. The minimum slope shall be 5% for a distance of 10 feet from the edge of the foundation. (5% equals a 6 inch drop in 10 feet)
- Where a horizontal distance of 10 feet is not possible a berm or swale shall be constructed which provides a minimum 1% slope conveying the water to an acceptable outfall.
- The installation and maintenance of gutters and downspouts are highly recommended, they should be kept clear and discharge water away from the foundation.

2. Landscaping:

- There should be a minimum distance of 6 inches between the top of the slab and the ground.
- Landscape beds must also maintain the minimum positive slope of 5% away from the foundation.
- Where landscape beds are placed adjacent to the foundation they should be equipped with a moisture barrier and/or area drains which convey water by means of buried pipe to an acceptable outfall.
- Area drains must be checked periodically to ensure that they remain functional.
- Trees remove moisture from the ground in order to survive, and should therefore be watered regularly.
- Trees should be placed at a distance no closer to the foundation than the full height of the mature tree.
- If existing tree removal is not an acceptable option, a root guard system should be constructed around the foundation in the area of the tree(s). Replace and compact any loose fill adjacent to the foundation with native soil. Water is conveyed quickly through sand or granular materials, these materials should not be used adjacent to the foundation unless accompanied by an appropriate drain system.

3. Seasonal Changes:

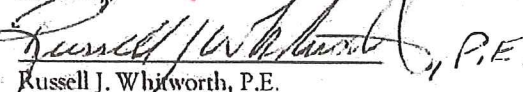
- Avoid excessive drying around the perimeter of the foundation: when soil pulls away from foundation it is too dry.
- Excessive moisture is also a problem, therefore avoid over watering, even during dry seasons.

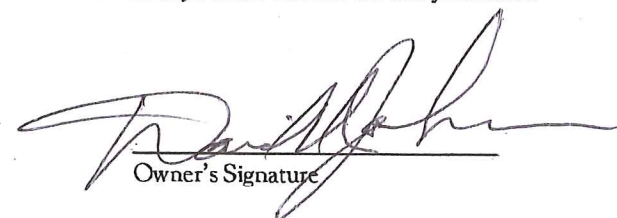
4. Swimming pools, pipe systems and sprinkler lines:

- Routinely check for leaks.

All property owners should conduct a yearly survey of their foundation and perform any maintenance necessary to improve drainage and prevent the ponding of water adjacent to these structures. *This is especially important during the first ten (10) years after construction because this is usually the time when the most severe adjustment between the new foundation and its supporting soil occurs.*

Sincerely,


Russell J. Whitworth, P.E.


Owner's Signature