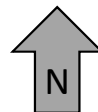


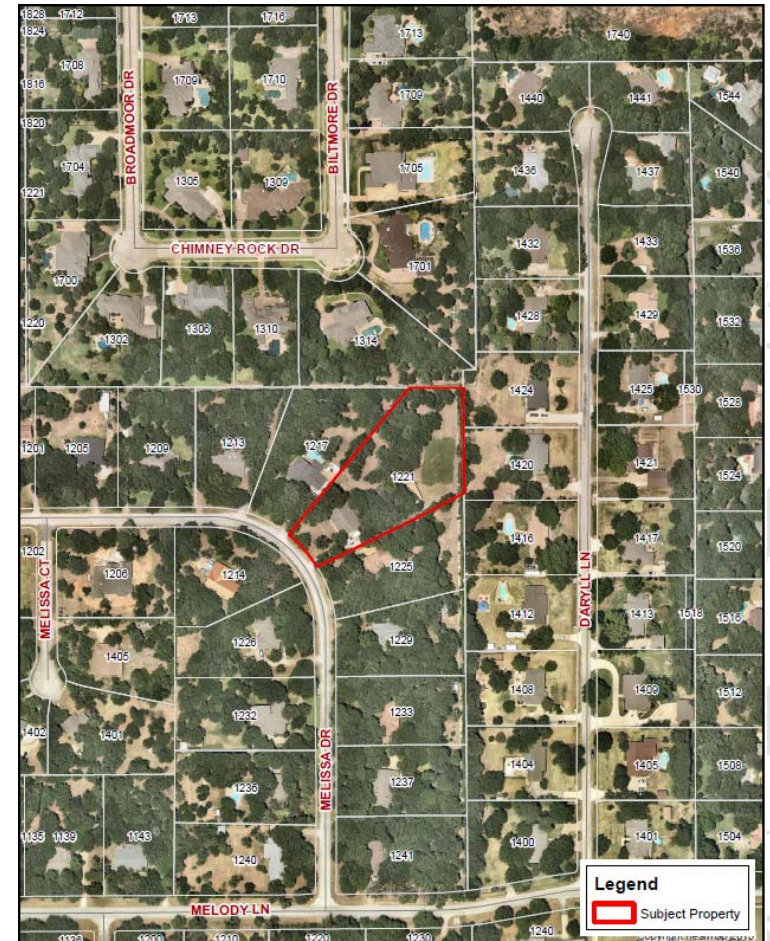
## Item H-10

**PUBLIC HEARING:** Consider an ordinance approving a Specific Use Permit (SUP) to allow a 2,080 square-foot metal accessory dwelling unit to have a combined area greater than 50% of the main structure, and an average height of approximately nineteen foot-three quarter inches, on a 1.9-acre lot on the northeast side of Melissa Drive, approximately 937 feet north of the Melody Lane and Melissa Drive intersection, located at 1221 Melissa Drive, Lot 6R, Block 2, Melody Hills Estates Addition, and zoned SF-36 (Single Family Residential – 36,000 square foot minimum). Russell and Tiffany O’Neal, owner/applicant; Christy Hill, designer. (SUP-18-0033).

Item H-10  
Zoning Map

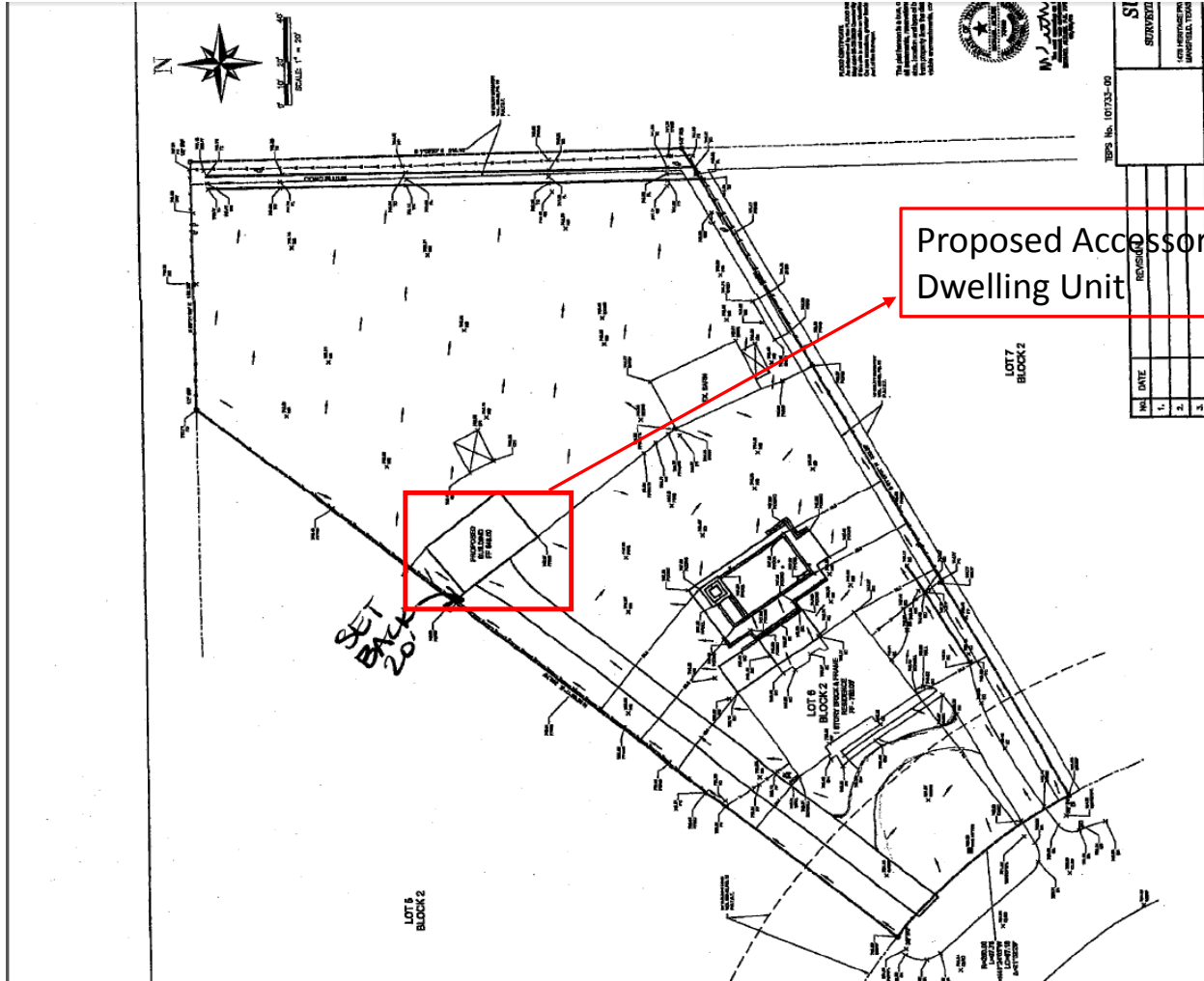


Item H-10  
Aerial View



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# H-10



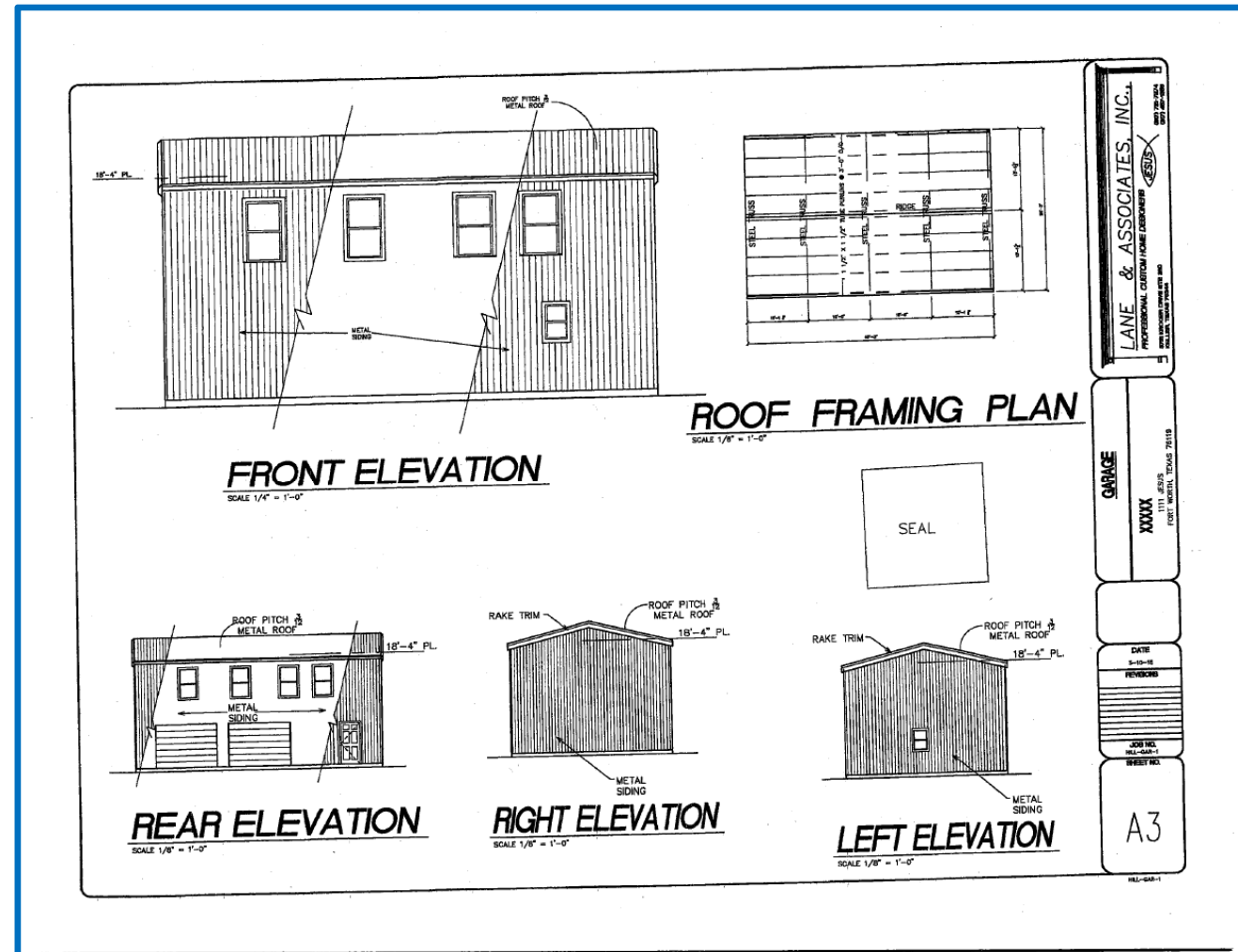
Any existing accessory buildings greater than the maximum allowed will be demolished prior to the construction of the proposed accessory dwelling unit.

Accessory dwelling unit will meet UDC requirements for side setback.

1. Is to allow a (2,080) SF accessory dwelling unit, exceeding the (1,200) SF requirement.

3. Is to allow a structure with an average build height of (19') three-quarter inches in lieu of (15').

# H-10

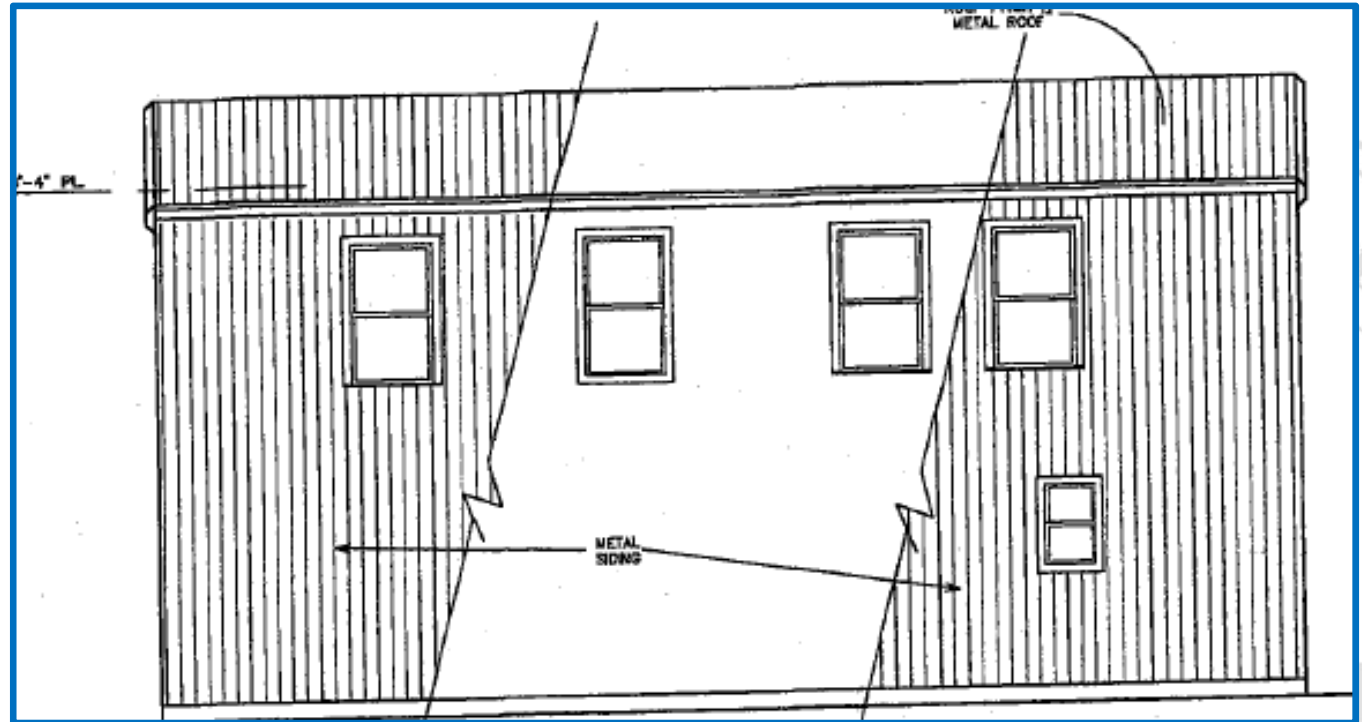


## H-10

Variance request:

1. To allow a metal exterior in lieu of brick, stone, or material complimentary to the main structure.

The applicants will paint the exterior of the accessory dwelling unit to be comparable to the home.



H-10



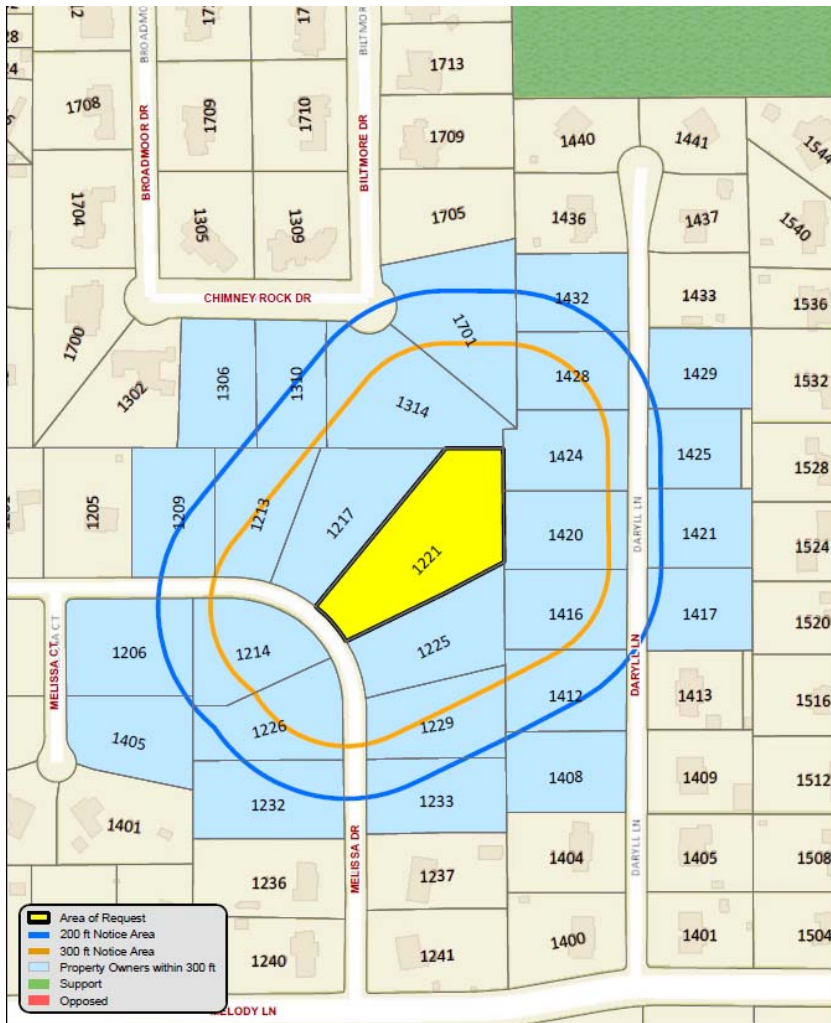
REAR ELEVATION



Close Resemblance of  
the Rear Elevation

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## Item H-10



- On October 12, 2018, the City mailed out 26 letters of Notifications for a Public Hearing to property owners within 300' of this subject property.
- Staff also posted a public hearing notice sign on the subject property.
- As of November 20, 2018, Staff has received two letters of opposition, one outside of the 200 foot buffer.

## Item H-10 Analysis

The applicant has met the requirements of the UDC for this SUP application.

Section 8.04 (B.2.a) of the UDC states that when considering a Specific Use Permit request, the City Council shall consider the following factors:

- 1) The use is harmonious and compatible with surrounding existing uses or proposed uses;
- 2) The activities requested by the applicant are normally associated with the permitted uses in the base district;
- 3) The nature of the use is reasonable and appropriate in the immediate area;
- 4) Any negative impact on the surrounding area has been mitigated; and
- 5) That any additional conditions specified ensure that the intent of the district purposes are being upheld.

## Item H-10 Professional Analysis and Opinion

Staff has considered all criteria associated with a Specific Use Permit. In addition, staff has considered the criteria for the UDC variance request.

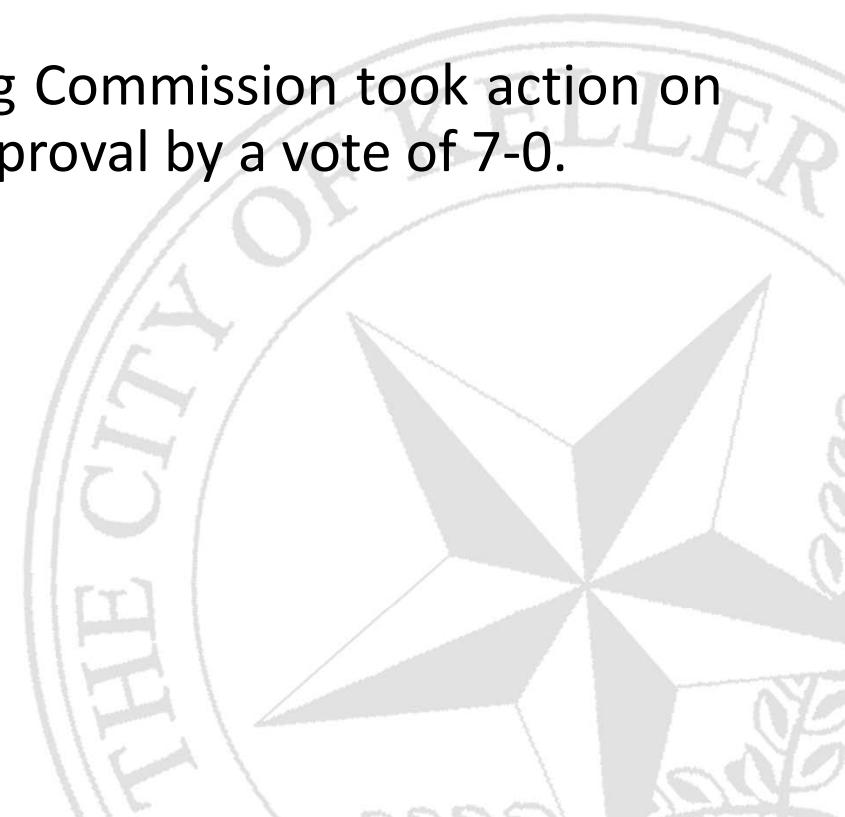
The harmonious environment and compatibility of the surrounding area are met. Staff **supports** this SUP request with UDC variance to allow the use of a 2,080 SF metal accessory dwelling unit; to have a combined area greater than 50% of the main structure, and an average height of approximately 19 feet  $\frac{3}{4}$ " on a 1.9 acre-lot.

Staff forwards this Specific Use Permit application to City Council for their consideration with the following conditions:

1. The Specific Use Permit to allow a 2,080 square-foot metal accessory dwelling unit to have a combined area greater than 50% of the main structure, and an average height of approximately nineteen foot-three quarter inches, on a 1.9-acre lot shall be allowed.

## Item H-10 Planning & Zoning Commission Action

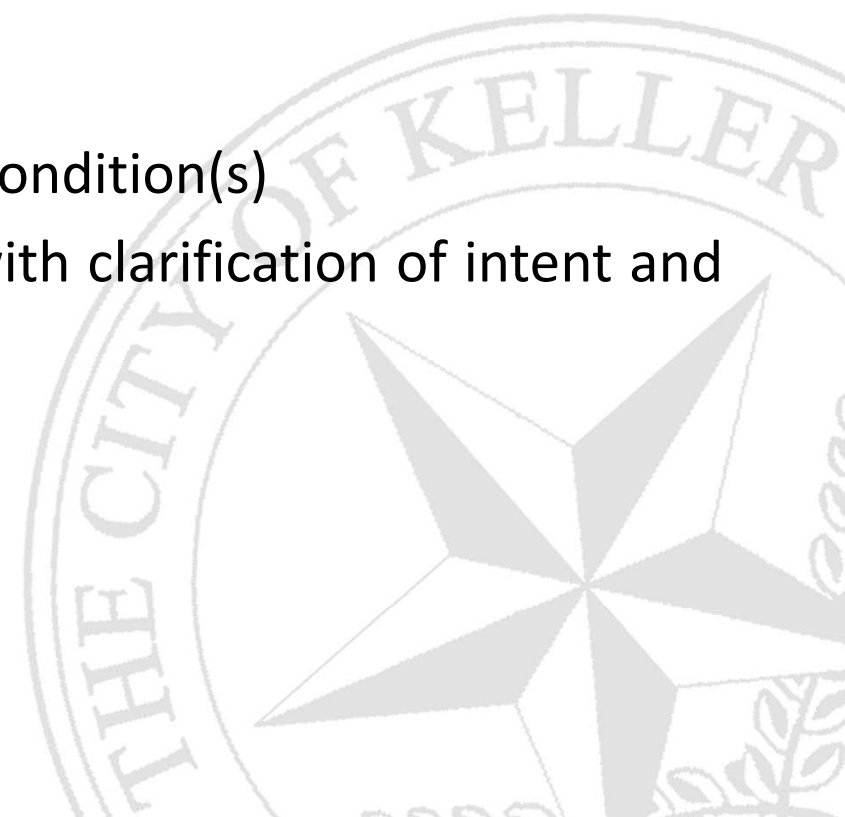
On October 22, 2018 the Planning and Zoning Commission took action on this agenda item and voted to recommend approval by a vote of 7-0.



## Item H-10 City Council Action

City Council has the following options when considering a SUP application:

- Approve
- Approve with modifications or additional condition(s)
- Table the agenda item to a specific date with clarification of intent and purpose
- Deny





**Questions?**  
**Scott Bradburn**  
**817-743-4125**

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