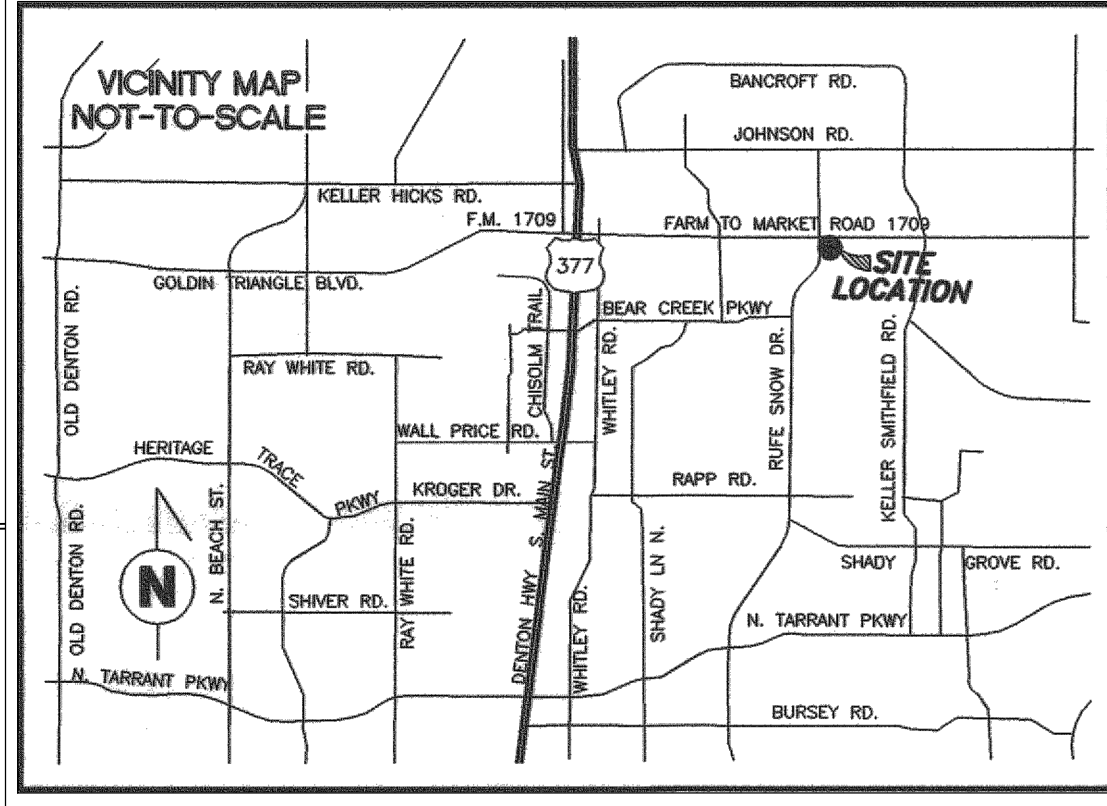
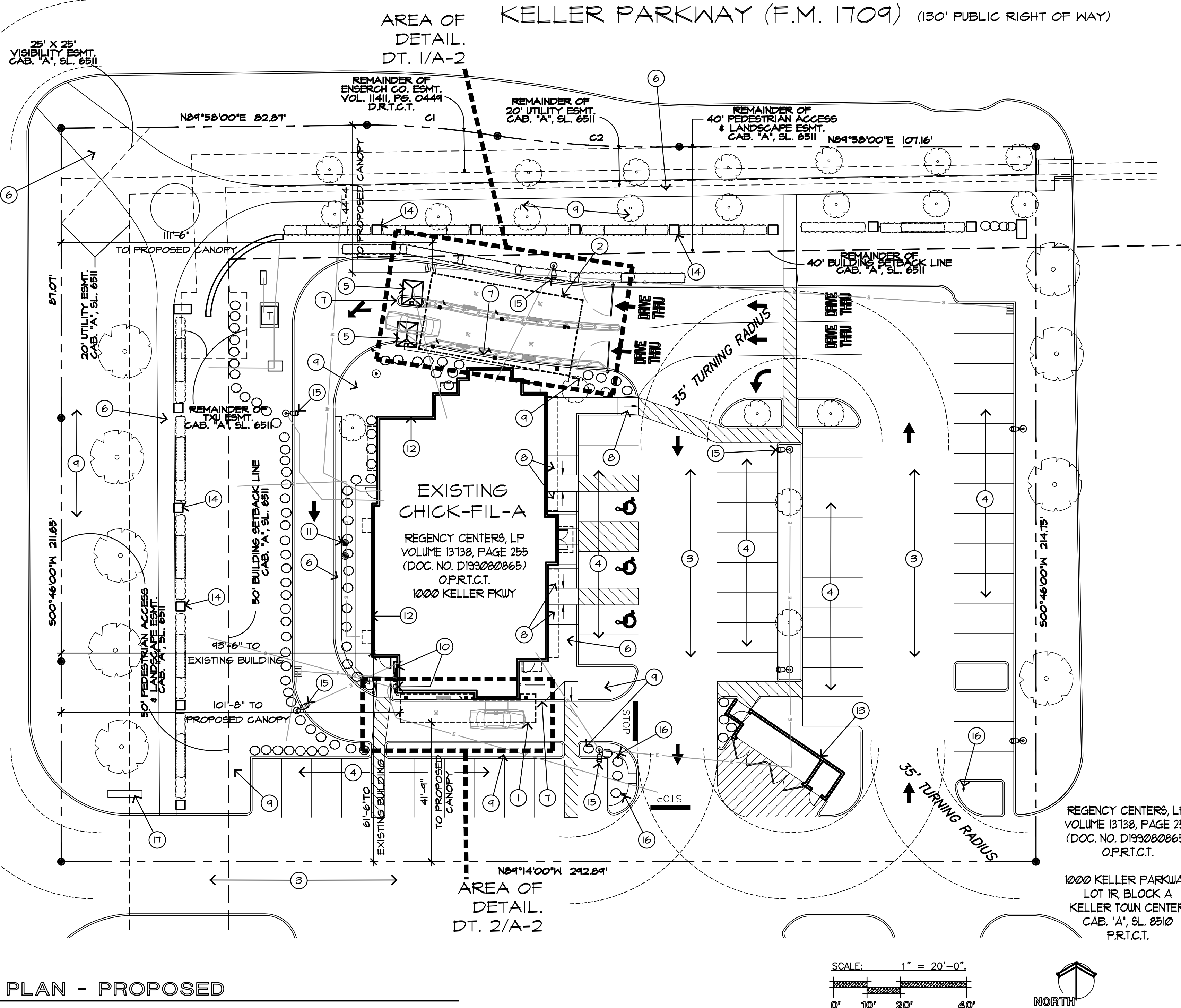


NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	210.43'	13°03'11"	48.05'	S 83°55'07" E	47.95'
C2	243.61'	13°03'03"	55.44'	S 83°54'55" E	55.57'



KELLER PARKWAY (F.M. 1709) (130' PUBLIC RIGHT OF WAY)



GENERAL NOTES

1. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE G.C. SHALL BE RESPONSIBLE TO VERIFY AND LOCATE EXACT LOCATION/DEPTH OF UNDERGROUND UTILITY LINES, COMMUNICATION LINES, ETC. SERVING THIS SITE. IDENTIFY UTILITIES AS TO SCOPE OF WORK AND LOCATION OF DIGGING.
2. WHERE REQUIRED, G.C. SHALL NOTIFY ADJACENT TENANTS / PROPERTY OWNERS OF ANY SERVICE INTERRUPTIONS AT LEAST 48 HOURS PRIOR TO SERVICE INTERRUPTIONS.
3. ANY DAMAGES TO UNDERGROUND UTILITY LINES SHALL BE REPORTED TO THE UTILITY COMPANY INVOLVED. G.C. SHALL REPAIR DAMAGES PER UTILITY CO. REQUIREMENTS AT CONTRACTORS EXPENSE.

GOVERNING CODES

BUILDING:	2015 EDITION I.B.C.
MECHANICAL:	2015 EDITION I.M.C.
PLUMBING:	2015 EDITION I.P.C.
ENERGY:	2015 EDITION I.E.C.C.
ELECTRICAL:	2014 EDITION N.E.C.
FUEL / GAS:	2015 EDITION I.F.G.C.
FIRE:	2015 EDITION I.F.C.
ACCESSIBLE:	CURRENT EDITION OF A.N.S.I.

BUILDING SETBACKS

FRONT (Keller Pkwy):	40 FT
SIDE (Rufe Snow Dr):	50 FT
REAR:	0 FT
SIDE:	0 FT

SHEET INDEX

ARCHITECTURAL

- A-1 PROJECT DATA & OVERALL SITE PLAN
A-2 ENLARGED CANOPY PLAN
A-3 ELEVATIONS

STRUCTURAL

- | | |
|---------|-----------------------|
| FACE TO | FACE CANOPY |
| AB-1 | FOOTING LOCATIONS |
| AB-2 | CANOPY FOOTINGS |
| E-1 | FRAMING PLAN |
| E-2 | SECTIONS |
| E-3 | SECTIONS |
| E-4 | SECTIONS |
| ELI | CANOPY ELEVATION PLAN |
| LLI | CANOPY LIGHT LAYOUT |

MEAL DELIVERY CANOPY

- | | |
|------|-----------------------|
| AB-1 | FOOTING LOCATIONS |
| AB-2 | CANOPY FOOTINGS |
| E-1 | FRAMING PLAN |
| E-2 | SECTIONS |
| E-3 | SECTIONS |
| E-4 | SECTIONS |
| ELI | CANOPY ELEVATION PLAN |
| LLI | CANOPY LIGHT LAYOUT |

PLUMBING

- P1.1 GAS PLUMBING PLAN
P1.2 GAS PLUMBING PLAN
P2.1 PLUMBING DETAILS

ELECTRICAL

- E1.1 POWER AND LGT PLAN
E1.2 ELECTRICAL DETAILS

⑧ SITE PLAN NOTES

1. OUTLINE OF PROPOSED OVERHEAD MEAL DELIVERY CANOPY.
2. OUTLINE OF PROPOSED OVERHEAD FACE TO FACE CANOPY.
3. EXISTING VEHICLE DRIVE AISLE TO REMAIN.
4. EXISTING PARKING FIELD TO REMAIN, NO CHANGE.
5. EXISTING ORDER POINT TO REMAIN, NO CHANGE.
6. EXISTING CONCRETE WALKWAY TO REMAIN.
7. EXISTING CONCRETE CURB TO REMAIN. ANY DAMAGE TO EXISTING CURB SHALL BE REPAIRED AND/OR REPLACED AS TO LIKE CONDITION.
8. EXISTING CONCRETE ACCESSIBLE RAMP / MARKED PATHWAY TO REMAIN.
9. EXISTING LANDSCAPING AREA TO REMAIN.
10. LOCATION OF ELECTRICAL AND/OR GAS CONNECTION. CONFIRM UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
11. EXISTING UNDERGROUND UTILITY COVER TO REMAIN. VERIFY PRIOR TO START OF CONSTRUCTION.
12. EDGE OF EXISTING BUILDING. NO CHANGE.
13. EXISTING CMU (@ 9'-0" ± HEIGHT) TRASH RECEPTACLE AND STORAGE AREA TO REMAIN.
14. EXISTING BRICK WALL / LOW PILLAR TO REMAIN.
15. EXISTING 20' TALL SITE LIGHTING POLE TO REMAIN.
16. EXISTING SIGN TO REMAIN.
17. MAIN ID SIGN TO REMAIN.

PROJECT DATA

PROJECT NAME:	CHICK-FIL-A, SITE #3226
PROJECT ADDRESS:	1002 KELLER PKWY KELLER, TX 76248
PROJECT DESCRIPTION:	INSTALL NEW OVERHEAD SHADE CANOPY AT EXISTING DRIVE THRU FOR EMPLOYEE AND VEHICLE SHADE.
EXISTING ZONING:	TC / COMMERCIAL (NO CHANGE)
CONSTRUCTION TYPE:	V-B SPRINKLERED (EXISTING BUILDING)
OCCUPANCY:	A-2 / 196 OCC. (EXISTING BUILDING)
EXISTING BUILDING AREA:	4,779 SQ. FT. (NO CHANGE)
CONSTRUCTION AREA:	
a) Face to Face canopy:	± 1,076 S.F.
b) Meal Delivery Canopy:	± 335 S.F.
	Total: ± 1,411 S.F.
PARKING:	EXISTING (NO CHANGE)
DRIVE THRU QUEING:	EXISTING (NO CHANGE)
LOT SIZE:	1.4631 ACRES (63,759 SQ. FT.)

PROJECT TEAM

OWNER / APPLICANT:
CHICK-FIL-A, INC.
TROY TRIPP
5200 BUFFINGTON ROAD
ATLANTA, GA 30349
CHICK-FIL-A.COM
PH: 404-305-4613

PROJECT MANAGER:
EMS, LLC
ALEX MCCLELLAN
17200 N. PERIMETER DRIVE, SUITE 275
SCOTTSDALE, ARIZONA 85255
PH: 480-771-1800

CANOPY COMPANY:
LANE SUPPLY INC.
LARRY TOLBERT
120 FAIRVIEW
ARLINGTON, TX. 76010
LTOLBERT@LANESUPPLYINC.COM

BUILDING DEPARTMENT:
CITY OF KELLER
PLANNING & ZONING
1100 BEAR CREEK PARKWAY
KELLER, TX 76248
PH: 817-743-4000

PROPERTY DESCRIPTION

PORTION OF LOT 1R, BLOCK A
KELLER TOWN CENTER
CAB. "A", SL. 6510
P.R.T.C.T.



5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
(404) 765-8000

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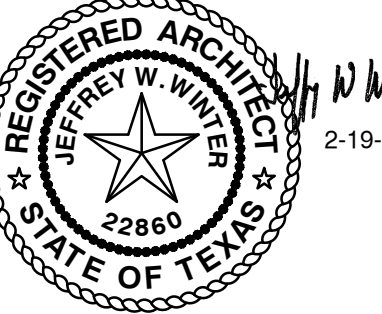
CONSULTANTS:



EMG INC.,
17200 N. PERIMETER DRIVE, #275
SCOTTSDALE, ARIZONA 85255
TEL: 480.777.1800
FAX: 480.777.5366
WWW.EMGLLC.COM

esencia

1743 E. McNair Drive, Suite 200
Tempe, Arizona 85283
Telephone 480-755-0959



Revision Schedule

Rev	Date	By	Description

Project Name: **CANOPY PROGRAM**

CHICK-FIL-A
STORE #3226

1002 KELLER PKWY
KELLER, TX 76248

Issue Date:	2-19-19
Drawn By:	JM/JH
Job Number:	18011

Sheet Title:

Project Data
Overall Site Plan

Sheet Number: **A-1**



