

Drafter: M.M.  
 Drafter/Revision:  
 Drafter/Revision:  
 Drafter/Revision:  
 Drafter/Revision:  
 Drafter/Revision:

**LEGEND OF SYMBOLS**

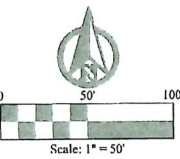
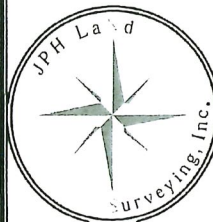
- air conditioner
- borchole
- cable tv
- electric meter
- fence or handrail
- fire dept. connection
- fire hydrant
- guard rail
- grease trap
- bollard
- grate inlet
- gas meter
- gas line
- utility pole anchor
- irrigation valve
- landscape or tree line
- light pole
- mailbox
- monitoring well
- overhead utility lines
- pool equipment
- road sign
- silt fence
- spot elevation
- sanitary sewer manhole
- sanitary sewer pipe
- storm water manhole
- storm water pipe
- telephone manhole
- tank fill lid
- telephone riser
- traffic signal pole
- utility clean out
- utility cabinet
- utility vault
- utility markings (line color = color of markings)
- utility pole
- utility pole with riser
- utility sign
- water shutoff
- water valve
- water manhole
- water meter
- well
- water line
- one-foot contour lines (NAVD 1988)
- tree
- diameter in inches at breast height
- ornamental tree

NOTE - Some items may not pertain to this survey. The identification is subject to interpretation. Verification may be required.

**FLOOD ZONE CLASSIFICATION**  
 This property lies within NON-SHADED ZONE X of the Flood Insurance Rate Map for Tarrant County, Texas and Incorporated Areas, map no. 48439C0080K, dated 2009/09/25, via scaled map location and graphic plotting and/or the National Flood Hazard Layer (NFHL) Web Map Service (WMS) at <http://hazards.fema.gov>.

**MONUMENTS / BEARING BASIS**  
 CRS 1/2" rebar stamped "JPH Land Surveying" set  
 MNS Mag nail & washer stamped "JPH Land Surveying" set  
 Monuments are found, unless marked MNS or CRS.  
 Coordinate values, if shown, are US.SyFl./TxCS./83./NCZ  
 Elevations, if shown, are NAVD'88  
 Bearings are based on grid north (TxCS./83./NCZ)  
 TYPE I TxDOT Right of Way tapered concrete monument.  
 TYPE II TxDOT Right of Way bronze cap in concrete.  
 TYPE III TxDOT Right of Way iron rod with aluminum cap.

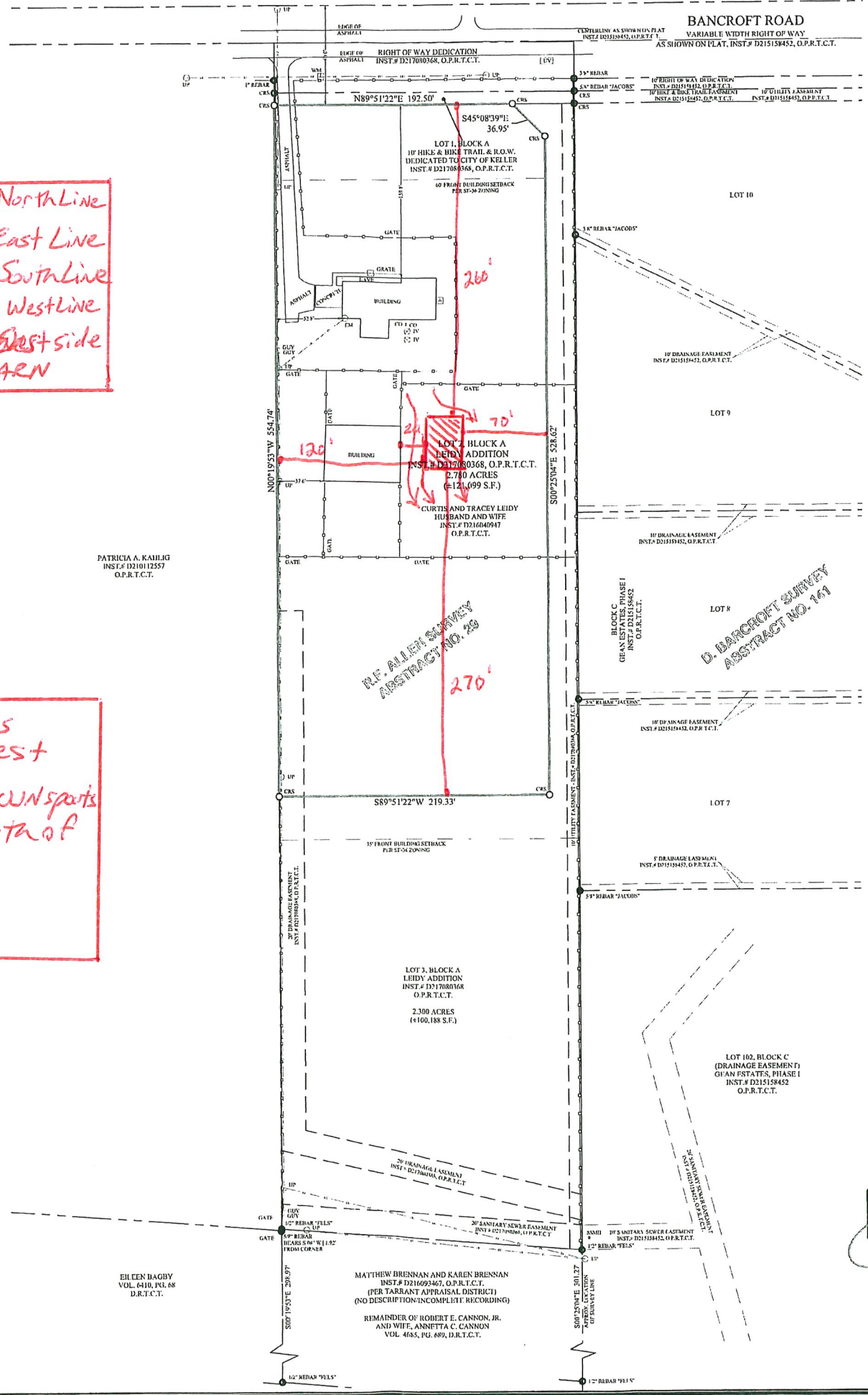
**LEGEND OF ABBREVIATIONS**  
 U.S.SyFl. United States Survey Feet  
 TxCS./83./NCZ Texas Coordinate System of 1983, North Central Zone  
 NAVD'88 North American Vertical Datum of 1988  
 P.R.T.C.T. Plat Records of Tarrant County, Texas  
 O.P.R.T.C.T. Official Public Records of Tarrant County, Texas  
 D.R.T.C.T. Deed Records of Tarrant County, Texas  
 VOL./PG./INST# Volume/Page/Instrument Number  
 POB/POC Point of Beginning/Point of Commencing  
 ESMT/BL Easement/Building Line



JPH Job No.  
 2017.200.009 630 Bancroft Rd, Keller, Tarrant Co, TX - 1 of 2, Block A.dwg  
 © 2017 JPH Land Surveying, Inc. - All Rights Reserved  
 807 Bluebonnet Drive, Suite C Keller, Texas 76248  
 Telephone (817) 431-4971 www.jphlandsurveying.com  
 TBPLS Firm #10019500 #10194073 #10193867  
 DFW | Austin | Abilene

• 260' from North Line  
 • 70' from East Line  
 • 270' from South Line  
 • 120' from West Line  
 • 20' from East side of BARN

Plan for gutters on East and West eaves and downspouts located on south of barn



PATRICIA A. KAHJIG  
 INST. # D210112557  
 O.P.R.T.C.T.

N.E. ALLEN SURVEY  
 ABSTRACT NO. 28

**BANCROFT ROAD**  
 VARIABLE WIDTH RIGHT OF WAY  
 AS SHOWN ON PLAT, INST. # D21515452, O.P.R.T.C.T.

**LEGAL DESCRIPTION:**  
 Being all of Lot 2, Block A, Leidy Addition, an addition in the City of Keller, Tarrant County, Texas, according to the plat thereof recorded under Instrument Number D217080368 of the Official Public Records of Tarrant County, Texas.

**TITLE COMMITMENT NOTES:**  
 This survey was performed with the benefit of a commitment for title insurance provided by Capital Title/McGee Law Firm, File # 17-294512-RS, effective March 2, 2017, and issued March 14, 2017. Complete copies of the record description of the property, any record easements benefiting the property, the record easements or servitudes and covenants affecting the property ("Record Documents"), documents of record referred to in the Record Documents, and any other documents containing desired information affecting the property being surveyed and to which the survey shall make reference were not provided to this surveyor for notation on the survey except for those items listed within Schedule B of said commitment. Therefore, easements, agreements, or other documents, either recorded, or unrecorded may exist that affect the subject property that are not shown on this survey.

- The easement created under Instrument No. D207203375, O.P.R.T.C.T., is not shown on this survey, it is not on and does not touch the surveyed property.
- The building lines shown and easements dedicated on the plat recorded under Instrument No. D217080368, O.P.R.T.C.T., are shown on this survey.

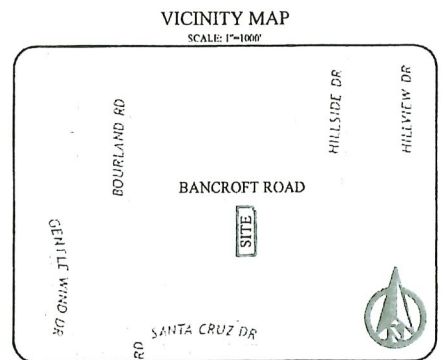
**SURVEYOR'S NOTE:**  
 The field work was completed April 13, 2017.

- PLAT NOTES FROM LEIDY ADDITION, INST. # D217080368, O.P.R.T.C.T.:**
- Selling a portion of any lot within this addition by metes and bounds is a violation of state law and city ordinance and is subject to fines and withholding of utilities and building permits.
  - All setbacks shall be in accordance with the zoning district, as described in the Keller Unified Development Code.
  - According to the Zoning Map of the City of Keller, subject tract lies in "SF-36" zoning.
  - Lot 3, Block A must comply with the 2009 International Fire Code as amended and adopted, before the issuance of a building permit, and the installation of a fire sprinkler system and separate water meter is required, regardless of the size of the home.
  - Lot 2 Block A - if the current residence is demolished and re-built or a building addition increases the home to 6,000 square feet or greater, the installation of residential fire sprinklers shall be required.
  - Residential fire sprinkler systems require a separate tap and meter for water supply.
  - This subdivision is subject to all of the terms and conditions of Tarrant County Commissioner Court Order Number 42703 (Sewage Regulations). Prior to the issuance of a building permit, a license must be obtained by the owner for any private sewage facility (septic tank or aerobic system) to be constructed in the subdivision. A sewage disposal plan will be filed with Tarrant County and areas suitable for septic tanks or aerobic systems will be defined.
  - Lots 2 & 3 shall have vehicular access (ingress/egress) to a public street and access to public utilities across Lot 1.
  - The Drainage Easements shown on the plat are dedicated to the City for storm water runoff control. Those drainage easements covering areas to be left in a natural state will be the property owner's responsibility to keep unobstructed and maintained, including erosion control. Property Owners shall keep these natural drainage ways on their property moved, clean, and free of debris, silt, or other substances which would result in unsanitary conditions. The City of Keller shall have the right to enter all drainage easement areas for the purpose of inspecting the drainage ways for confirmation of condition of the drainage way with respect to maintenance and erosion control. The City of Keller will not be responsible for the maintenance or erosion control of the open channel area within the drainage easement which is left in the natural state. The open channel areas left in the natural state are occasionally subject to storm water overflow and bank erosion that cannot be predicted. The City of Keller shall not be liable for any damages resulting from the occurrences of this overflow and erosion. No construction, modifications, or fencing will be allowed in the drainage easement without the written approval of the City of Keller's Director of Public Works.

RECEIVED

MAY 28 2019

BY: .....



To: First National Title Insurance Company;  
 Jewel Chadd  
 Registered Professional  
 Land Surveyor No. 5754  
 jewel@jphls.com  
 April 24, 2017

**LAND TITLE SURVEY**  
 OF  
**LOT 2, BLOCK A**  
**LEIDY ADDITION**  
 INST. # D217080368, O.P.R.T.C.T.  
 CITY OF KELLER, TARRANT COUNTY, TEXAS

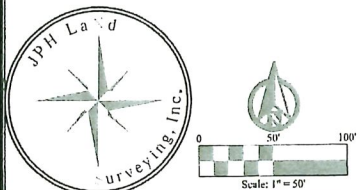
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- LEGEND OF SYMBOLS**
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  - barbed wire
  - cable tv
  - electric meter
  - fence or handrail
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  - fire hydrant
  - guard rail
  - grease trap
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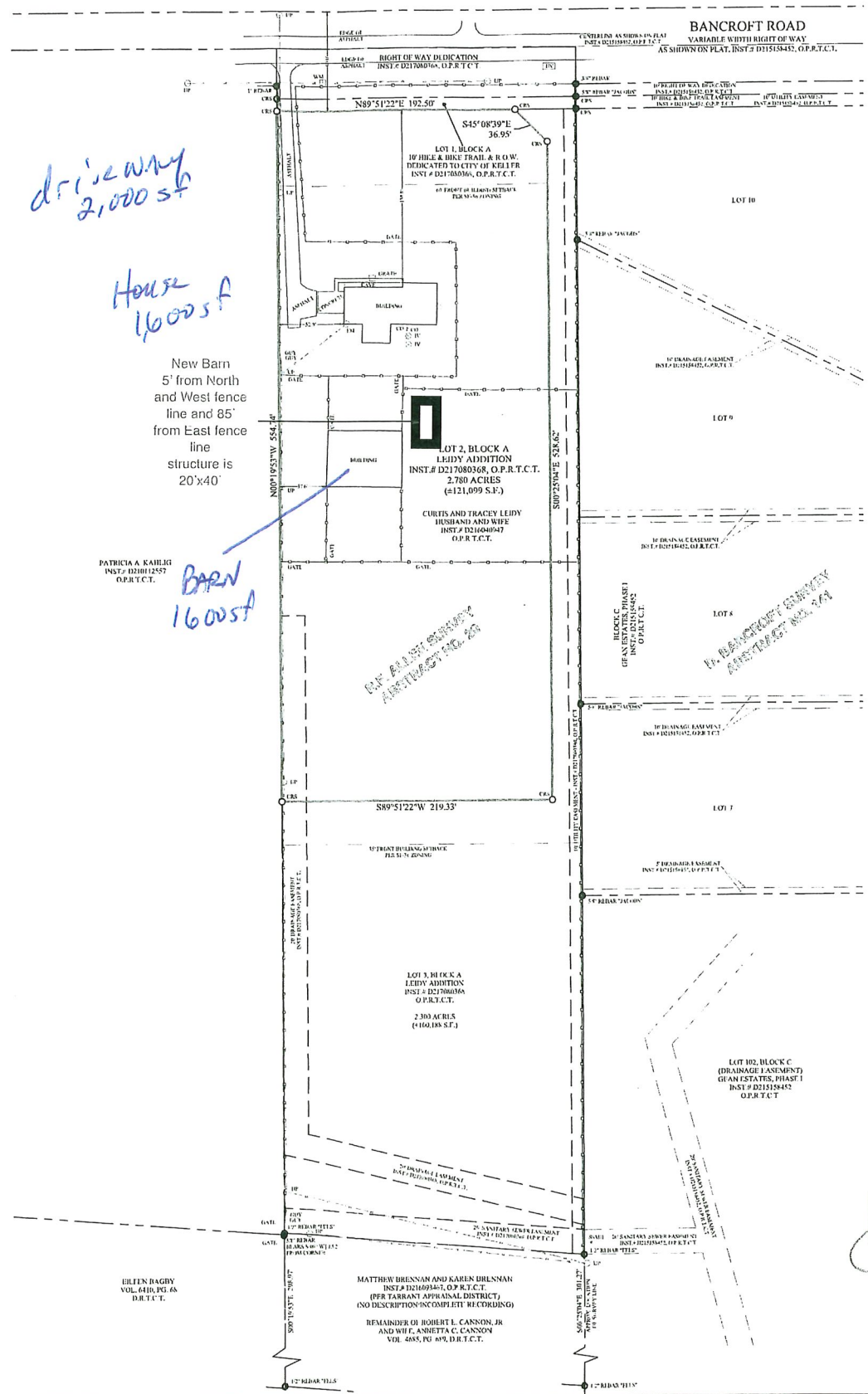
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JPH Job No.  
 2017.200.009 630 Bancroft Rd, Keller, Tarrant Co, TX - Lot 2, Block A.dwg  
 © 2017 JPH Land Surveying, Inc. - All Rights Reserved  
 807 Bluebonnet Drive, Suite C Keller, Texas 76248  
 Telephone (817) 431-4971 www.jphlandsurveying.com  
 TBPLS Firm #10019500 #10194073 #10193867  
 DFW | Austin | Abilene



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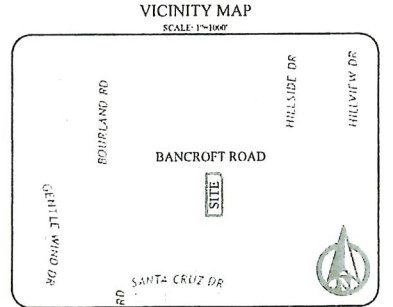
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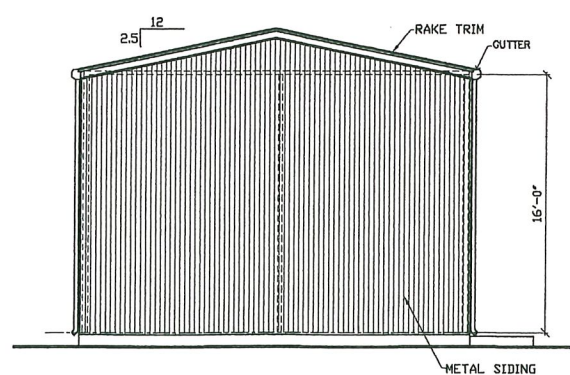
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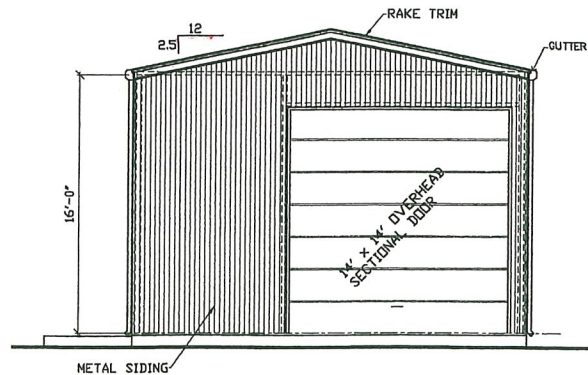
**LAND TITLE SURVEY**  
 OF  
**LOT 2, BLOCK A**  
**LEIDY ADDITION**  
 INST.# D217080368, O.P.R.T.C.T.  
 CITY OF KELLER, TARRANT COUNTY, TEXAS



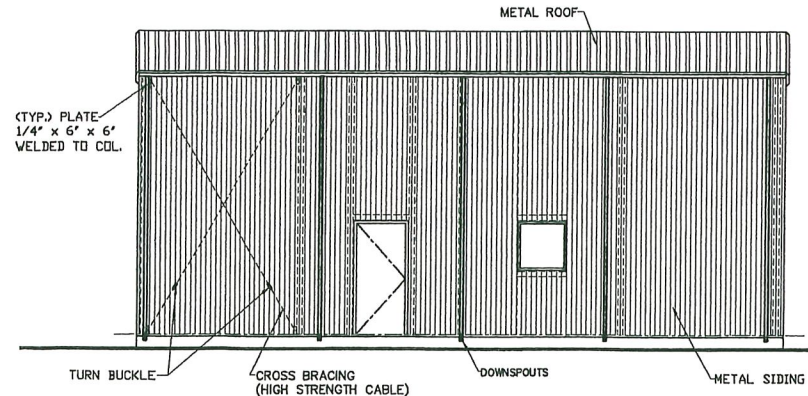
Tec First National Title Insurance Company:  
 Jewel Chadd  
 Registered Professional  
 Land Surveyor No. 6764  
 jewel@jphls.com  
 April 24, 2017



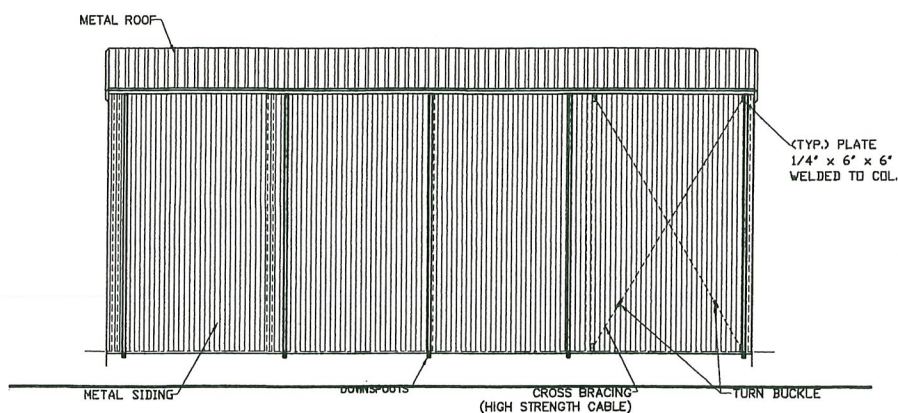
**1 ELEVATION**  
SCALE: 3/16" = 1'-0"



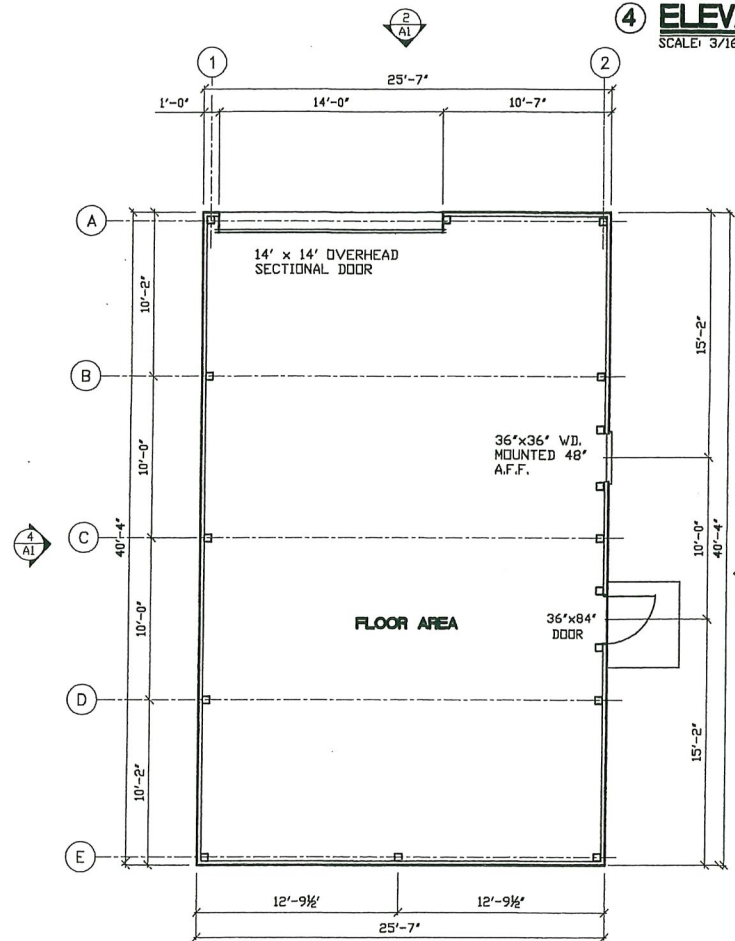
**2 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



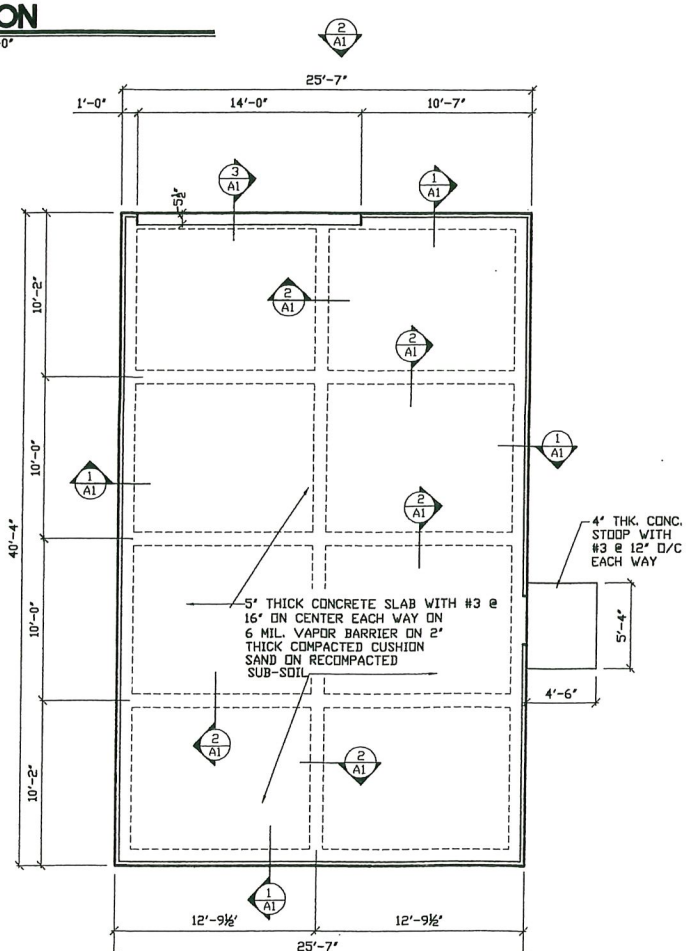
**3 ELEVATION**  
SCALE: 3/16" = 1'-0"



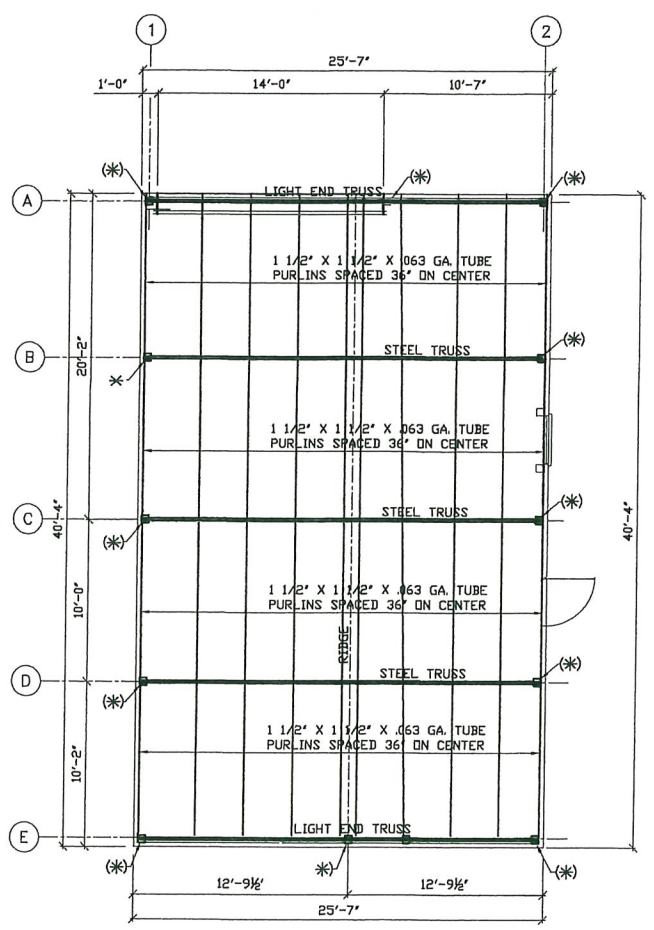
**4 ELEVATION**  
SCALE: 3/16" = 1'-0"



**FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 3/16" = 1'-0"



**ROOF FRAMING PLAN**  
SCALE: 3/16" = 1'-0"

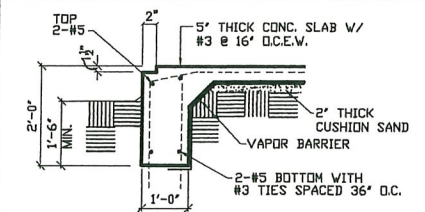
**STRUCTURAL STEEL NOTES**

- A. SHALL CONFORM TO ASTM A-36 AND THE STANDARDS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION EIGHTH EDITION
- B. WELDING SHALL CONFORM TO AWS D11, STRUCTURAL WELDING CODE, LATEST EDITION. WELDS NOT CALLED OUT ON THE DRAWING SHALL BE 3/16" MIN. CONTINUOUS FILLET WELDS. WELDING ELECTRODES SHALL CONFORM TO AWS A5.1 OR A5.5 E70XX.
- C. ANCHOR BOLTS SHALL CONFORM TO ASTM A-36 FOR HOOKED ANCHOR BOLTS, AND SHALL BE SET WITH RIDGED TEMPLATES.
- D. ALL FRAMING MEMBERS SHALL BE SHOP-FABRICATED FOR BOLTED FIELD ASSEMBLY, UNLESS NOTED OTHERWISE. ALL FRAMING MEMBER BOLTS SHALL BE HIGH STRENGTH MEETING ASTM A-307 OR A-325.
- E. ALL STRUCTURAL MEMBERS SHALL BE CLEANED TO REMOVE ALL DIRT, GREASE, OIL AND LOOSE MILL SCALE, AND GIVEN ONE SHOP COAT OF PRIMER PAINT. PRIMER SHALL BE EQUAL TO OR EXCEED THE END PERFORMANCE REQUIREMENTS OF FEDERAL SPEC. TTP-636.

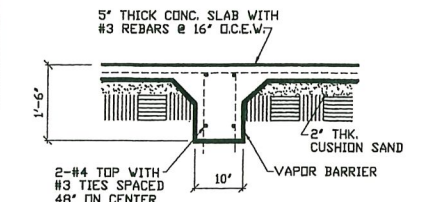
**ROOF PURLINS**

- A. ALL ROOF PURLINS SHALL BE COLD FORMED FROM STEEL WITH A MINIMUM YIELD STRENGTH OF 50 KSI AND WILL CONFORM TO THE PHYSICAL SPECIFICATIONS OF ASTM A-607, GRADE 50.

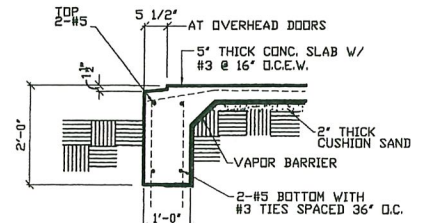
**DETAILS**



**1 SECTION**



**2 SECTION**



**3 SECTION**

**CONCRETE NOTES**

- A. CONCRETE SHALL BE PORTLAND CEMENT OR EQUAL TO MEET THE REQUIRED 3,000 P.S.I. AT 28TH DAY MINIMUM COMPRESSIVE STRENGTH, 5 SACKS OF MIX.
- B. CEMENT SHALL CONFORM TO ASTM-C150, TYPE I.
- C. WATER USED FOR CONCRETE SHALL BE MIXED WITH CLEAN WATER AND FREE FROM INJURIOUS AMOUNTS OF OILS, ACIDS, ALKALINES, ORGANIC OR OTHER DELETERIOUS SUBSTANCES.
- D. THE CONTRACTOR SHALL USE READY MIXED CONCRETE.
- E. FRESHLY POURED CONCRETE SHALL BE TAMPED INTO PLACE BY STEEL RAMMER, SLICING TOOLS OR MECHANICAL VIBRATORS, UNTIL CONCRETE IS THOROUGHLY COMPACT AND WITHOUT VOID.
- F. CONCRETE SHALL HAVE A SLUMP RANGE OF 4" TO 5".

**REINFORCEMENT**

- A. ALL REINFORCING STEEL SHALL BE DEFORM TYPE BARS AND CONFORM TO ASTM-A 615, GRADE 60. PLACED IN THE TOP 1 1/2" OF SLAB. 1 1/2" ON BOTH SIDES OF FOOTING AND THREE (3) INCHES FROM BOTTOM OF FOOTING, EXCEPT OTHERWISE NOTED IN PARAGRAPH (B).
- B. ALL TIES AND STIRRUPS SHALL CONFORM TO THE REQUIREMENTS OF ASTM-A 615, GRADE 40.
- C. REINFORCEMENT STEEL BARS AND WIRE FABRIC SHALL BE THOROUGHLY CLEANED BEFORE PLACING AND AGAIN BEFORE THE CONCRETE IS PLACED, SHALL BE ACCURATELY POSITIONED AND SECURED IN PLACE. METAL SPACERS SHALL BE USED TO SECURE THE PROPER BRACING OF THE STEEL. STIRRUPS SHALL BE ACCURATELY AND SECURELY WIRED TO BARS AT BOTH TOP AND BOTTOM. NO BRICK OR POROUS MATERIALS MAY BE USED TO SUPPORT THE STEEL OFF THE GROUND.

**REVISIONS**

DATE	RESPONSE

**E. M. FAGGETT ENGINEERING**  
104 OAK TRAIL  
RENOON, TEXAS 76028  
(817) 446-1394  
FIRM REGISTRATION NO. F-11761

**JOHN TAYLOR and ASSOCIATES**  
6800 BRENTWOOD STAR ROAD, SUITE 201  
FORT WORTH, TEXAS 76112  
OFFICE: 817.446.1364 / FAX: 817.446.1307  
E-MAIL: taylorj@ecolga.net

CONTRACTOR  
**MILLER'S METAL BUILDING AND CONST., INC.**  
415 NORTH BURLESON BLD.  
BURLESON, TEXAS 76028  
817-285-6022

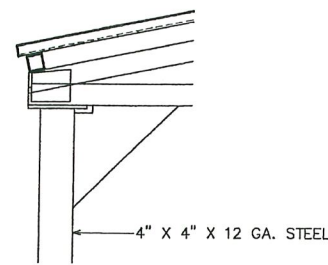
PROPOSED METAL BUILDING FOR  
**JENNIFER CLARK**  
**25' x 40' METAL BUILDING**  
630 BANGROFT ROAD  
KELLER, TEXAS 76248

JOB NO. 2019  
DRAWN BY: JET  
CHECK BY: JET/EF  
DATE: 4/29/2019

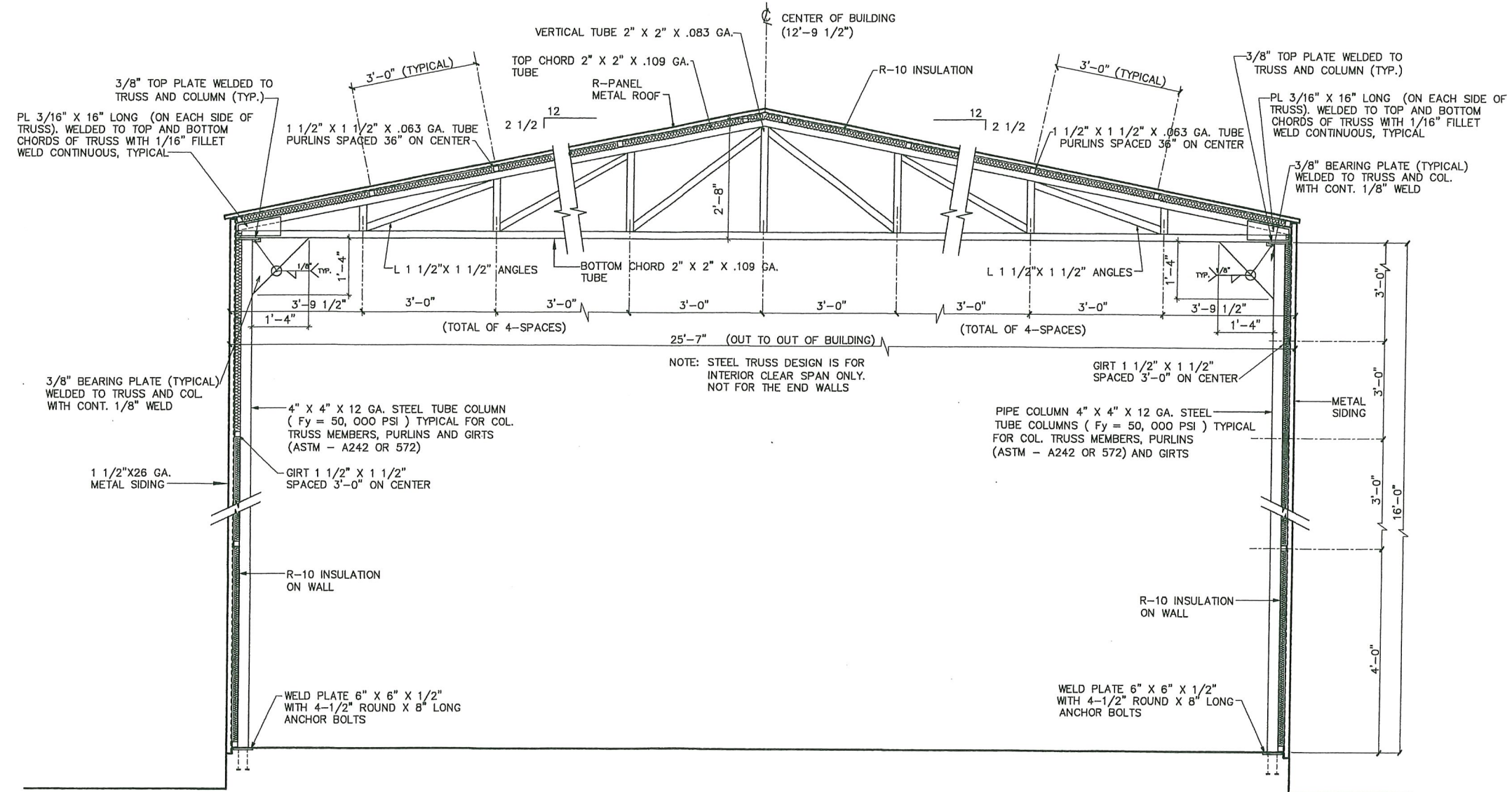
- SHEET TITLE:**
- FLOOR PLAN
  - FOUNDATION PLAN / DETAILS
  - ROOF FRAMING PLAN

STATE OF TEXAS  
REGISTERED PROFESSIONAL ENGINEER  
EDWARD FAGGETT  
37209  
4/29/2019

SHEET NO.  
**A1.0**  
OF 2



**2** DETAIL  
SCALE: NOT TO SCALE



**1** TYPICAL TRUSS WALL SECTION  
SCALE: NOT TO SCALE

REVISIONS	
DATE	RESPONSE

**E. M. FAGGETT ENGINEERING**  
104 OAK TRAIL  
RENDON, TEXAS 76028  
PHONE: 817-446-1364  
FIRM REGISTRATION NO. F-11761

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OFFICE: 817-446-1364 / FAX: 817-446-1307  
E-MAIL: [jtaylor7677@boglobol.net](mailto:jtaylor7677@boglobol.net)

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415 NORTH BURLISON BLVD.  
BURLISON, TEXAS 76028  
817-295-6022

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FOR  
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JOB NO.	2019
DRAWN BY:	JET
CHECK BY:	JET/EF
DATE:	4/29/2019

SHEET TITLE:  
■ WALL SECTION

STATE OF TEXAS  
EDWARD FAGGETT  
REGISTERED PROFESSIONAL ENGINEER  
37209  
*Edward Faggett*  
4/29/2019

SHEET NO.  
**A2.0**  
OF 2

# JOHN TAYLOR & ASSOCIATES

6800 BRENTWOOD STAIR ROAD, SUITE 201

FORT WORTH, TEXAS 76112

(817) 446-1364 Office

(817) 446-1307 Fax

May 10, 2019

City of Keller, Texas  
Attn: Planning & Development Department  
1100 Bear Creek Parkway  
Keller, Texas 76248

Re: Metal Building  
Jennifer Clark, owner  
630 Bancroft Road  
Keller, Texas 76248

Attn: Planning Department:

In referenced to the above building project, it was designed and engineered slab to meet the 2015 (IBC) International Building Code.

If you have any questions, please call me at (817) 446-1364 or email me at [taylor7677@sbcglobal.net](mailto:taylor7677@sbcglobal.net)

Sincerely,



John Taylor, Designer  
JET

Project Engineer:  
Edward Faggett, PE  
#37209

