

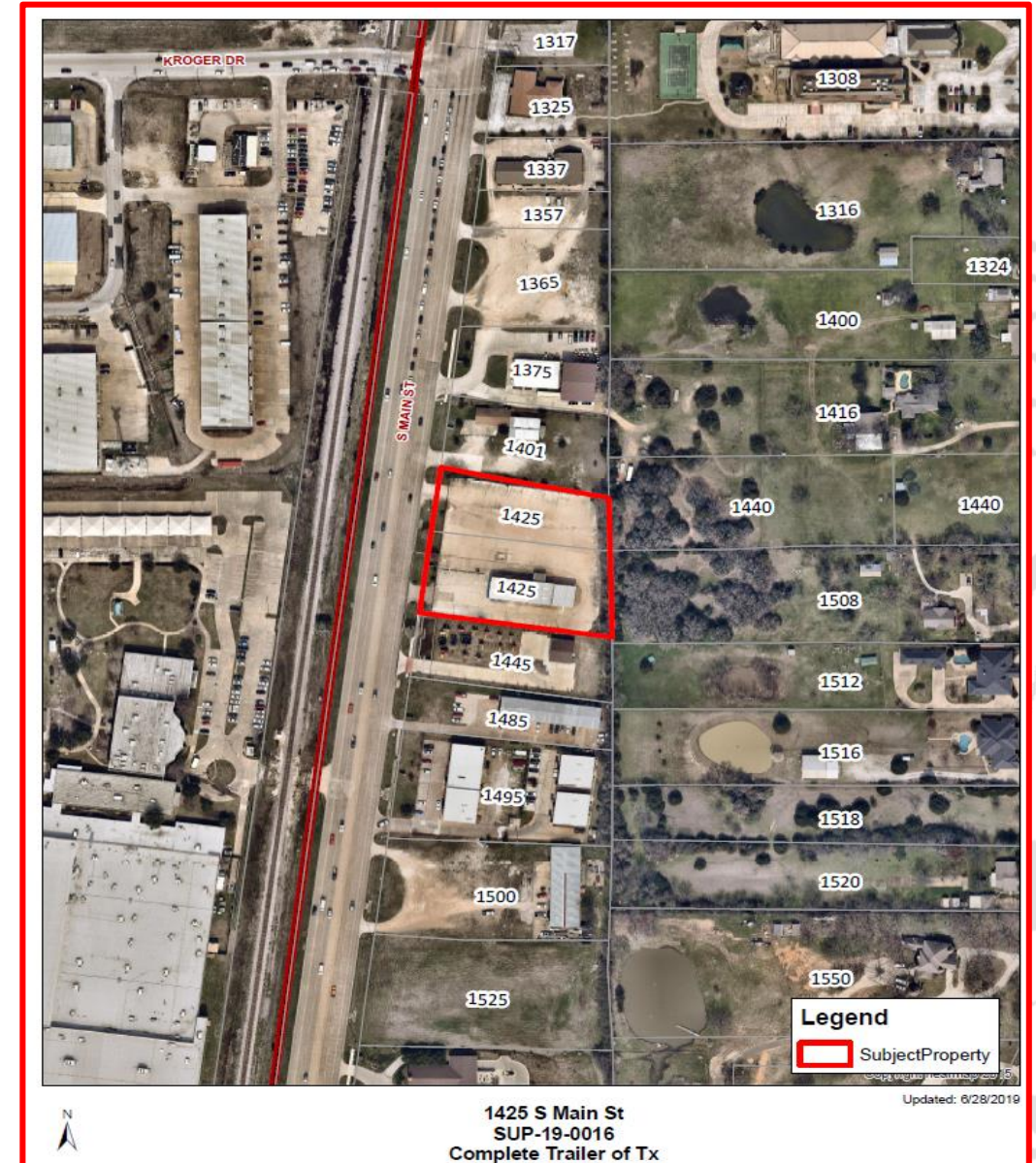
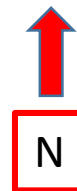
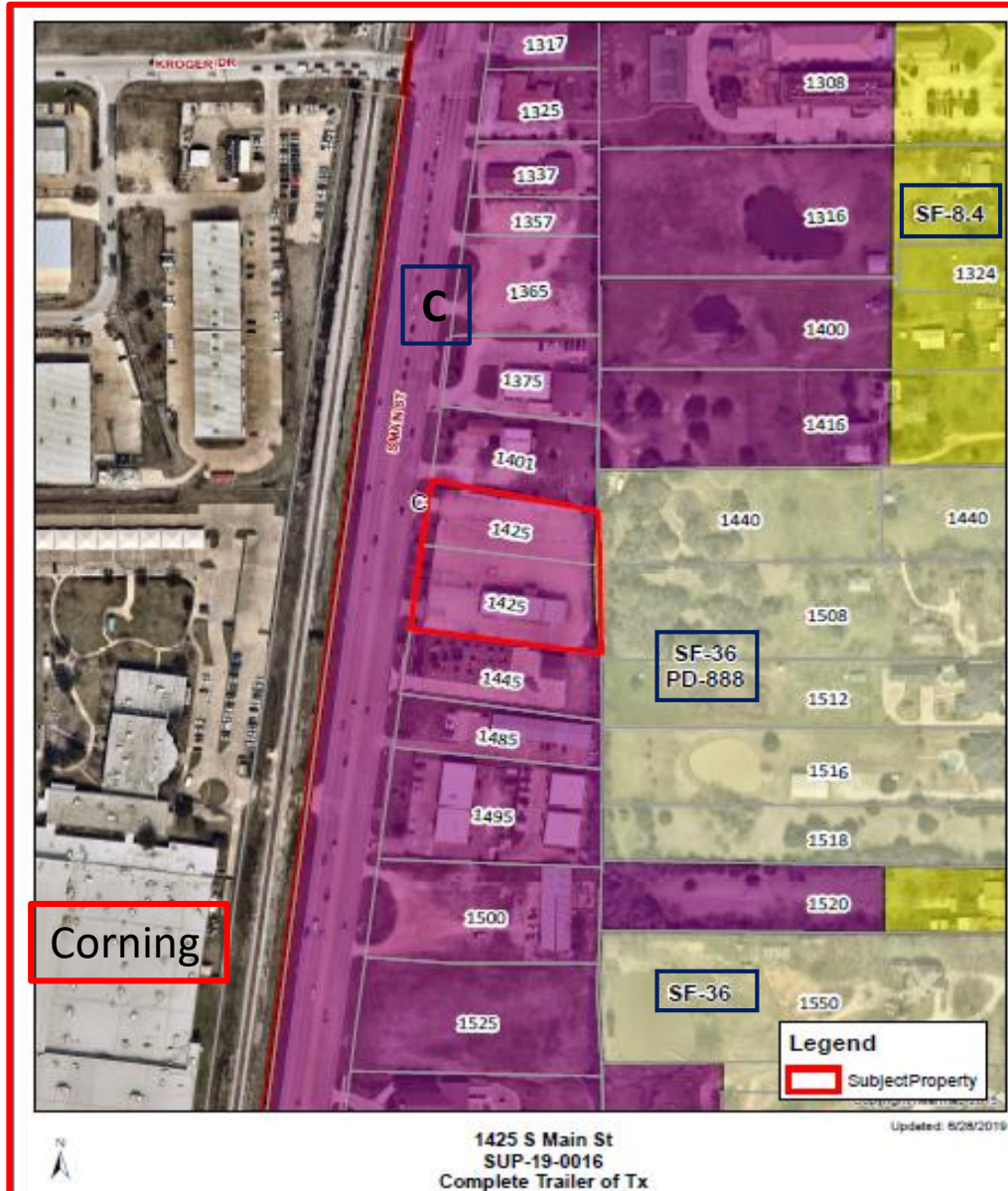
Item H-3

PUBLIC HEARING: Consider an ordinance for a Specific Use Permit (SUP) to allow the use of “outside storage” for the business, Complete Trailers, located on a 1.72-acre-lot on the east side of South Main Street, approximately 1,300 feet north from the intersection of South Main Street and Calverley Place, being A.W. Crisp, Jr Addition, Lot 1A and 2A, Block 1, at 1425 South Main Street (Account # 04986458) zoned (C) Commercial. Complete Trailers, applicant; Woodall Properties, owner (SUP-19-0015).

Zoning Map

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Aerial Map

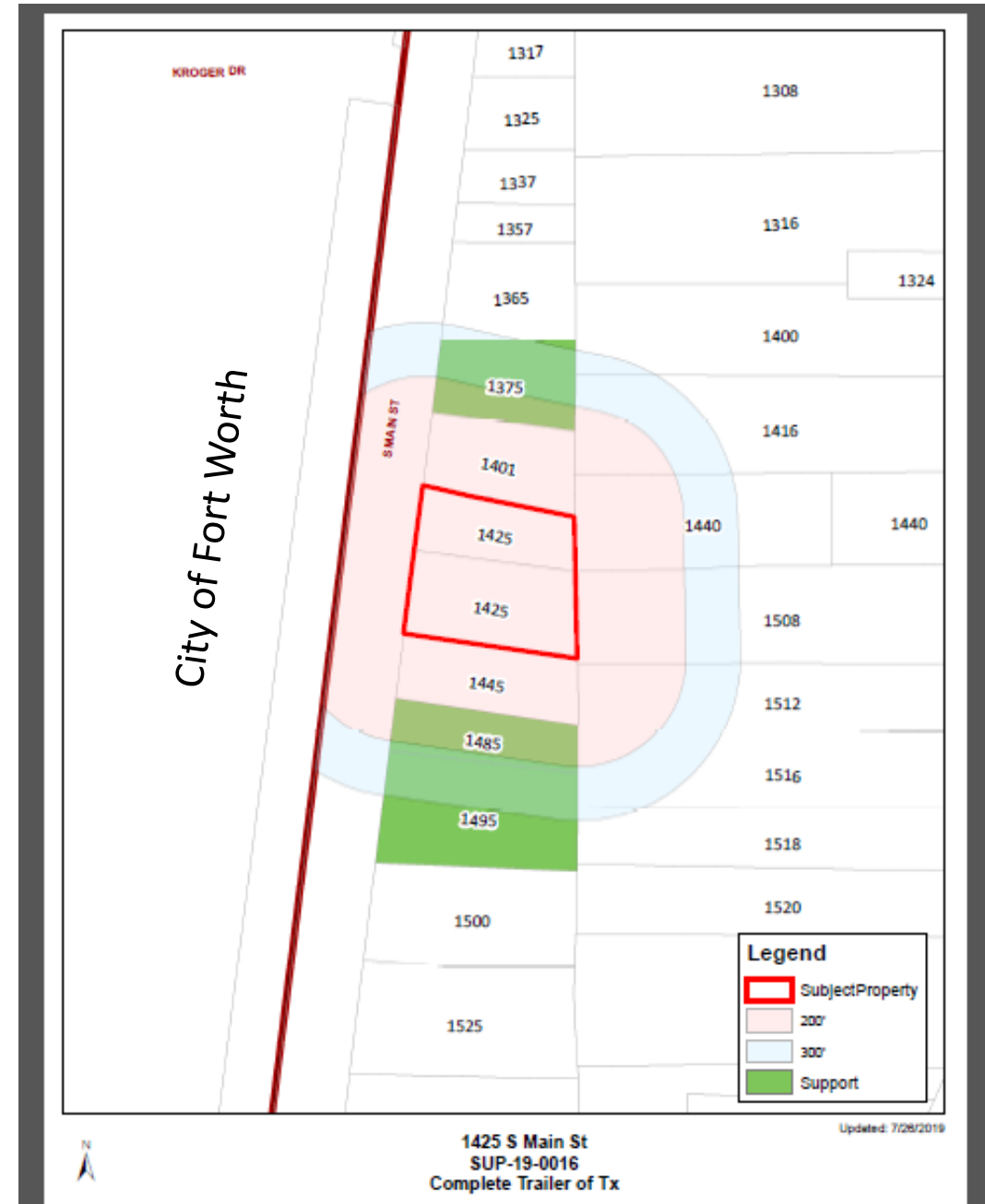


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On June 28, 2019, the City mailed out 12 letters of notification for a Public Hearing to all property owners within 300-feet of the subject property.

A public hearing sign was also posted on the property.

As of August 2, 2019, Staff has not received any opposition regarding this SUP and has received three letters of support (in green). Two of the three support letters are from Fort Worth addresses.



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United Rentals previously occupied the building from 1996 to early 2018.

The building is currently vacant.

The Owner is renovating the existing structure: thin brick on the exterior, parapets to screen the HVAC, and large irrigated potted plants placed around the perimeter of the building.

The Owner will also add additional trees and shrubbery to aid in screening the iron fencing on the west side and is working with TX DOT for the construction of the sidewalk along US 377.



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Section 8.04 (B.2.a) of the UDC states that when considering an SUP request, Planning and Zoning Commission and City Council shall consider the following factors:

1. The use is harmonious and compatible with surrounding existing uses or proposed uses.
2. The activities requested by the applicant are normally associated with the permitted uses in the base district.
3. The nature of the use is reasonable and appropriate in the immediate area.
4. Any negative impact on the surrounding area has been mitigated.
5. Any additional conditions specified ensure that the intent of the district purposes are being upheld.

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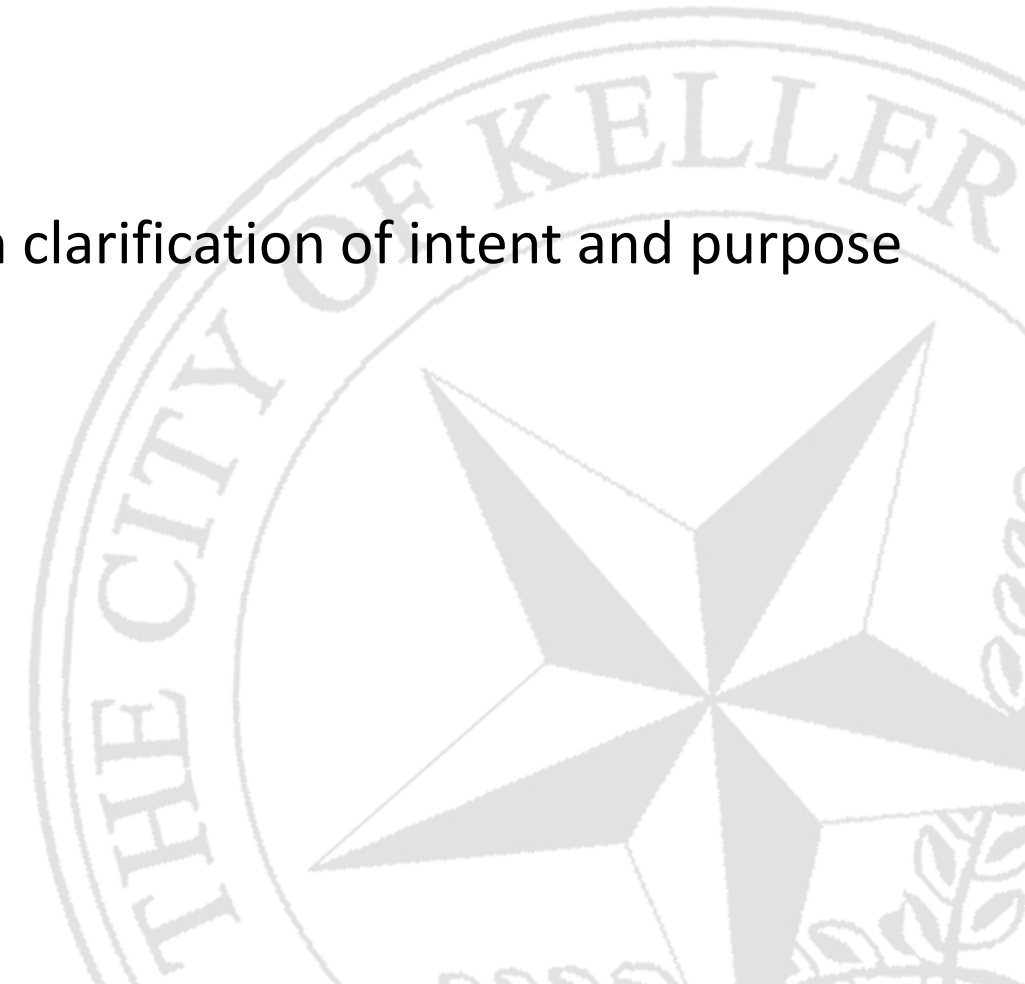
The Planning and Zoning Commission recommended approval by a vote of 6-0 on July 8, 2019.



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The City Council has the following options when considering an SUP:

- Approve
- Approve with modifications or conditions
- Table the agenda item to a specific date with clarification of intent and purpose
- Deny





Questions?
Julie Smith
817-743-4129

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