



Keller Future Land Use Plan

UPDATE >>> PROGRESS THROUGH PARTICIPATION



Why Update the FLUP?

- Current FLUP (1998) is outdated
- Alignment needed with current development patterns
- Confusion among developers regarding current FLUP
- Inconsistencies between the current FLUP and Zoning
- Clarity needed for development related decision making



Schedule

As of September 2019

City Council Work Session <i>Purpose: To present summary of public input, findings, goals and objectives, and preliminary FLUP map in preparation for Public Meeting #1 (90 minutes)</i>	August 7, 2018	✓
Public Meeting #1	September 25, 2018	✓
Posting of Draft FLUP Map for Public Comment	September 25, 2018 – October 24, 2018	✓
Public Meeting #2 <i>Purpose: To present draft FLUP to the community</i>	October 24, 2018	✓
Public Hearing with P&Z <i>Purpose: P&Z consideration</i>	December 10, 2018	✓
Public Hearing with City Council <i>Purpose: Council consideration</i>	December 18, 2018	Public Hearing continued and item TABLED
P&Z Considered and Voted on FLUP Update <i>Purpose: P&Z recommendation to Council</i>	January 14, 2019	5-2 recommended approval
Public Hearing with City Council <i>Purpose: Council adoption</i>	January 15, 2019	TABLED
City Council Work Session <i>Purpose: To receive an update from Task Force Chairman, Tag Green</i>	February 19, 2019	✓
FLUP Task Force <ul style="list-style-type: none"><i>Purpose: To discuss Parks & Open Space, Estate Residential, and Mixed Use</i>	February 26, 2019	✓
FLUP Task Force <i>Purpose: To discuss Parks & Open Space, Estate Residential, and Mixed Use</i>	April 9, 2019	✓
City Council Work Session <i>Purpose: To receive an update from Task Force Chairman, Tag Green and member Eric Schmidt</i>	May 7, 2019	✓
City Council Work Session <i>Purpose: To receive an update from Task Force Chairman, Tag Green</i>	May 21, 2019	✓
City Council Work Session <i>Purpose: To discuss FLUP Update</i>	June 13, 2019	✓

MEETING/EVENT	DATE	COMPLETE
Joint Council and P&Z Kick Off <i>Purpose: Discuss project goals and collect visioning input from Council</i>	March 12, 2018	✓
Website Launch <i>Council input on survey completed one week prior to launch.</i>	March 27, 2018	✓
Meetings-In-A-Box Delivered <i>Council input on boxes completed one week prior to launch.</i>	April 9, 2018	✓
Public Input Meeting #1 <i>Purpose: To solicit community input (meeting location: Ridgeview Elementary)</i>	April 4, 2018	✓
Public Input Meeting #2 <i>Purpose: To solicit community input (meeting location: Hidden Lakes Elementary)</i>	April 10, 2018	✓
Public Input Meeting #3 <i>Purpose: To solicit community input (meeting location: Willis Lane Elementary)</i>	April 12, 2018	✓
Online Survey Open	April 12, 2018	✓
Keller Crawfish Krawl	April 14, 2018	✓
Public Input Meeting #4 <i>Purpose: To solicit community input (meeting location: Keller Town Hall)</i>	April 16, 2018	✓
Public Input Meeting #5 <i>Purpose: To solicit community input (meeting location: Keller Library)</i>	April 19, 2018	✓
KellerFest	April 28, 2018	✓
Online Survey Close	May 14, 2018	✓
Task Force Meeting <i>Purpose: To review public input results with the Task Force</i>	June 7, 2018	✓
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FLUP Categories

Residential Category

Estate Residential



Single-Family 36



Single-Family 25/20



Single-Family 15/12



Single-Family 8.4



Single-Family 3



Nonresidential Category

Mixed Use



Office



Retail/Commercial



Tech/Flex Industrial



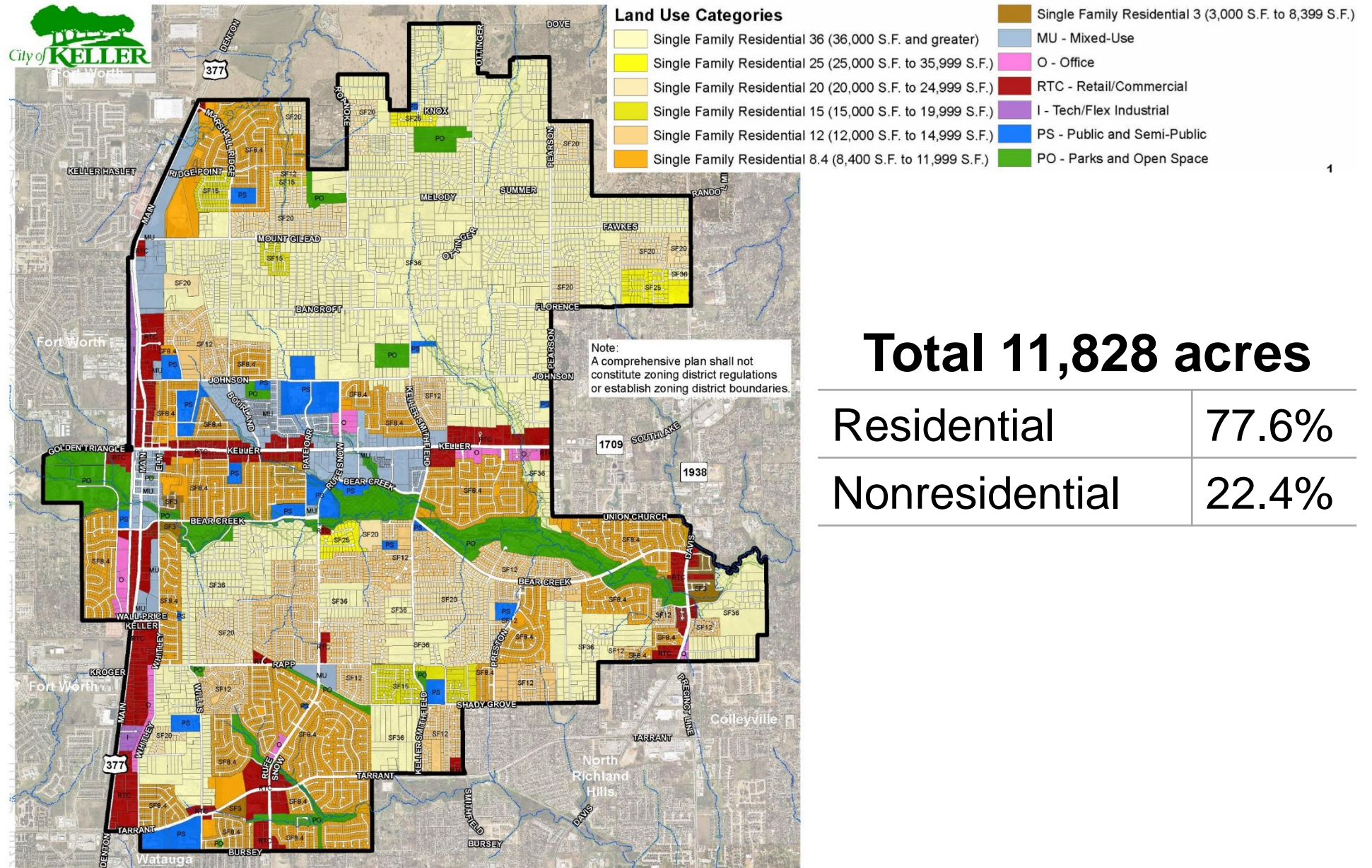
Public/Semi-Public



Parks and Open Space



FLUP Map



Future Growth and Buildout

- Buildout is calculated based on the proposed FLUP Map
- Ultimate projected buildout population – 51,580
- With a growth rate of 1.5% or 1.75%, buildout is likely to occur between 2025 and 2028

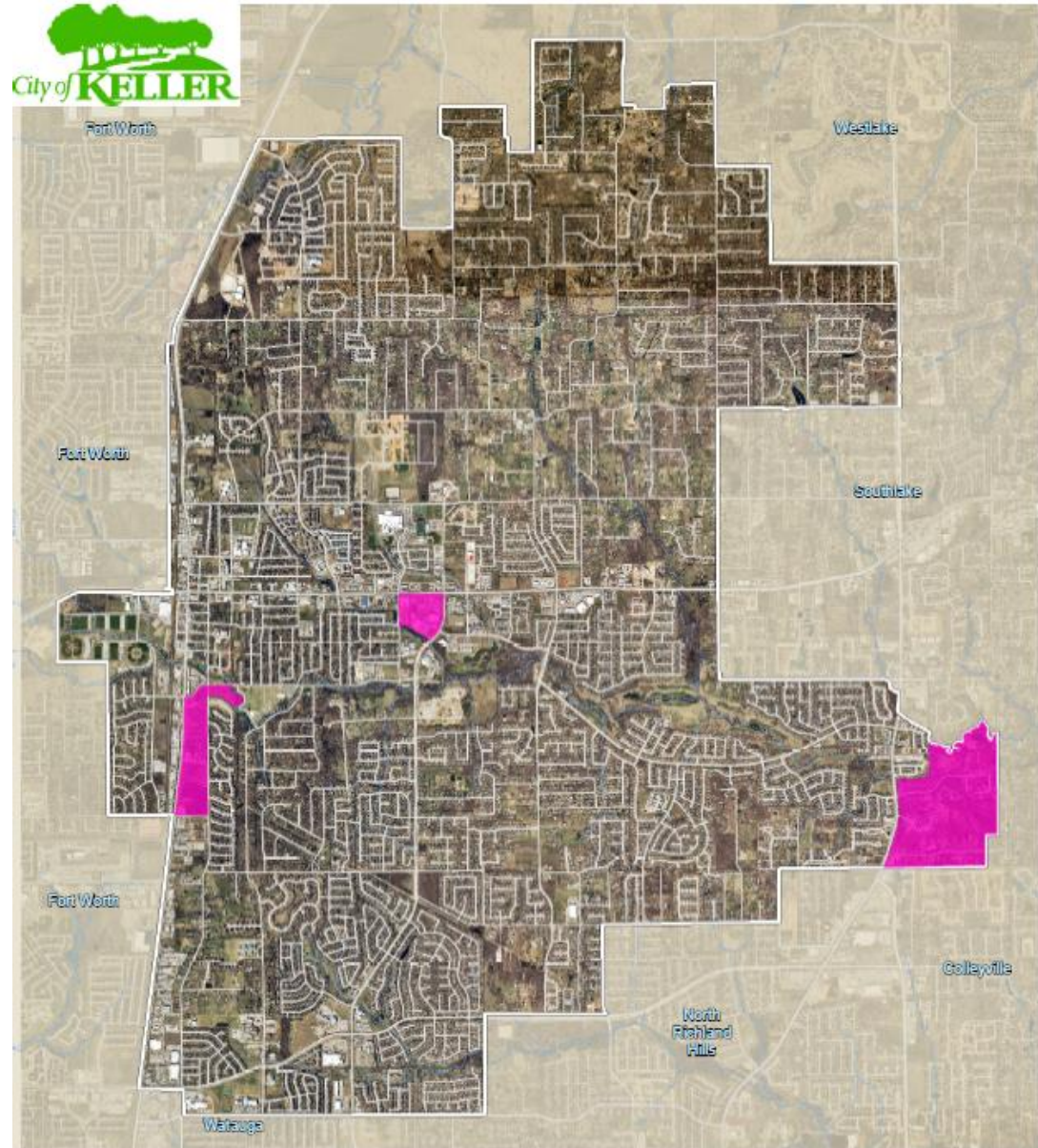


Catalyst Areas

Catalyst sites provide opportunity for mix of uses and something different in Keller.

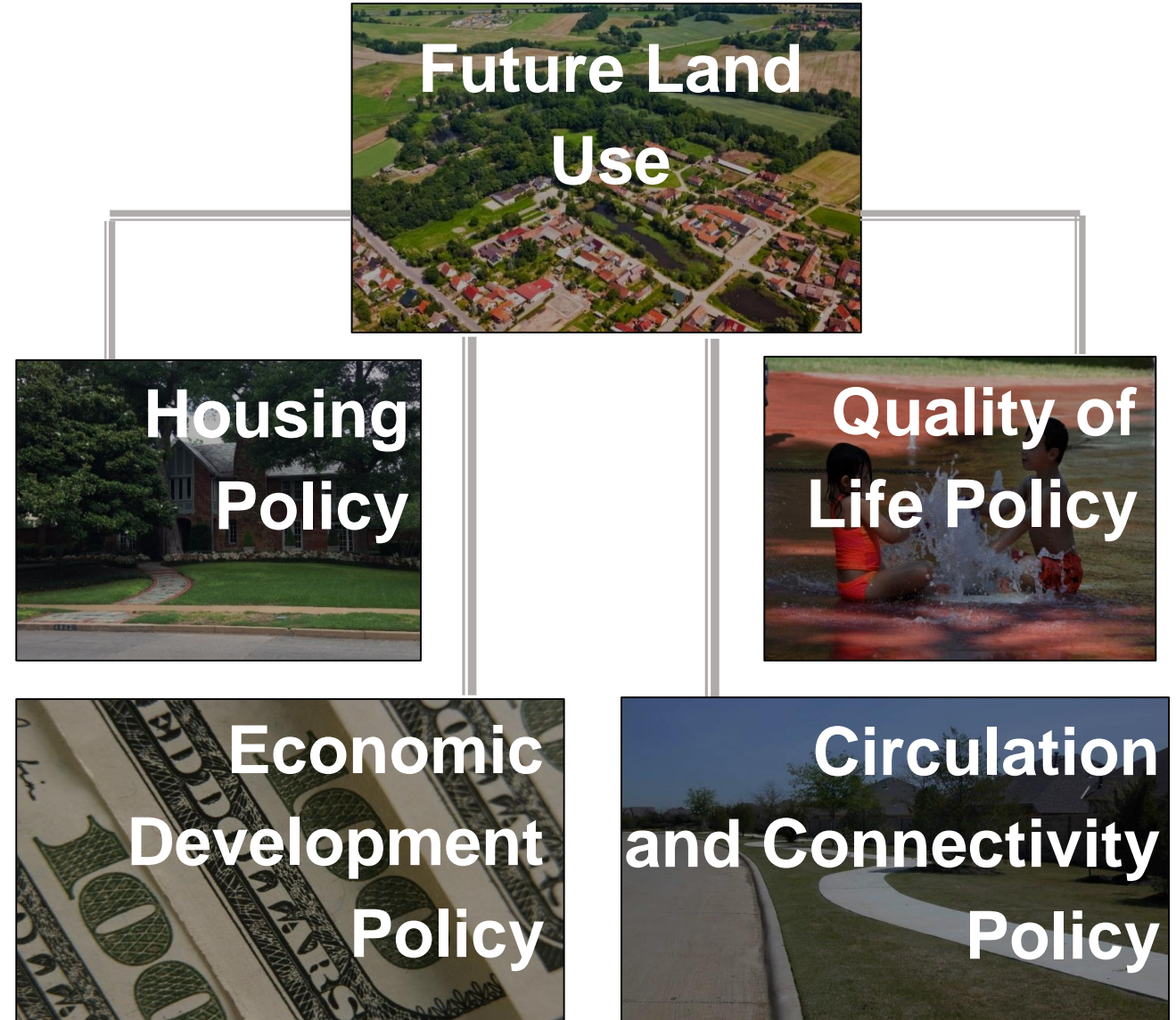
Designated Catalyst Areas

- Catalyst Area – East
- Catalyst Area – Central
- Catalyst Area - West



Overarching Themes

- 11 Goals
- 19 Objectives
- 50 Recommendations



FLUP Comparison Table

Rounding decimals may cause minor inaccuracies

Current FLUP Categories	Acres	% of Subtotal	% of Total	Proposed FLUP Categories	Acres	% of Subtotal	% of Total	Change in Acreages	Change in Total %
Low Density – Single Family (25,000 SF and greater)	5,031	53.8%	42.5%	Single Family Residential 36	4,399	47.9%	37.2%	-494	-4.2%
				Single Family Residential 25	138	1.5%	1.2%		
Medium Density – Single Family (15,000 SF and greater)	1,782	19.0%	15.1%	Single Family Residential 20	902	9.8%	7.6%	-679	-5.7%
				Single Family Residential 15	201	2.2%	1.7%		
High Density – Single Family (12,000 SF to 14,999 SF)	2,543	27.2%	21.5%	Single Family Residential 12	1,099	12.0%	9.3%	1,444	-12.2%
-	-	-	-	Single Family Residential 8.4	2,374	25.8%	20.0%	2,374	20.1%
-	-	-	-	Single Family Residential 3	69	0.8%	0.6%	69	0.6%
Residential Subtotal	9,356	100.0%	79.1%	Residential Subtotal	9,182	100.0%	77.6%	-174	-1.5%
Mixed-Use	452	18.3%	3.8%	Mixed-Use	636	24.0%	5.4%	169	1.4%
Mixed-Use or Industrial/Commercial	15	0.6%	0.1%						
Office	170	6.9%	1.4%	Office	125	4.8%	1.1%	-45	-0.4%
Retail	557	22.5%	4.7%	Retail/Commercial	723	27.3%	6.1%	165	1.4%
Retail or Industrial/Commercial	1	0.1%	0.0%						
Industrial/Commercial	393	15.9%	3.3%	Tech/Flex Industrial	63	2.4%	0.5%	-330	-2.8%
Public and Semi-Public	282	11.4%	2.4%	Public and Semi-Public	360	13.6%	3.0%	78	0.7%
Parks and Open Space	601	24.3%	5.1%	Parks and Open Space	739	27.9%	6.3%	138	1.2%
Nonresidential Subtotal	2,472	100.0%	20.9%	Nonresidential Subtotal	2,646	100.0%	22.4%	174	1.5%
Total	11,828	-	100.0%	Total	11,828	-	100.0%	-	-

FLUP Update Changes by Council

#1

Residential Category

Estate Residential



Single-Family 36



Single-Family 25/20



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Single-Family 3



FLUP Update Changes by Council

#1 Residential Category

Estate Residential



Single-Family 36



Single-Family 25/20



Single-Family 15/12



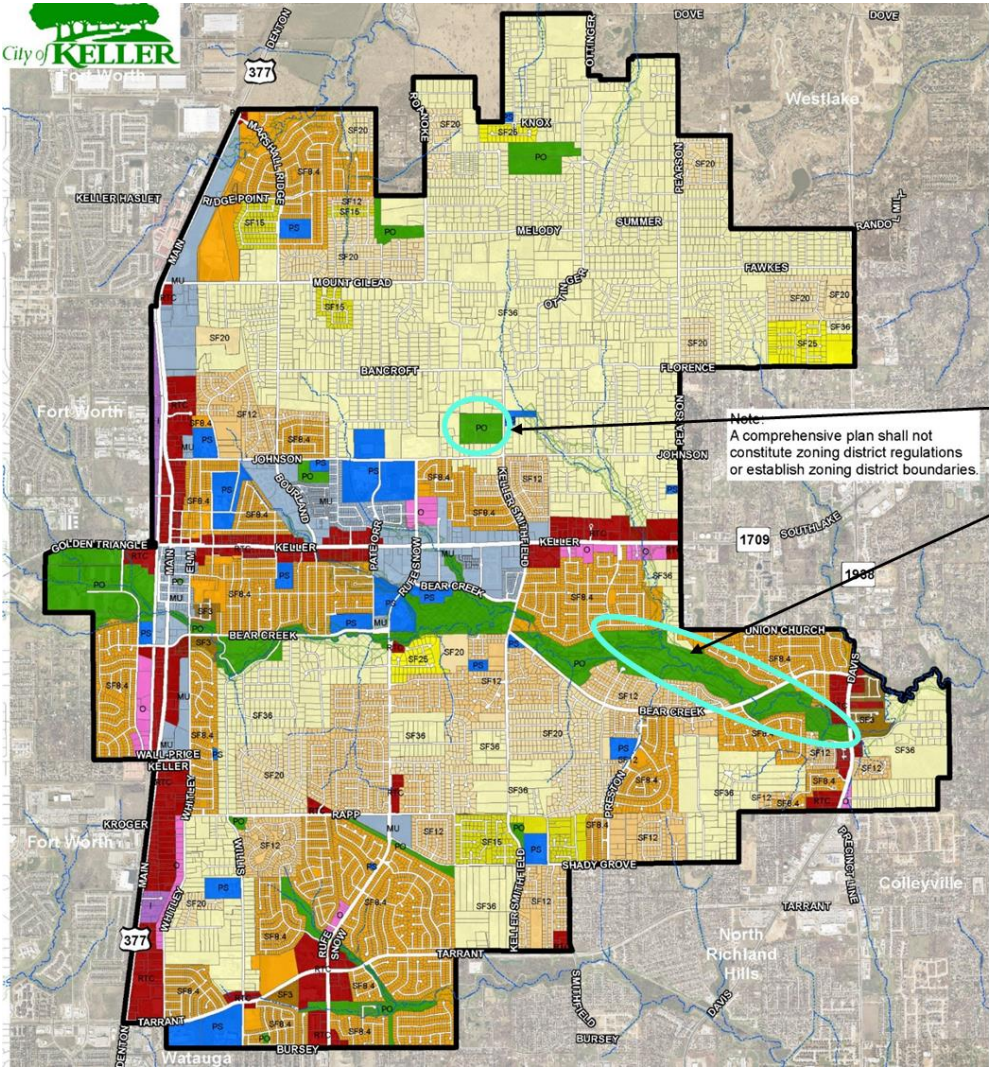
Single-Family 8.4



Single-Family 3



#2



The Birch
Racquet &
Lawn Club

Sky Creek
Ranch Golf
Club

Mixed-Use Category

#1

As currently reads in the Draft FLUP Update

This land use category is intended to create unique community destinations and allow for a mix of residential and nonresidential uses that are developed in an efficient and creative manner. Mixed use areas are envisioned to be an integration of retail/commercial, office, entertainment, residential units, and open space blended in either a horizontal or vertical configuration. Horizontal mixed use generally contains nonresidential and residential land uses in multiple buildings. Vertical mixed use generally contains nonresidential and residential land uses in a single building, with nonresidential on the ground floor and residential on the upper floors.

#2

As proposed by Task Force and P&Z Commission

A Land Use categorization providing for more than one use or purpose within a shared building or development area. Distinct Mixed-Use / Keller Specific land use excludes multi-family rental residential (apartments) as a housing component. DMU/KS may include combinations of office, retail, dining, medical, recreational, commercial, or industrial components, or housing as a secondary component.

In cases where housing is to be considered:

- 1) Requires approval by Planning & Zoning Commission and City Council within a Planned Development
- 2) The housing component must be individual ownership.
- 3) Must provide commitments for commercial components by signed leases, contracts, or letters of intent prior to commencement of housing component.

Exception

- a) Where the underlying existing zoning permits multi-family or other residential zoning, DMU/KS may include multi-family components or components permitted within the UDC for the specific existing zoning.

Mixed-Use Category

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Mixed-Use Category

#3 As proposed by Staff at the request of City Council

This land use category is intended to create unique community destinations and allow for a mix of residential and nonresidential uses that are developed in a creative manner through the use of a Planned Development zoning tool. Mixed use areas are envisioned to be an integration of retail/commercial, office, entertainment, residential units, and open space blended in either a horizontal or vertical configuration. Planned Development zoning is provided in the Unified Development Code (UDC) to include the regulation of multi-family residential components of mixed-use depending on the design and transition between different uses and the location of the development.

Mixed-Use Category

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This land use category is intended to create unique community destinations and allow for a mix of residential and nonresidential uses that are developed in a [creative manner through the use of a Planned Development zoning tool](#). Mixed use areas are envisioned to be an integration of retail/commercial, office, entertainment, residential units, and open space blended in either a horizontal or vertical configuration. [Planned Development zoning is provided in the Unified Development Code \(UDC\) to include the regulation of multi-family residential components of mixed-use depending on the design and transition between different uses and the location of the development.](#)

Proposed FLUP Map

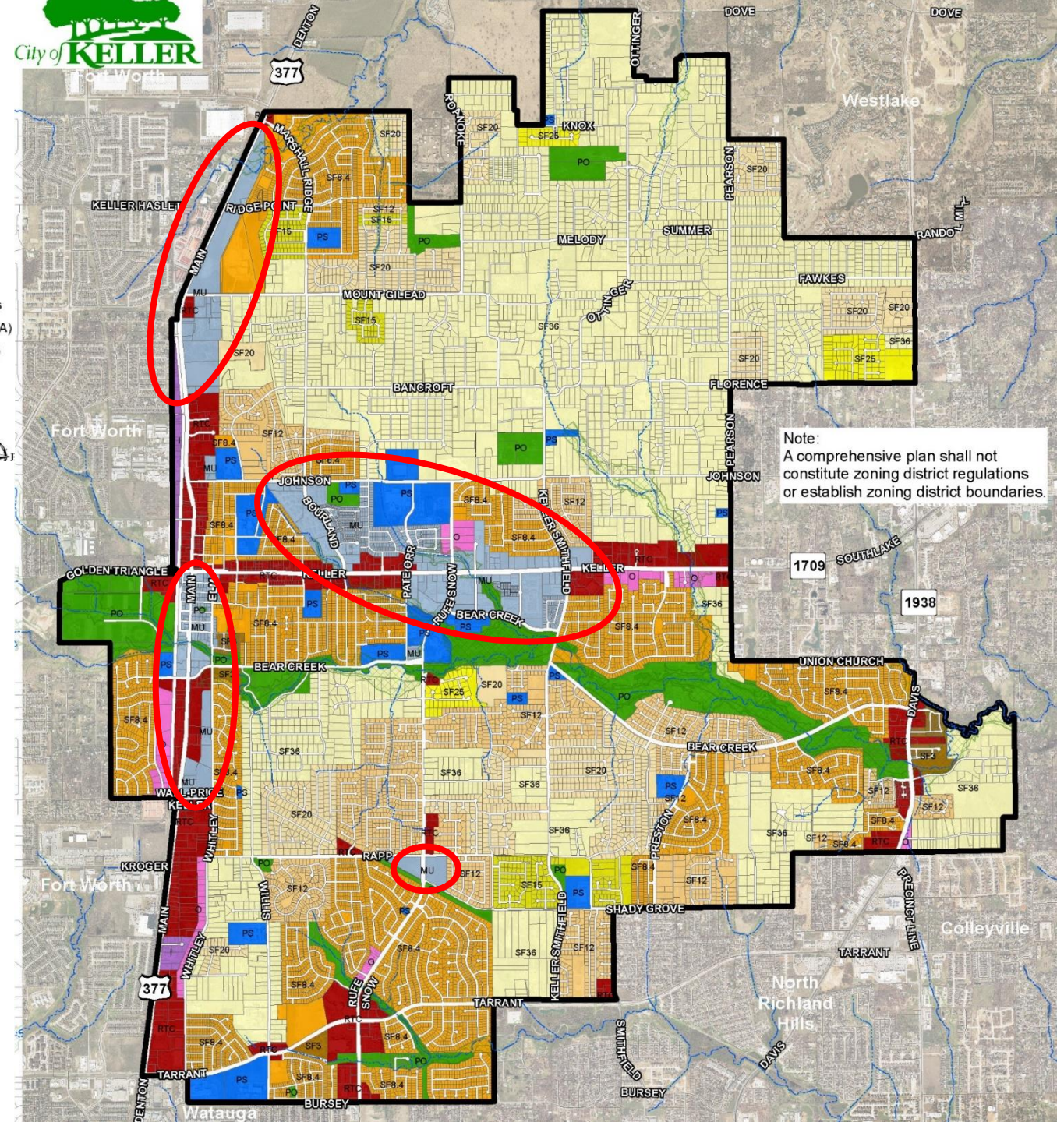
Mixed Use Areas

Future Land Use

Land Use Categories

Single Family Residential 36 (36,000 S.F. and greater)	Single Family Residential 3 (3,000 S.F. to 8,399 S.F.)	Keller City Limits
Single Family Residential 25 (25,000 S.F. to 35,999 S.F.)	MU - Mixed-Use	Floodplain (FEMA)
Single Family Residential 20 (20,000 S.F. to 24,999 S.F.)	O - Office	Streams (FEMA)
Single Family Residential 15 (15,000 S.F. to 19,999 S.F.)	RTC - Retail/Commercial	
Single Family Residential 12 (12,000 S.F. to 14,999 S.F.)	I - Tech/Flex Industrial	
Single Family Residential 8.4 (8,400 S.F. to 11,999 S.F.)	PS - Public and Semi-Public	
	PO - Parks and Open Space	

1





PROGRESS THROUGH PARTICIPATION



Thank You!