

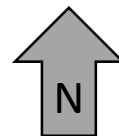
Item H-1

PUBLIC HEARING: Consider an ordinance approving a Specific Use Permit (SUP) for an accessory building, proposed to be a 2,160 square-foot accessory garage and workshop to exceed the maximum 15-foot height requirement and size ratio of fifty percent (50%) of the main structure, on an approximately 1.244-acre tract of land, located on the south side of Melody Lane, and approximately 1,000 feet east of the intersection of Roanoke Road and Melody Lane, being Lot 7R1, Melody Hills Estates Addition, at 1120 Melody Lane, and zoned Single-Family Residential-36,000 square-foot lot minimum (SF-36). Kevin and Marsha Holmes, owners/applicants.

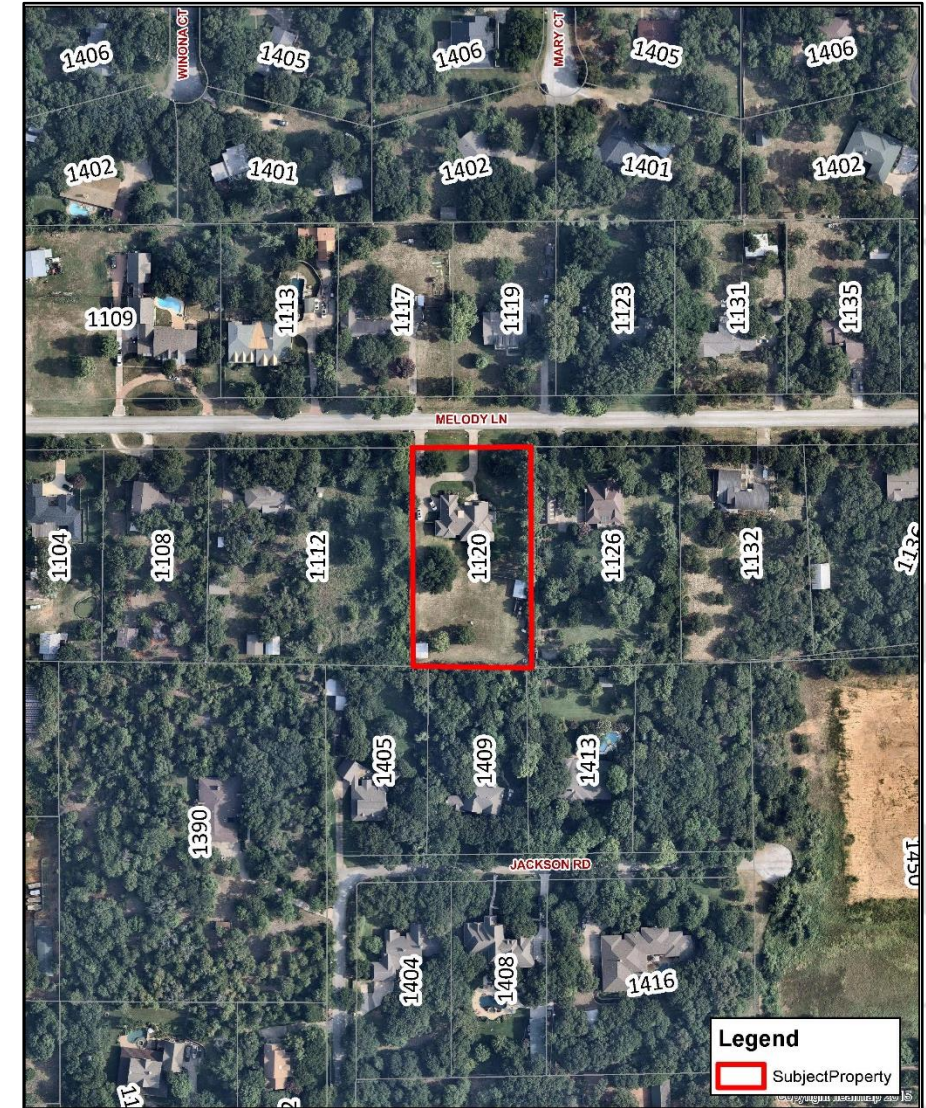
Item H-1 Zoning Map



SF-36

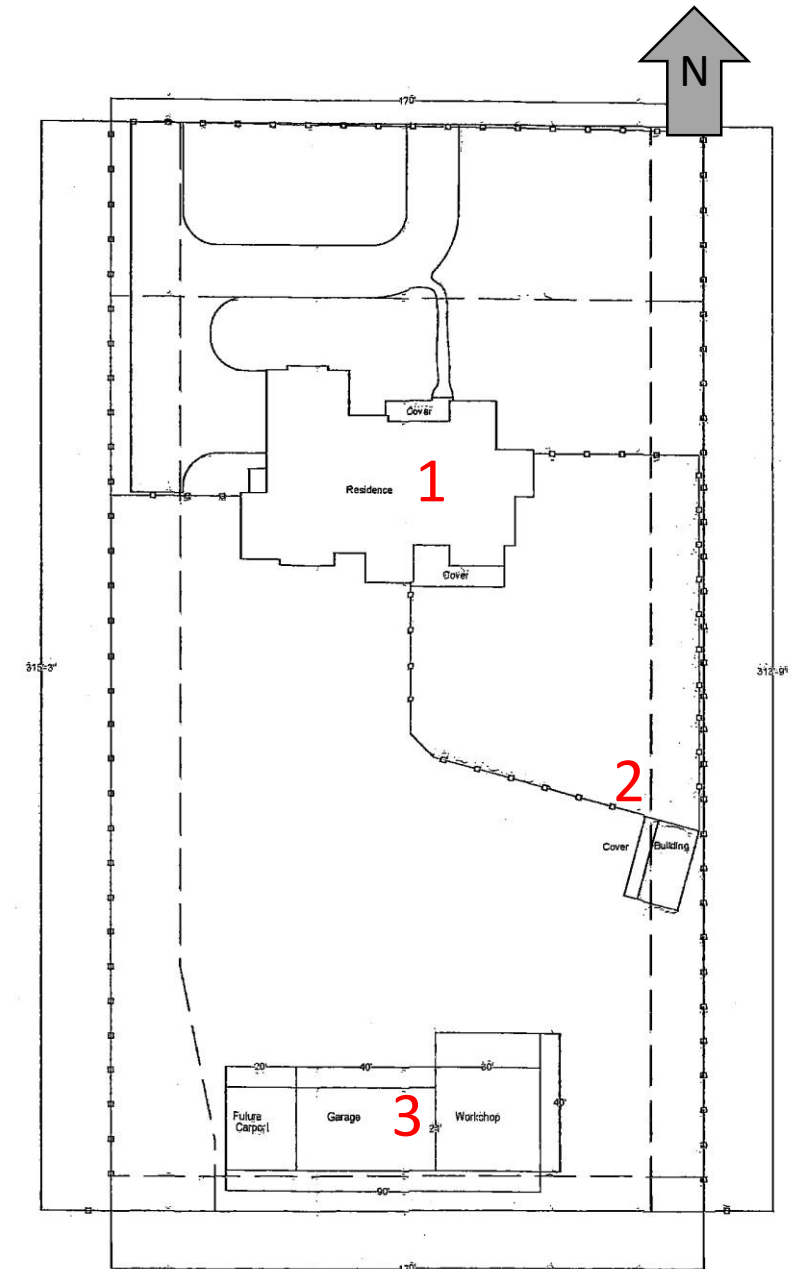


Item H-1 Aerial View



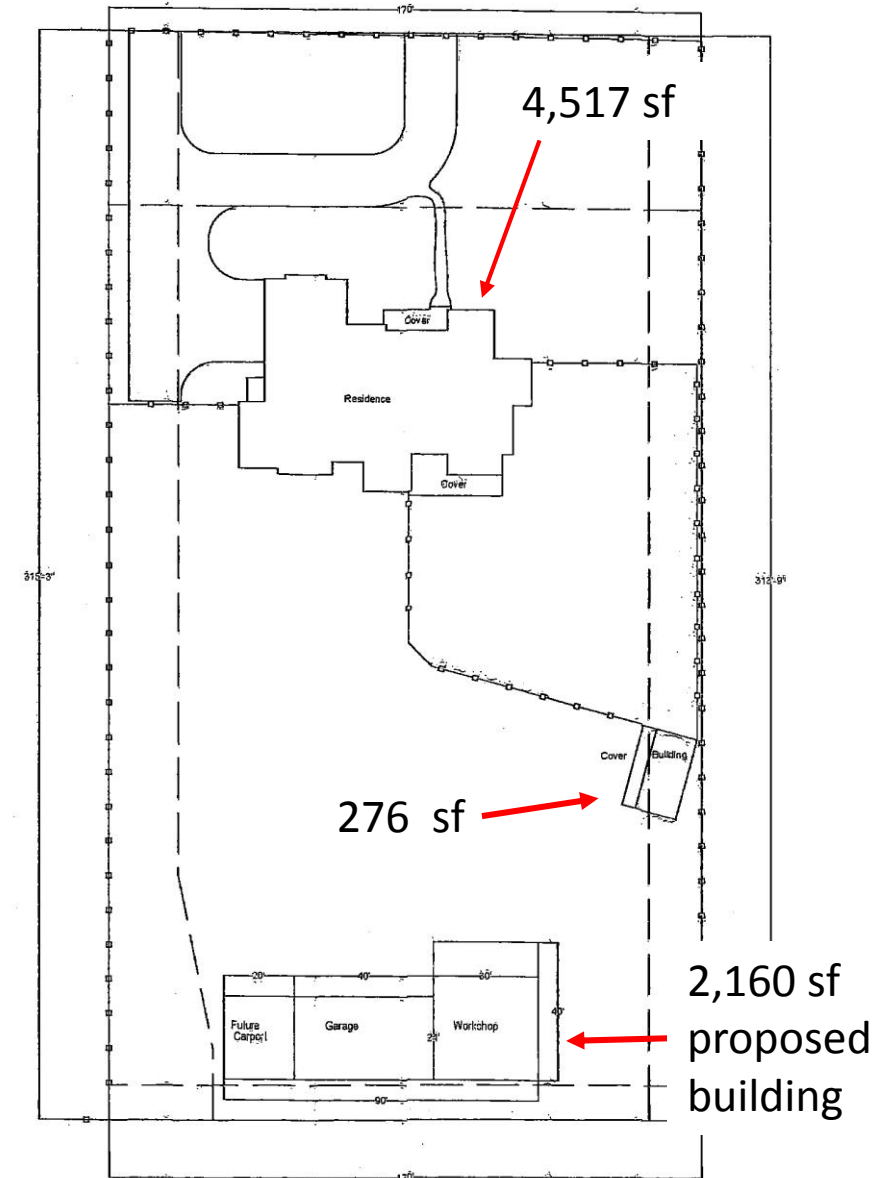
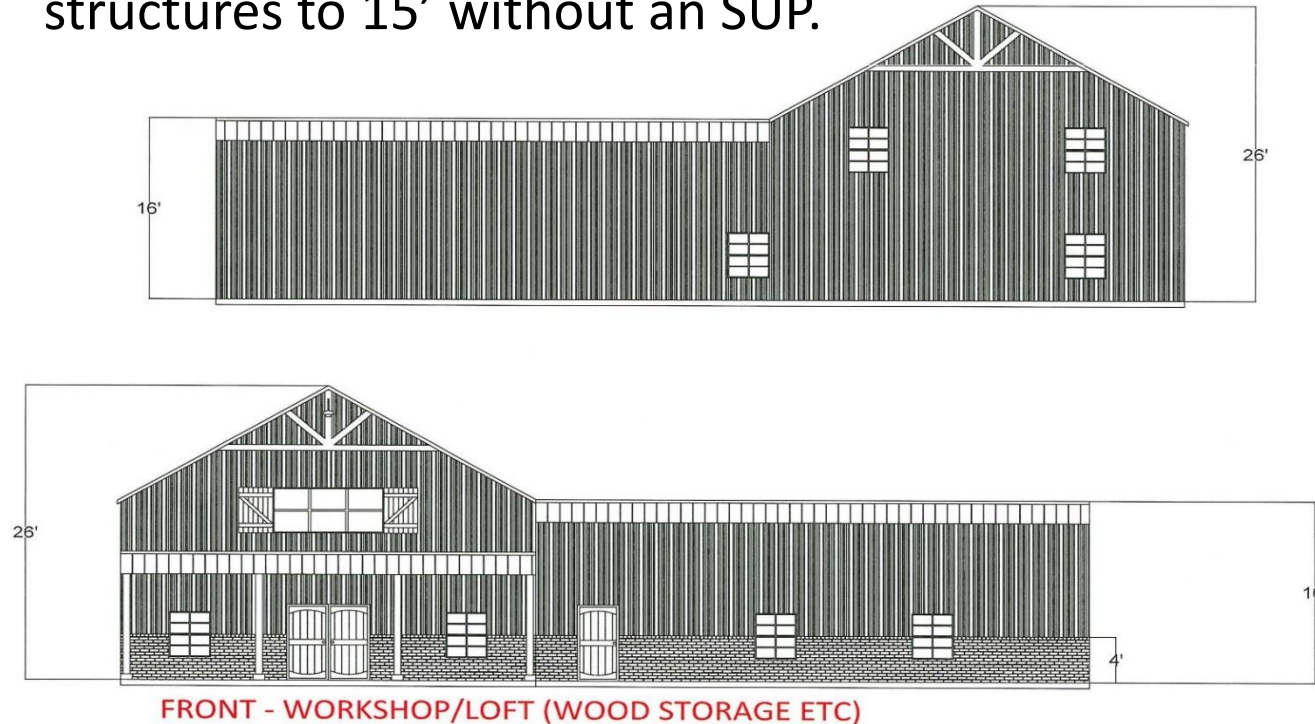
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1. Main home (4,517 sf)
 - Built in 2012
2. Community Pool Structure (276 sf)
 - Built in the 1970s
3. Proposed metal garage and workshop (2,160 sf)



Item H-1 – Three SUP Requests

1. Any building over 1,200 sq ft requires a SUP. The proposed accessory structure is **2,160** sf; 960 sf larger than allowed.
2. When the combined accessory structures' size exceeds the size of the main structure by more than 50%, an SUP is required.
3. Proposed height is **21'**; UDC limits height of accessory structures to 15' without an SUP.



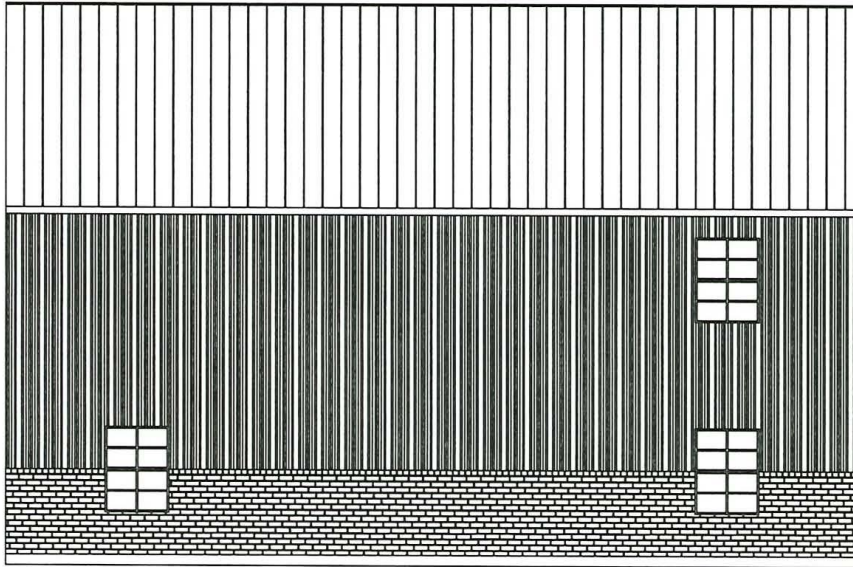
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The Applicant proposes white metal siding with a 4' brick veneer and cedar wood accents. **Material percentages were changed between P&Z and City Council.**

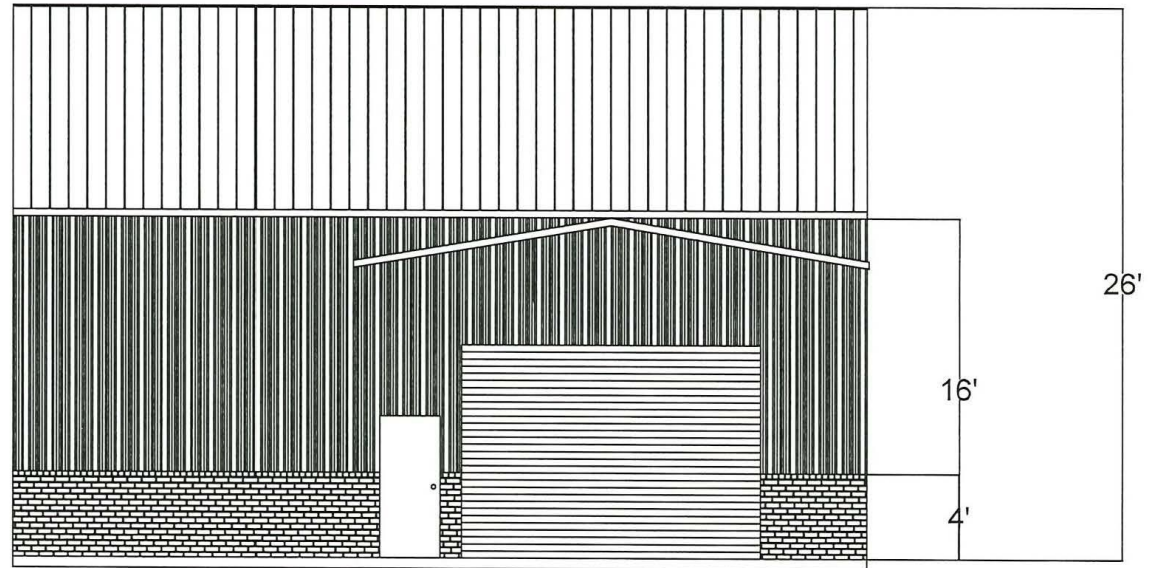


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The Applicant proposes the accessory building will be constructed out of white metal siding with a 4' brick veneer and cedar wood accents.



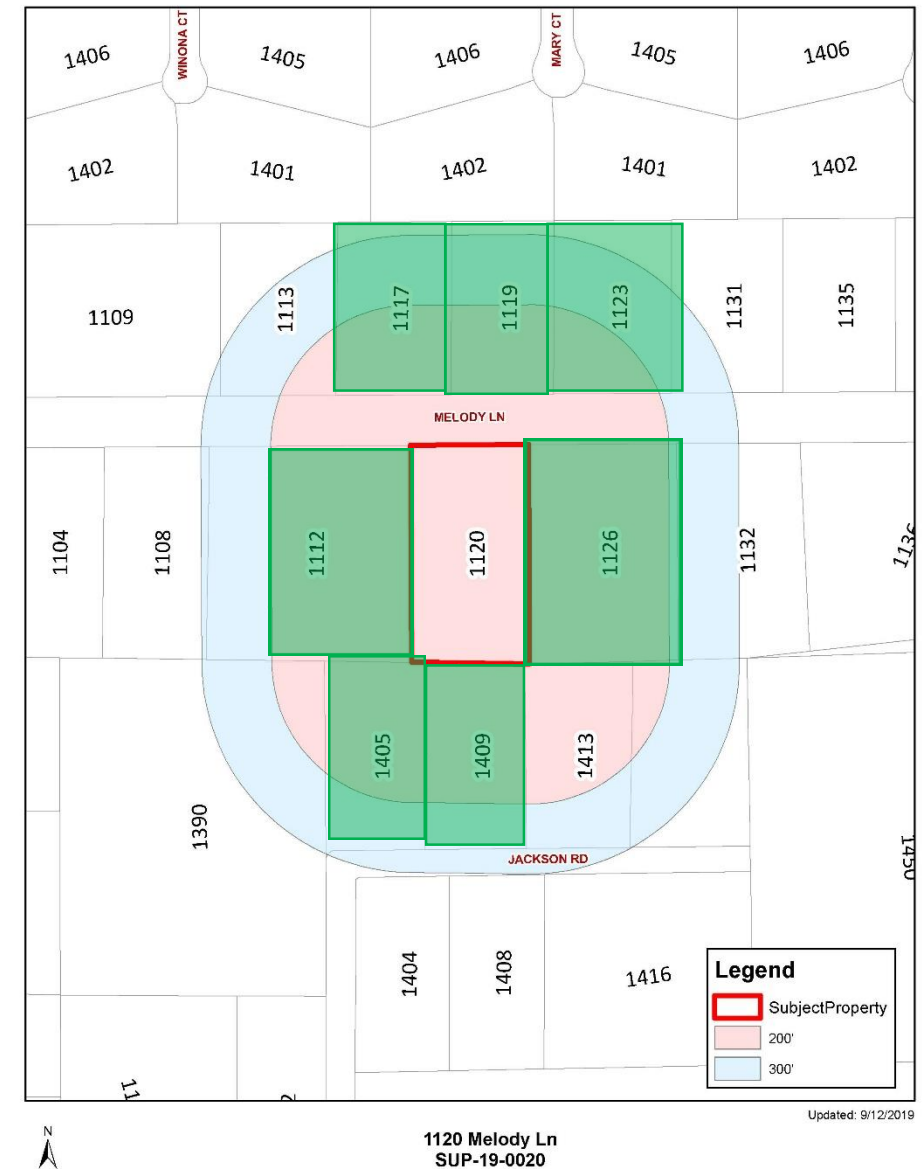
East – 25% Brick Veneer
75% Metal



West – 25% Brick Veneer
75% Metal

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- On September 13, 2019, the City mailed out 15 notification letters
- The Applicant supplied staff with a petition of support signed by adjacent property owners
- Staff has not received any responses directly from the public regarding these SUP requests



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The SF-36, Single Family Residential District – 36,000 is intended to promote and encourage a suitable environment for family life on large parcels of land used for agricultural purposes and single-family homes. This District is intended to encourage more open space, permeable surfaces, and greater setbacks with characteristics of semi-rural areas.

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Section 8.04 (B.2.a) of the UDC states that when considering a Specific Use Permit request, the Planning and Zoning Commission and City Council shall consider the following factors:

- 1) The use is harmonious and compatible with surrounding existing uses or proposed uses;
- 2) The activities requested by the applicant are normally associated with the permitted uses in the base district;
- 3) The nature of the use is reasonable and appropriate in the immediate area;
- 4) Any negative impact on the surrounding area has been mitigated; and
- 5) That any additional conditions specified ensure that the intent of the district properties are being upheld.

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- The Planning and Zoning Commission tabled the item at its September 23rd meeting, because the Commission expressed concern related to the significant variances that would be required for the proposed height and size of the structure. Also, the Commission noted that, while the Texas Legislature no longer permitted municipalities to regulate building materials, the proposed metal structure was not close to meeting the UDC requirements for masonry materials (80%). The Commission asked the Applicant to work with his builder to develop a building that more closely met the intent of the Code.
- The Applicant submitted a revised plan October 2, 2019
- The Planning and Zoning Commission recommended approval by a vote of 3-2 on Oct. 14, 2019.

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The material percentages presented to the Planning and Zoning Commission contained errors. Staff asked the Applicant to check the calculations. The Applicant recalculated the proposed materials for each elevation.

	P&Z		CC	
Elevation	Brick	Metal	Brick	Metal
North	35%	65%	21%	79%
West	52%	48%	25%	75%
East	36%	64%	25%	75%
South	0%	100%	0%	100%

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City Council has the following options when considering a Specific Use Permit:

- Approve of SUPs as submitted
- Approve with modified or additional conditions
- Table the agenda item to a specific date with clarification of intent and purpose
- Deny



Questions?
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817-743-4129

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