



CENTER STAGE

PLANNED DEVELOPMENT STANDARDS



ISSUE DATE:
November 29, 2019

A DEVELOPMENT BY:
REALTY CAPITAL MANAGEMENT, LP
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Irving, TX 75039
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PLANNING BY:
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Flower Mound, TX 75022
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DEVELOPMENT NARRATIVE

REALTY CAPITAL MANAGEMENT, LLC,
377
DEVELOPMENT NARRATIVE

Director of Planning
City of Keller
1100 Bear Creek Parkway
Keller, TX 76248

Re: Center Stage Planned Development
Keller, Texas

Director of Planning,

The project is located on the east side US 377 between Mount Gilead Rd and Ridge Point Parkway comprising approximately 38 acres adjacent to the Milestone Church. The intent of this project is to enhance the US 377 corridor with a project that includes a mixture of uses in an urban format, employing pedestrian oriented streets to connect living, working and entertainment uses within a walkable, tree-shaded environment.

As stated in the US Highway 377 North Overlay District, the area should:

"Create unique site design, building architecture, and streetscape that enhance the overall image of the corridor while remaining compatible with adjacent developed and planned residential neighborhoods."

Open spaces and streetscapes are most appealing when they are activated. Activation can take the form of destinations such as shopping, restaurants, or open spaces for leisure gathering, or simply by being filled with people. Center Stage PD proposes to use both strategies to activate the public spaces by adding a Community Lawn in conjunction with multiple restaurants, retail shopping opportunities along a pedestrian-oriented streetscape, and adding urban style residential lofts to insure the public spaces constitute a vibrant attraction for all residents of Keller.

Realty Capital Management is one of the leading developers of mixed-use, urban style development. A sampling of Realty Capital's projects is attached below. More information on these and other mixed-use projects will be provided. We look forward to working with the City of Keller to bring a unique and exciting destination to the City.

Sincerely,

Jimmy Archie
Managing Director
Realty Capital Management

MIXED-USE PROJECTS BY REALTY CAPITAL

THE VENUE, NORTH RICHLAND HILLS, TX

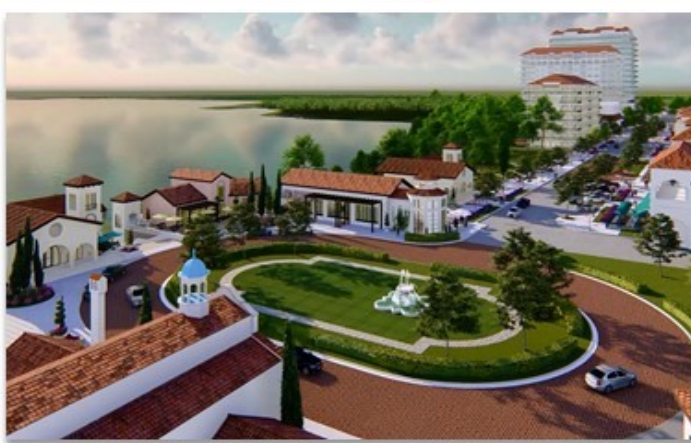


THE VILLAGE, COLLEYVILLE, TX



MIXED-USE PROJECTS BY REALTY CAPITAL

LAKESIDE DFW, FLOWER MOUND, TX



ADMINISTRATION

SECTION 2: ADMINISTRATION

A) Applicability

The requirements of these Standards are mandatory and all development on land located within the boundaries of the Center Stage Planned Development District must adhere to the rules and regulations set forth herein.

B) Conflicting Regulations

Except as provided by these Standards, development within the Planned Development District is governed by City regulations. For any issues, regulations, or standards not addressed by this Planned Development ordinance, the UDC shall control. Building codes, life safety codes, and Federal and State regulations shall take precedence where a standard requires actions that are in conflict with this Planned Development ordinance.

C) Concept Plan

This Planned Development ordinance shall constitute the submittal of the Concept Plan in accordance with Section 8.04 of the UDC. The Detailed Plan, or Site Plan, may be submitted as subsequent, sequential application.

Concept Plan (See Figure 3.1): The Concept Plan is, by definition, conceptual in nature, and the final site plan(s) may differ from the image depicted in Figure 3.1. See the Regulating plan and the associated development rules govern for the allowable development patterns within the Planned Development District.

D) Permitted Uses

The Permitted Use Table (See Table 3.1) lists the permitted and prohibited uses within the Planned Development. The Permitted Uses shall include all the current permitted uses under the existing 'C' commercial and 'R' Retail zoning uses listed in the Keller UDC plus residential uses, as restricted by Tables 7.1 and 7.2.

Except as specified in this PD, 'C' or 'R' uses requiring an SUP in the UDC shall also require an SUP under this planned development ordinance unless specifically exempted in the Permitted Use Table.

E) Site Plan Conformance

The Applicant may submit a Site Plan for the entire PD District or any portion thereof, and may develop the Planned

Development District in any order. The Applicant shall meet with the Development Review Committee (DRC) for preliminary review and comment. The DRC shall review submittals and provide comments, and the Applicant shall address staff comments.

In accordance with UDC Section 8.04.E, paragraphs 1 and 2, if the Site Plan is in Substantial Conformance to the Concept Plan, no further public hearings are required, and the Applicant may apply for building permits.

F. Site Plan Non-conformance

If the Site Plan is not in Substantial Conformance to the Concept Plan, then the Plan shall be subject to approval by the Planning and Zoning Commission and the City Council prior to applying for building permits.

G. Minor Modifications

The City Manager or designee may grant modifications to the requirements for street width, visibility, fire access or landscape requirements provided the modifications are deemed to be minor, are consistent with standards of health and safety, and are consistent with the goals of the overall development. Minor modifications include:

1. Up to 10% variance of the minimum parking requirements
2. Up to 5% variance of the gross Open Space minimum requirements for the Planned Development District as a whole.
3. The alignment of the public residential street may differ from the alignment depicted in the Concept Plan provided the area of Block A1 is not increased, and the required open space within the Block A1 is not reduced.

H) Substantial Conformance:

Substantial Conformance shall mean that the Site Plans submitted are consistent with the standards and regulations contained herein, and any deviations from the figures and illustrations contained in the Center Stage PD shall not differ by more than the ranges permitted above, and the future development of required amenities is preserved.

GENERAL REGULATIONS

3.1: General Development Standards

- A. General: The following tables and illustrations identify general regulations for all Blocks within the Center Stage Planned Development District.
- B. The Regulating Plan and associated standards and the other sections of the Planned Development Code govern the following standards.
 - 1. See Table 3.2 for Lot Development Standards that define the minimum and maximum lot areas and/or dimensions.
 - 2. See Section 4 for allowable vehicular ingress and egress from the Planned Development District.
 - 3. See Section 4 for streetscape and pedestrian network standards within the Planned Development District.
 - 4. See Section 5 for Open Space and Landscape standards.
 - 5. See Section 6 for Parking on-street, off-street and garage parking standards;
 - 6. See Section 7 for Architectural and building façade standards;
 - 7. See Section 8 for Signage standards.
- C. Regulating Plan Block A
 - 1. Block A1: contains primarily single family lots. See Table 3.1 for the maximum number of lots permitted. The area of Block A1 shall not exceed 10 acres, and shall include Gilead Joint open space. The alignment of the public streets within A1 may differ from the alignment shown based on engineering and topographic constraints.
 - 2. Block A2: contains non-residential uses. See Table 3.1 for permitted uses. The area of Block A2 shall include a minimum of 4.5 acres, and shall include the Community Lawn, a minimum of 3 restaurant pad sites contiguous with the Community Lawn, one office building pad site, and the Bosque open space.
- D. Regulating Plan Block B
 - 1. Block B1: contains primarily Urban Residential Lofts. See Table 3.1 for the maximum number of dwelling units permitted. Frontage of Block B1 fronting on Street 1 shall not exceed 150' and shall comply with the commercial façade standards in Section 7 of this Planned Development ordinance. The location and arrangement of parking and recreational amenities may differ from the Concept Plan provided that the parking and recreational amenities and dumpster enclosures are located within the interior of the Block.
 - 2. Block B2: contains non-residential uses. See Table 3.1 for permitted uses. The area of Block B2 shall include a minimum of 0.6 acres, and shall include at least one Plaza and a maximum of 3 Plazas, and a minimum of 16,000 SF of commercial space. Frontage of Block B2 fronting on Street 1 shall comply with the commercial façade standards in Section 7 of this Planned Development ordinance.
 - 3. Block B3: contains non-residential uses. See Table 3.1 for permitted uses. The area of Block B3 shall include a minimum of 0.4 acres, and shall include Trinity Joint open space, a minimum of 5,000 SF of commercial space. Frontage of Block B2 fronting on Street 1 shall comply with the commercial façade standards in Section 7 of this Planned Development ordinance.
- E. Regulating Plan Block C
 - 1. Block C1: contains primarily Urban Residential Lofts. See Table 3.1 for the maximum number of dwelling units permitted. Frontage of Block C1 fronting on Street 1 shall exceed not 150' and shall comply with the commercial façade standards in Section 7 of this Planned Development ordinance. The location and arrangement of parking and recreational amenities may differ from the Concept Plan provided that the parking and recreational amenities and dumpster enclosures are located within the interior of the Block.
 - 2. Block C2: contains non-residential uses. See Table 3.1 for permitted uses. The area of Block C2 shall include a minimum of 0.6 acres, and shall include at least one Plaza and a maximum of 3 Plazas, a minimum of 16,000 SF of commercial space. Frontage of Block B2 fronting on Street 1 shall comply with the commercial façade standards in Section 7 of this Planned Development ordinance.
- F. Regulating Plan Block D: contains non-residential uses. See Table 3.1 for permitted uses. The area of Block D shall include a minimum of 0.5 acres, and shall include a commercial pad site. Block D may provide additional parking between the private street, Street D, and the building if the building is oriented toward Ridge Point Parkway.
- G. Minimum Commercial Development: Block B2 shall include a minimum 12,000 SF of commercial space and shall be constructed simultaneously with Block B1. Block C2 shall include a minimum 12,000 SF of commercial space and shall be constructed simultaneously with Block C1.



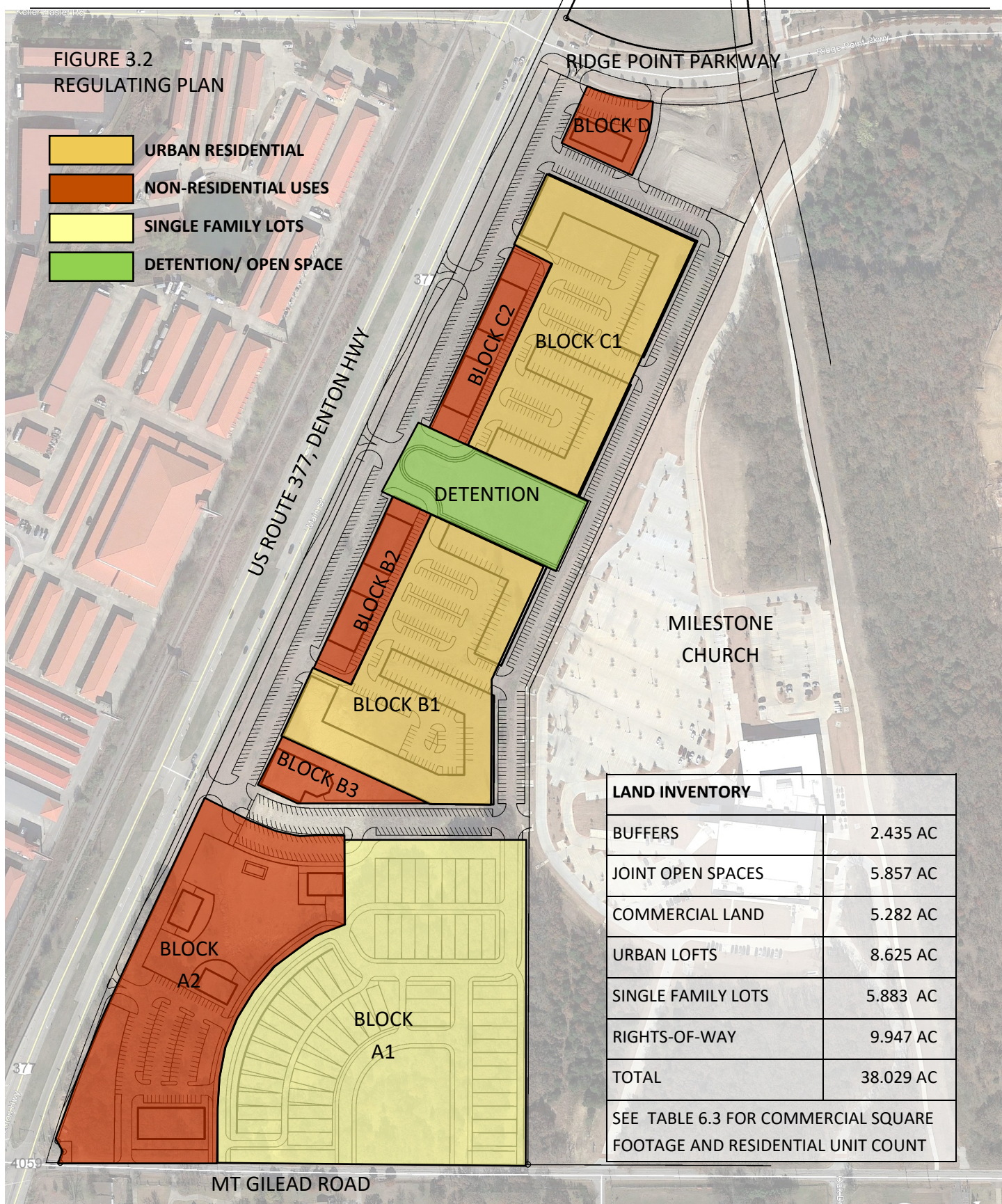


TABLE 3.1 PERMITTED USE TABLE				
PERMITTED USES	BLOCK A1	BLOCK A2	BLOCKS B, C	BLOCK D
UDC ZONE 'C' AND 'R' USES		Permitted	Permitted	Permitted
UDC ZONE 'C' AND 'R' MODIFICATIONS				
Entertainment, Indoor and Outdoor		Permitted	Permitted	Permitted
Bar, Tavern		Permitted	Permitted	Permitted
Grocery under 20,000 square feet		Permitted	Permitted	Permitted
Minor medical Emergency Clinic		Permitted	Permitted	Permitted
Public Parking Garage		Permitted	Permitted	Permitted
Restaurant, Café: On-premise alcohol sales		Permitted	Permitted	Permitted
Spa, Cosmetology or Massage		Permitted	Permitted	Permitted
ADDITIONAL PERMITTED USES				
URBAN LOFTS			550 UNITS MAX	
SINGLE FAMILY DETACHED LOTS	70 LOTS MAX			
MINIMUM OPEN SPACE	15% OVERALL			
DETENTION	Permitted	Permitted	Permitted	Permitted
NOTE 1: BLOCK 'A' NON-RESIDENTIAL USES ARE NOT REQUIRED TO ORIENT THE BUILDINGS TO FACE US 377. NOTE 2: NON-RESIDENTIAL USES MAY INCLUDE ANCILLARY USES SUCH AS LEASING OFFICE, FITNESS CENTER, OR MAIL ROOM.				

TABLE 3.2 LOT STANDARDS			
	SINGLE FAMILY	URBAN LOFTS	COMMERCIAL
MINIMUM LOT WIDTH (FT)	30'	75'	75'
MINIMUM LOT DEPTH (FT)	90'	NONE	NONE
MINIMUM LOT AREA (SF)	2700 SF	33,000 SF	10,000 SF
MINIMUM FRONT SETBACK	10'	0'	0'
MINIMUM SIDE SETBACK	0' / 5'	NONE	NONE
MINIMUM REAR SETBACK	18'	0'	0'

TABLE 3.3 TABLE OF PLANNED DEVELOPMENT DEVIATIONS FROM BASE ZONING

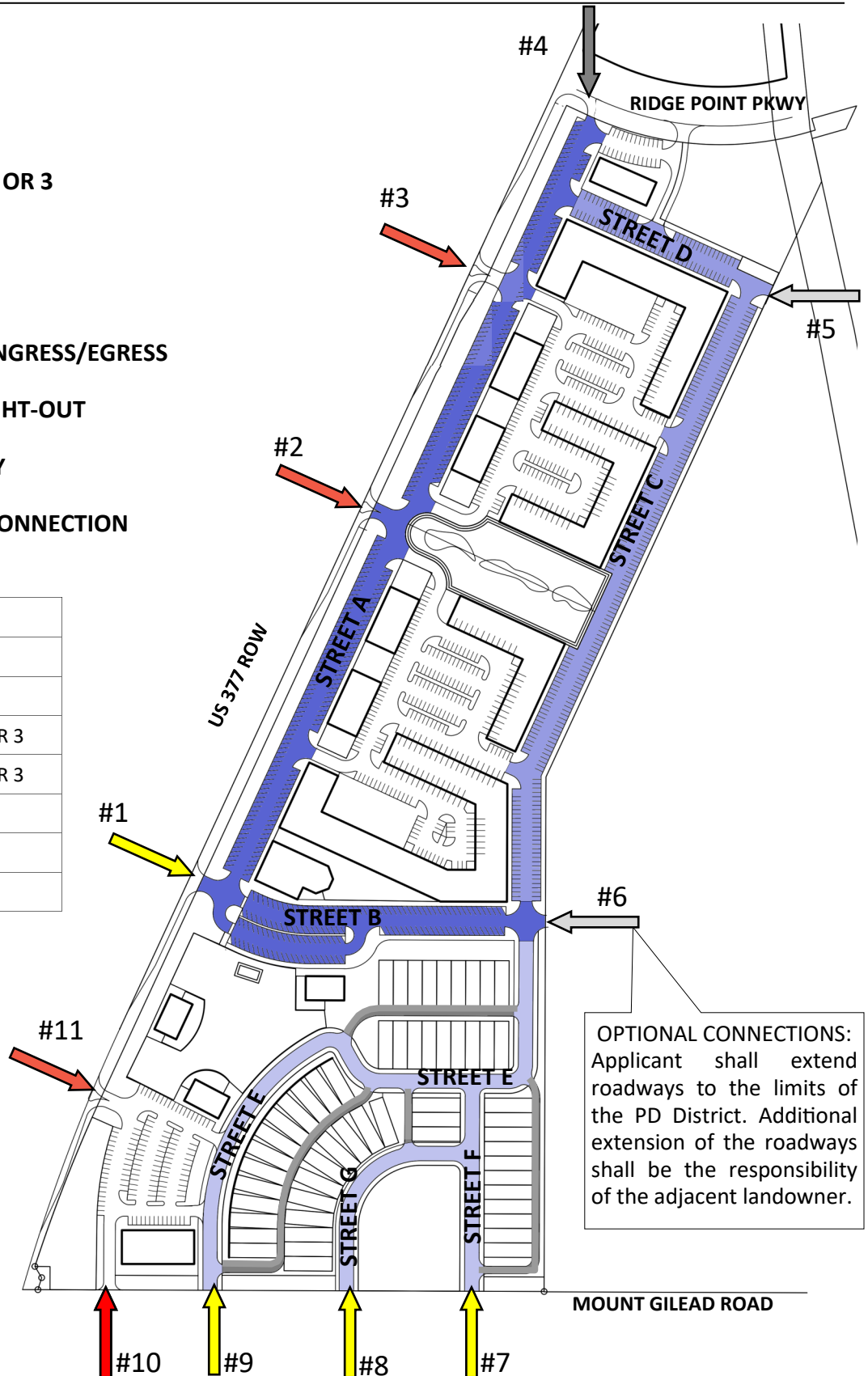
ITEM IN UDC ARTICLE 8.S	ORDINANCE	PD STANDARD	COMMENT
PARAGRAPH 3, HEIGHT	48'	50'	To lowest point of roof
PARAGRAPH 4.a.1. LOT SIZE	33,000 SF	10,000 SF	To allow for shared office/restaurant parking
PARAGRAPH 4.a.1. LOT WIDTH	150'	0'	No clearly defined restaurant frontage
PARAGRAPH 4.b.1. FRONT YARD SETBACK	30'	0'	Measured from shared private street easements
PARAGRAPH 4.b.3. REAR YARD SETBACK	20'	0'	No clearly defined restaurant rear yard
PARAGRAPH 4.b.4),5). SETBACK TO SF	60'	0'	Mixed residential and commercial uses
PARAGRAPH 5.b. RETAIL PARKING	1/200 SF	1/250 SF	Shared parking minimizes retail parking lots

STREETS AND STREETScape STANDARDS

**FIGURE 4.1
STREET PLAN**

- STREET TYPE 1**
- STREET TYPE 2 OR 3**
- STREET TYPE 4**
- ALLEYS**
- FULL ACCESS INGRESS/EGRESS**
- RIGHT-IN / RIGHT-OUT**
- RIGHT-IN ONLY**
- OPTION FOR CONNECTION**

STREET KEY	
STREET A	STREET TYPE 1
STREET B	STREET TYPE 1
STREET C	STREET TYPE 2 OR 3
STREET D	STREET TYPE 2 OR 3
STREET E	STREET TYPE 4
STREET F	STREET TYPE 4
STREET G	STREET TYPE 4



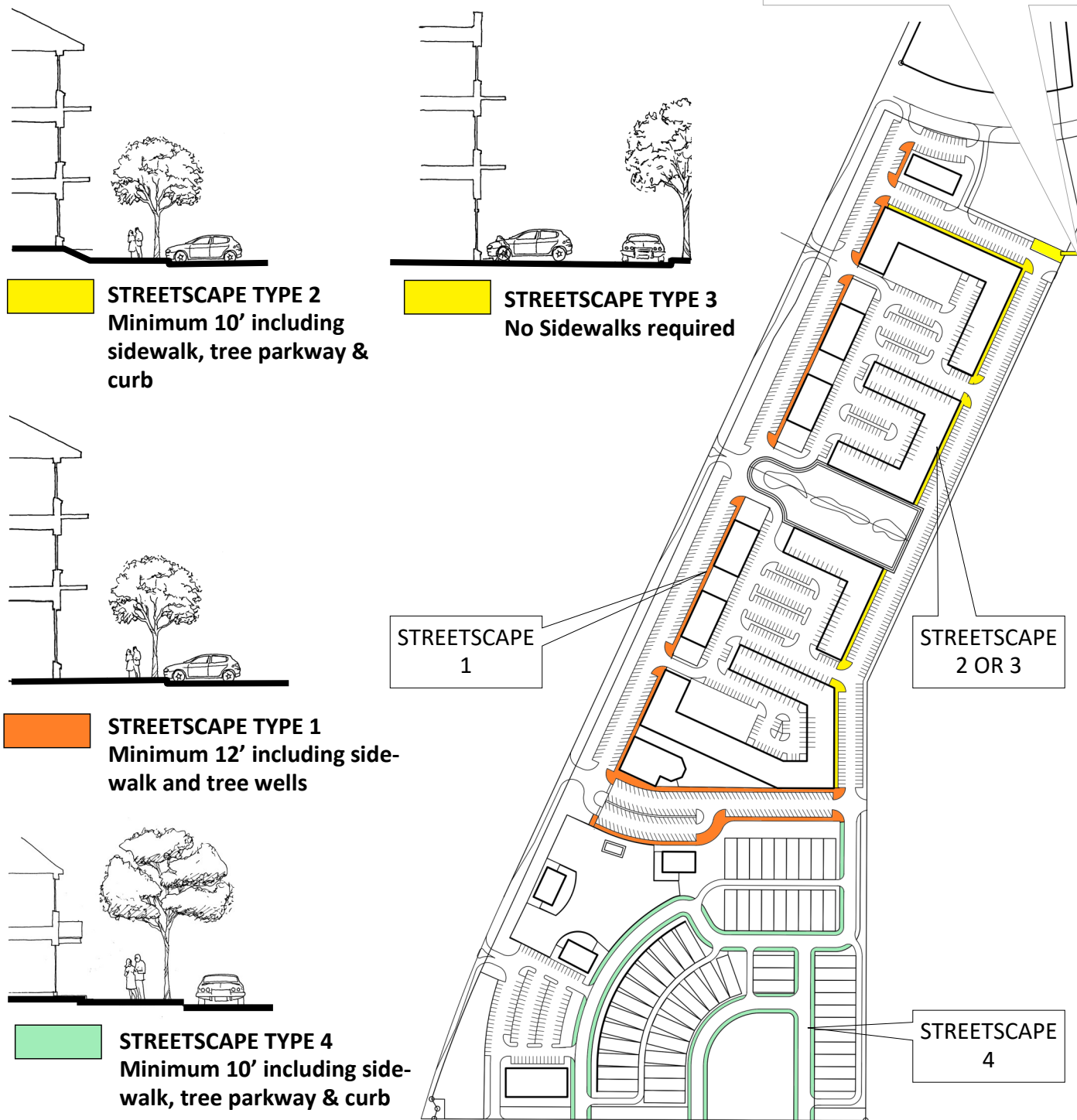
NOTE: A legally subdivided lot is not required to have frontage on a public right-of-way provided the lot has access to a Public Access Easement that connects to a public right-of-way.

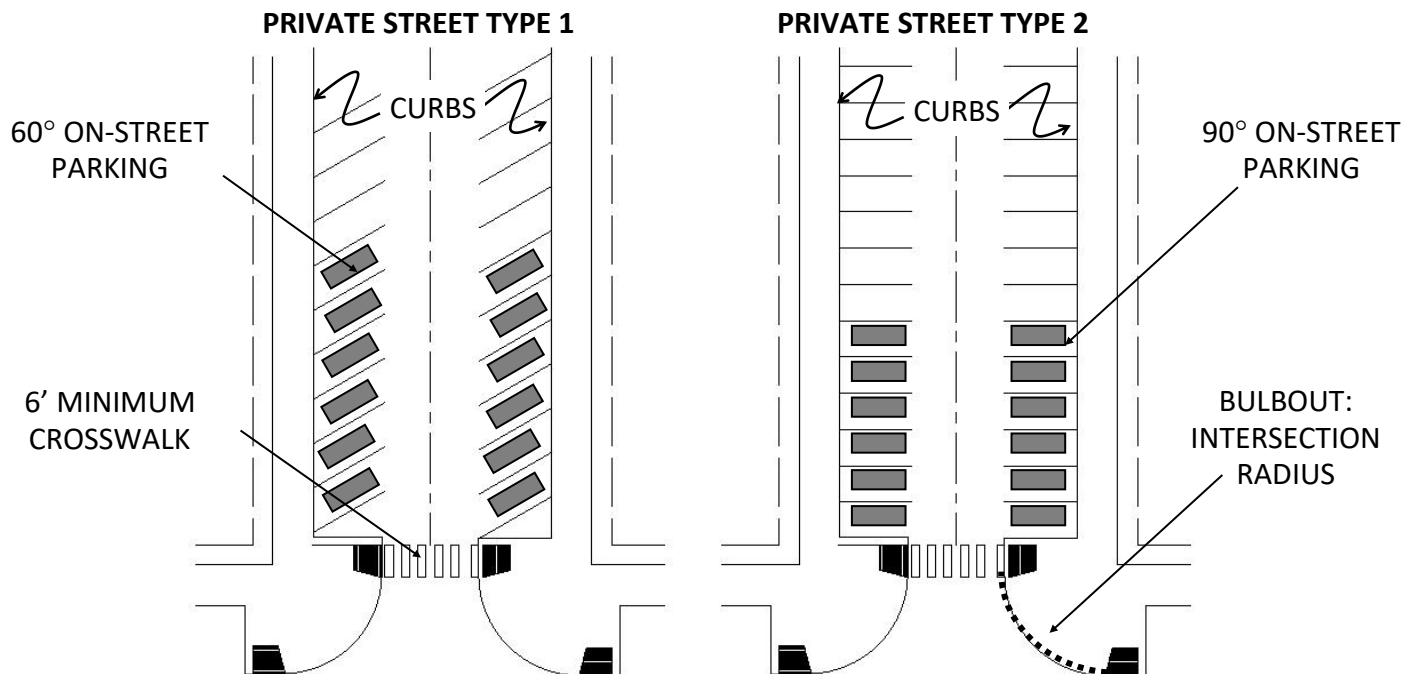
4.1: General Thoroughfare Standards

- A. General: Center Stage development is based on an urban block structure. The streets defining the blocks are permitted some flexibility to accommodate detention requirements and phasing of the development. The tables and illustrations identify standards for streets, parkways, sidewalks, and street trees, and the allowances for flexible block structure.
- B. Conceptual Vehicular Street Network (See Figure 4.1): The Figure illustrates the proposed street network within the Planned Development District.
- C. The maximum number of access drives to the site from perimeter public rights-of-way is defined in Figure 4.1.
- D. Ingress drives from US 377 shall have a minimum separation in accordance with TXDOT regulations.
- E. Lane Widths: Minimum fire lane access identified in the street types shall be increased from 24' to 26' where fire access to 4 story buildings is required.
- F. Private streets, structured as public access easements, include both vehicular access and on-street parking, as well as the pedestrian network and streetscape. Vehicular easements include the area between curbs. Pedestrian easements include the tree planting area and sidewalks.
- G. Mt Gilead Road Improvements: The Applicant shall be responsible for the proportional share of expenses for any required improvements to Mount Gilead Road.
- H. Fire Lanes, access drives, access locations, loading zones, and turning radii, shall be subject to review and approval in each site Plan application.

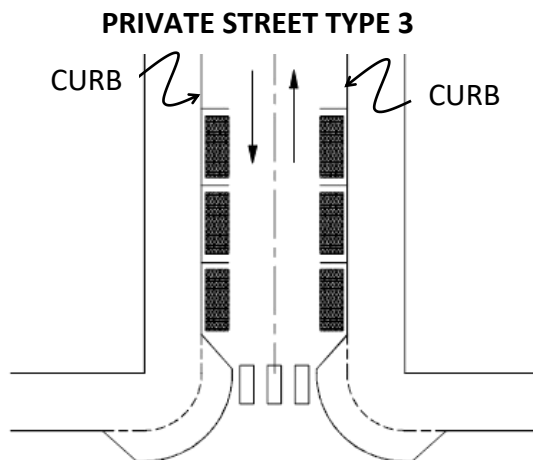
**FIGURE 4.2
PEDESTRIAN NETWORK**

NOTE: TRAIL CONNECTION TO REGIONAL TRAIL IS CONDITIONAL ON OBTAINING REQUIRED EASEMENTS.



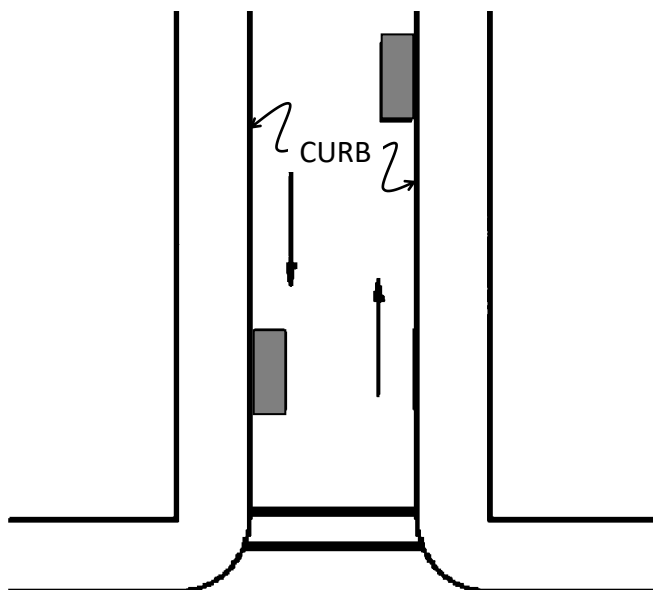


PRIVATE STREET - VEHICULAR SECTION		STANDARD
MINIMUM CURB TO CURB (B-B)		60' TO 62'
MINIMUM TRAVEL LANE WIDTH		12' (13' IF REQ'D BY FIRE DEPT)
PARKING LANE WIDTH		18'
PARKING ANGLE		60° OR 90°
MINIMUM INTERSECTION RADIUS		30'



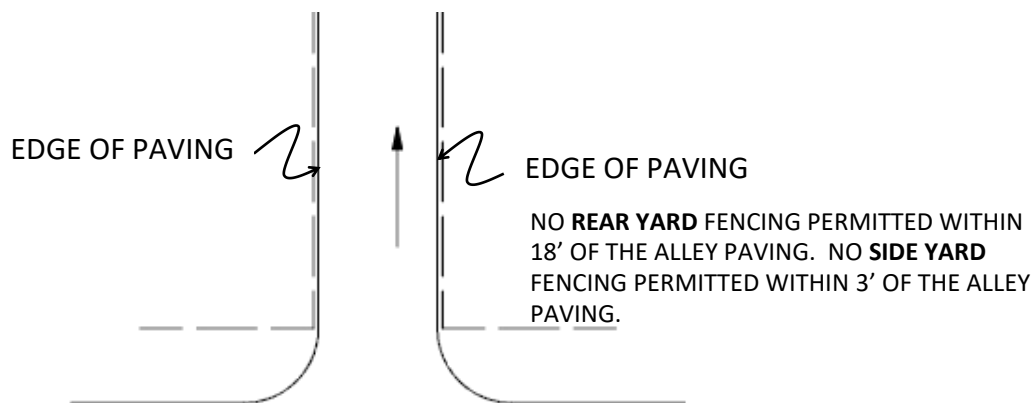
PRIVATE STREET—VEHICULAR SECTION		STANDARD
MINIMUM CURB TO CURB (B-B)		40'
MINIMUM TRAVEL LANE WIDTH		12'
PARKING LANE WIDTH		8'
PARKING ANGLE		PARALLEL
MINIMUM INTERSECTION RADIUS		30'

PUBLIC RESIDENTIAL STREET TYPE 4



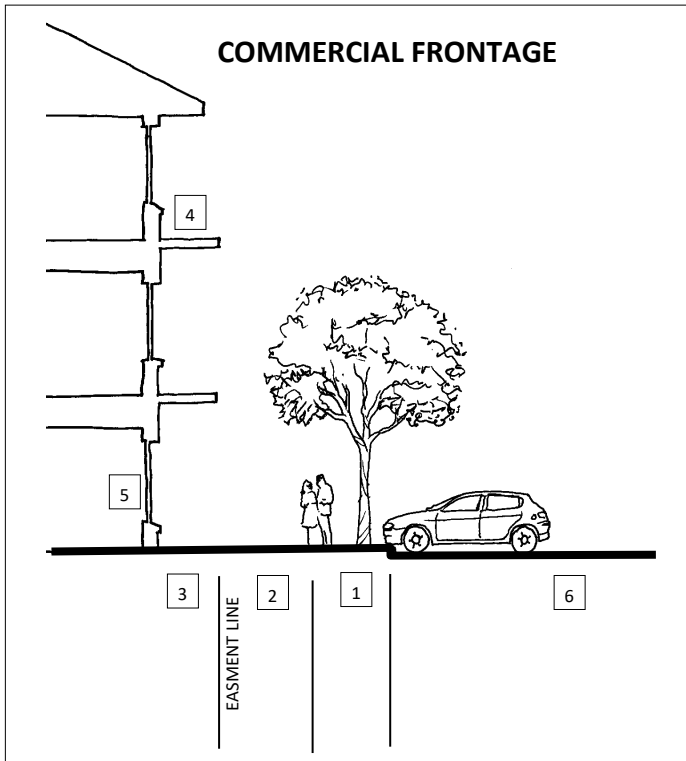
PUBLIC RESIDENTIAL STREET VEHICULAR SECTION		STANDARDS
MINIMUM CURB TO CURB (B-B)		28'
MINIMUM TRAVEL LANE WIDTH		12'
MINIMUM ROW WIDTH, ON-STREET PARKING		50' INCLUDES STREETScape AND UTILITY EASEMENTS INTERMITTENT
MINIMUM INTERSECTION RADIUS		30'

RESIDENTIAL ALLEY



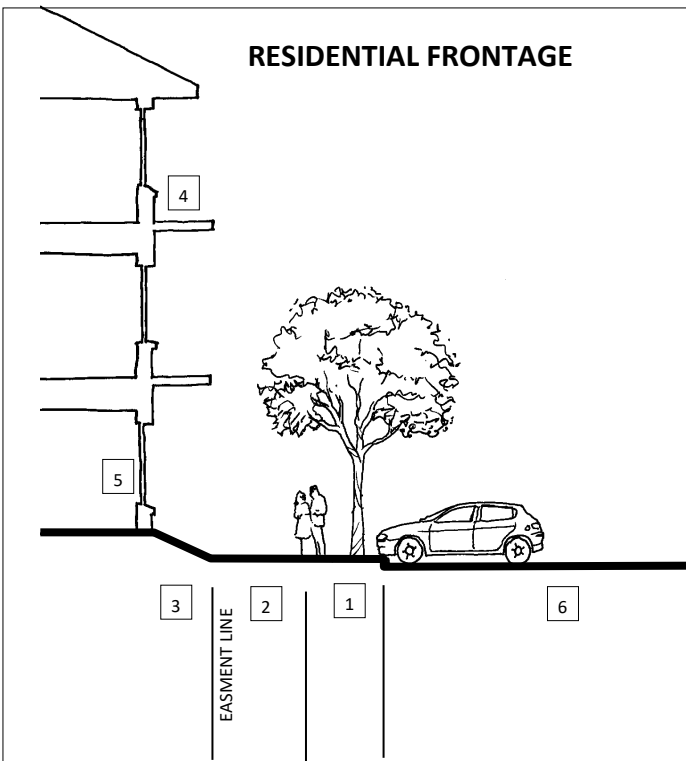
RESIDENTIAL ALLEY		STANDARDS
CURB TO CURB		12' minimum paved width
TRAVEL LANE WIDTH		15'
MINIMUM ROW WIDTH		15'
PARKING LANE WIDTH		No parking
INTERSECTION RADIUS		30' inside radius

PEDESTRIAN STREETScape 1



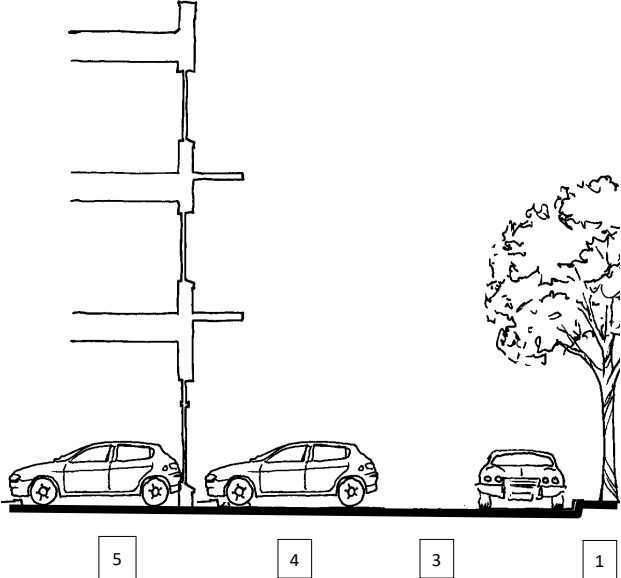
STREETSCAPE 1 STANDARD	
ITEM 1	Trees shall be planted in tree wells adjacent to the curb. Trees shall be planted approximately 30' on center.
ITEM 2	Sidewalk shall be 12' minimum in width, including tree wells.
ITEM 3	Where buildings are set back from the pedestrian easements, sidewalks shall be widened to meet the commercial storefront.
ITEM 4	Balconies on upper floors may overhang the pedestrian easement.
ITEM 5	Building ground floor shall be accessible from the sidewalk.
ITEM 6	Adjacent private street

PEDESTRIAN STREETScape 2

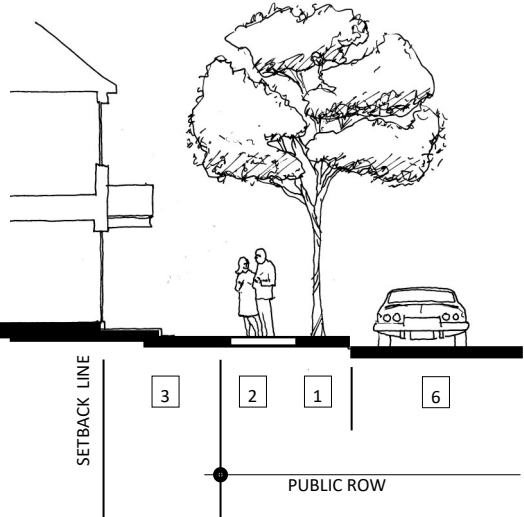


STREETSCAPE 2 STANDARD	
ITEM 1	Trees shall be planted in a continuous parkway adjacent to the curb, 4'-6" minimum in width. Trees shall be planted approximately 30' on center.
ITEM 2	Sidewalks shall be 5' minimum width, or minimum 10' including sidewalks, parkway & curb.
ITEM 3	The setback from pedestrian easements may be up to 12' and shall be landscaped. Ground floor entries from the sidewalks are permitted.
ITEM 4	Balconies on the upper floors may overhang the setback.
ITEM 5	Building ground floor elevation may be above the sidewalk elevation. Ground floor units may be accessed by interior corridor or directly from the sidewalk.
ITEM 6	Adjacent private street

PEDESTRIAN STREETSCAPE 3

REAR FACADES / PARKING AREAS	STREETSCAPE 3 STANDARD
	ITEM 1 See Section 5 for parking lot tree standards.
	ITEM 2 No Sidewalk is required
	ITEM 3 Drive aisles may also serve as fire lanes.
	ITEM 4 Tandem parking is only permitted behind associated garage space for same tenant
	ITEM 5 Tuck-under garage parking, or dwelling unit
	ITEM 6 No private street frontage

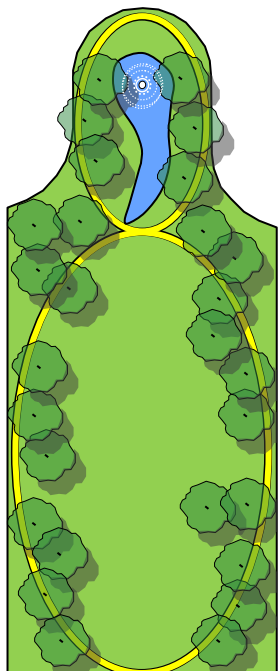
PEDESTRIAN STREETSCAPE 4

PUBLIC STREET RIGHT-OF-WAY	STREETSCAPE 4 STANDARD
	ITEM 1 Trees shall be planted in a continuous parkway adjacent to the curb, 4'-6" minimum in width. Trees shall be planted at the rate of 1 tree per lot.
	ITEM 2 Sidewalk shall be a minimum of 5' in width, or minimum 10' including sidewalk, parkway & curb.
	ITEM 3 The setback from the Public ROW shall be landscaped and lead walks shall connect the front entry to the sidewalk.
	ITEM 4 Stoops or porches may encroach into the setback up to 8'.
	ITEM 5 Building ground floor elevation shall be equal to, or higher than the sidewalk elevation.
	ITEM 6 Adjacent public right-of-way

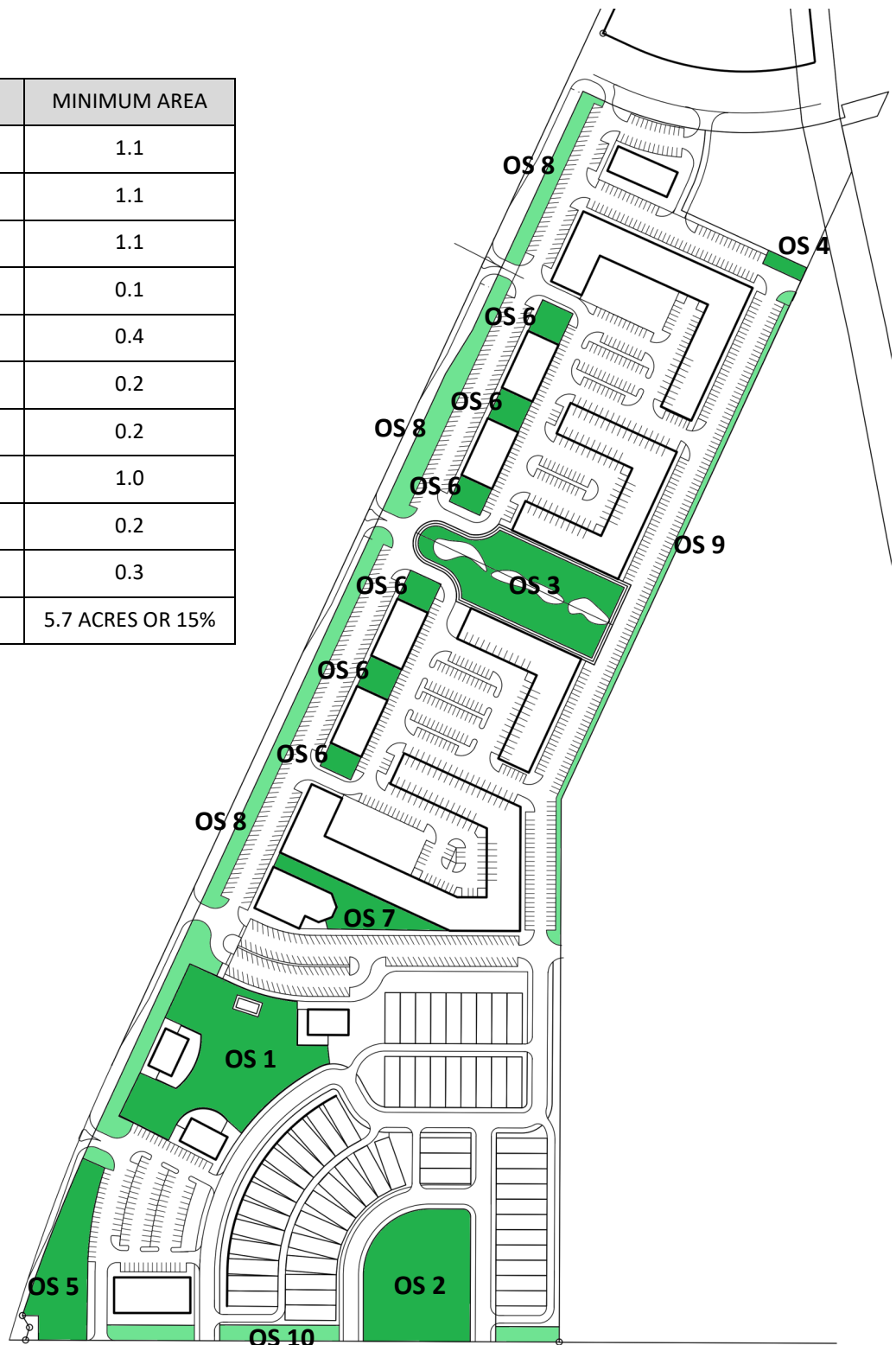
PARKS AND OPEN SPACE STANDARDS

FIGURE 5.1
OPEN SPACE PLAN

	JOINT OPEN SPACES	MINIMUM AREA
OS 1	COMMUNITY LAWN	1.1
OS 2	GILEAD OPEN SPACE	1.1
OS 3	DETENTION AREA	1.1
OS 4	TRAILHEAD	0.1
OS 5	BOSQUE	0.4
OS 6	PLAZAS (QTY: MAX 6)	0.2
OS 7	TRINITY OPEN SPACE	0.2
OS 8	BUFFER 1	1.0
OS 9	BUFFER 2	0.2
OS 10	BUFFER 3	0.3
	TOTAL	5.7 ACRES OR 15%



OS 3 LANDSCAPE CONCEPT
Based on 30' tree canopy
and 20 trees per acre.



5.1: Parks & Open Space Standards

- A. **General:** The Planned Development District provides both public and private open space in order to insure adequate outdoor recreational and aesthetic amenities for the residents. The Public Open Spaces shall equal or exceed 15% of the gross area of the Planned Development District.
- B. **The Public Open Space** shall consist of a number of unique outdoor spaces. Each open space shall comply with minimum standards and requirements. The following open spaces labelled as "OS #" are "Joint Open Spaces" meaning that the spaces are owned and maintained privately but shall be open to the public. Surpluses in the minimum area of any individual open space may be applied to deficiencies in other required open spaces.
- C. **OS 1 Community Lawn:** The Community Lawn shall be located with Block A2 and shall be contiguous to the proposed restaurant pads. It shall also include a stage suitable for informal musical or dramatic performances.
- D. **OS 2 Gilead open space:** The Gilead Joint open space shall include a tree-save area of at least 75% of the joint open space area.
- E. **OS 3 Detention Area:** The detention area shall include a wet detention area, pedestrian access to traverse the open space, perimeter trees planted at the rate of 10 trees per acre.
- F. **OS 4 Trailhead:** The Trailhead shall be located in the northeast corner of the PD District adjacent to the Milestone Church property. The Trailhead shall include a 10' wide trail from the street curb to the east property line to facilitate the connection to the City regional trail.
- G. **OS 5 The Bosque:** The southwest corner of the property, within the existing stand of Post Oak trees, shall include a tree-save area covering at least 60% of the Bosque open space. The required Arterial Buffer fronting US 377 shall not require additional tree planting within this open space.
- H. **OS 6 Plazas,** minimum 2 Plazas, maximum 6 Plazas: These areas provide public open space adjacent to the shopping venues, including trees planted at the rate of 1 tree per 1000 square feet, and at least one bench and one trash receptacle. Plazas may be paved with concrete, pavers, stone, or decomposed granite.
- I. **OS 7 Trinity open space:** This small plaza area includes the streetscape fronting Street B and the pedestrian alley between the retail building and the residential building. The open space shall comply with the standards for a Plaza.
- J. **OS 8 Buffer 1:** The 30' buffer required along US 377 Arterial shall comply with Section 8.08.F.1.a and F.2.a of the Keller UDC excluding the Tree-Save area. Trees shall be 3" diameter minimum.
- K. **OS 9 Buffer 2:** The buffer between Blocks B and C and the property to the east shall comply with Section 8.08.F.1.d and F.2.c of the Keller UDC.
- L. **OS 10 Buffer 3:** The 30' buffer along Mt Gilead Road shall use all commercially feasible efforts to preserve trees and shall identify the area as tree-save areas and protect the trees during construction.

5.2: Trees

- A. **General:** The Planned Development District shall have preserved trees in the Tree-Save area and newly planted trees in streetscape, parks, open spaces, and parking lots.
- B. **Tree Inventory:** The urban format of the development necessarily requires re-creating a new tree canopy that conforms to the development pattern of sidewalks, urban parks and trails. All newly planted trees shall qualify for mitigation credit provided they comply with the species and sizes required. A tree inventory of protected trees 6" or greater in trunk diameter shall be required in conjunction with the zoning application. A tree survey of protected trees 6" or greater in trunk diameter with each Site Plan application.
- C. **Mitigation:** Mitigation of trees to be removed from Block A2, Block B, Block C, and Block D shall be required. Block A1 is not subject to mitigation. It is the intent of the development to mitigate the tree removal on site to the maximum extent possible.
- D. **Protected Trees:** Protected tree species shall include the tree species identified in Section 8-19 of the UDC. Only trees six inches in diameter or greater, shall be included as protected trees.
- E. **Species:** Acceptable tree species and other planting material shall comply with the species indicated in Article 9, section 9.07 of the Keller UDC.
- F. **Minimum Size:** The minimum size trunk diameter of re-

quired street trees shall be 3" (three inches).

- G. **Minimum Tree Well Size:** The minimum tree well size shall be 4'-6" by 6' without using an approved root protection and barrier system. A smaller tree well may be used upon review and approval of plans, details, and specifications.
- H. **Minimum Parkway Width:** The minimum width of a continuous parkway shall be 4'-6" without using an approved root protection and barrier system.
- I. **Single Family Lots:** Each lot will have at least one tree in the parkway between the sidewalk and the curb. Lots less than 40' in width shall not require trees to be planted on the lot.
- J. **Tree-save areas** shall be subject to protection during construction, limiting grading within the dripline of preserved trees and prohibiting construction traffic and staging with tree-save areas. Tree Save areas shall preserve natural grade.



PARKING STANDARDS

6.1: REQUIRED PARKING STANDARDS

The number of required parking spaces shall be determined as follows:

- A. Parking spaces for persons with disabilities shall be provided in the number and with such dimensions as are required by the Texas Accessibility Standards.
- B. The parking requirement may be reduced upon a submittal of a parking demand calculation by a licensed Texas Engineer in accordance with the *Parking Generation Manual, 5th Edition*, for parking standards, produced by the Institute of Transportation Engineers.
- C. Dimensions. The minimum required dimensions of parking spaces and aisles shall be as indicated in this Section 6, Table 6.2.
- D. On-Street Parking: On-street parking may be counted toward required parking. No on-street parking space may be counted toward more than one platted lot.
- E. Parking may be shared across blocks.
- F. Covered Parking: Parking Structures shall comply with the regulations governing building materials. Carports of metal construction are permitted, but may not be located within sight of private streets with public access easements.
- G. Trees: Trees shall be planted in parking lots such that all parking spaces within a surface parking lot shall be located within 60' of a tree.

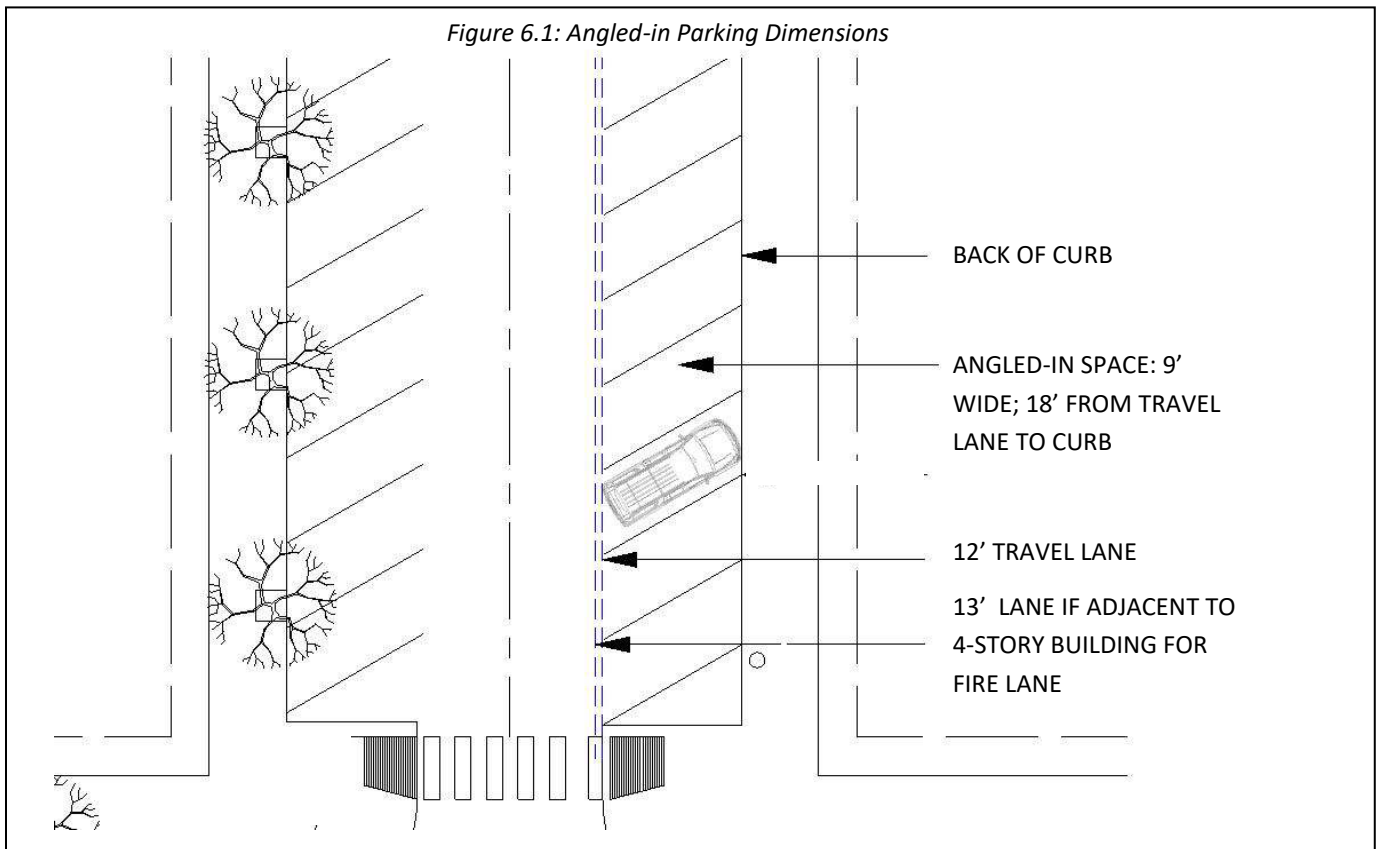
TABLE 6.1 MINIMUM REQUIRED PARKING	
OCCUPANCY / USE	MINIMUM REQUIRED PARKING
General Retail	1 space per 250 sq ft
General Office only	1 space per 350 sq ft
Eating Place	1 space per 150 sq ft
Urban Lofts	1 space per bedroom
Age-Restricted Housing	1.2 spaces per unit
Single Family Lot	2 spaces off-street

TABLE 6.2 PARKING STANDARDS		
PARKING TYPE	PARKING STANDARD	COMMENT
ON-STREET PARKING:		
Parallel Parking:	8' x 20' min	From Face of Curb
Angled-in Parking	See Figure 6.1	Angle = 60° from Curb
Head-in Parking	9' x 18'	Angle = 90° from Curb
PARKING LOTS		
Parking Space, Typical	9' x 18'	Accessible spaces comply w ADA
Aisle Width	24' min	
Landscape Requirements		1 tree per 12 spaces average
Tandem Spaces	9' x 18'	Only behind associated garage space for same tenant
GARAGES		
"Tuck-under" Garage Spaces	9' x 20' Min	Within Building Envelope
Tuck-under" Garage Doors		Garage Doors Required
Carport Spaces	9' x 18'	Not readily visible from public street

TABLE 6.3 PARKING TABULATION (See Figure 3.2 for Land Use Inventory Acreage)

	BLOCKS					LAND USE TOTALS	PARKING REQUIRED
	A1	A2	B	C	D		
URBAN RESIDENTIAL LOFTS (# OF UNITS)			275	275		550	825
RESIDENTIAL LOTS (# OF LOTS)	70					70	2/LOT
IN-LINE RETAIL (ESTIMATED AREA)			18,000	12,000	7,000	37,000	185
RESTAURANTS (ESTIMATED AREA)		12,000				12,000	80
OFFICE (ESTIMATED AREA)		10,500				10,500	30
TOTAL REQUIRED PARKING	2/LOT	110	485	460	28	59,500	1120
PARKING PROVIDED							
ON-STREET PARKING		92	419	328	5		844
SURFACE PARKING LOT		118	152	146	24		440
GARAGE PARKING			59	56			115
TANDEM PARKING			46	55			101
TOTALS	2/LOT	210	676	585	29		1500




Figure 6.1: Angled-in Parking Dimensions



ARCHITECTURAL STANDARDS

SECTION 7: ARCHITECTURAL STANDARDS
General Standards Applicable to All Zones

- A. General: The following tables and illustrations identify general regulations for all Blocks within the Center Stage Planned Development.
- B. The purpose of the architectural and building regulations is to establish the highest development standards fronting both public and private streets, and to allow greater flexibility where the buildings are not visible to the public.
- C. Since the Planned Development does not include detailed engineering plans, any architectural elements that are required by engineering due to grading, such as retaining walls or stem walls, shall be permitted.
- D. If a material is not addressed in the table, or if a new material falls into a prohibited category but should be permitted, the material may be submitted to DRC for an evaluation. If it is deemed appropriate, it may be approved administratively.
- E. Wood may be used decoratively, for eave brackets, rafter tails, porch column wraps, and other elements.
- F. Street A Frontage
1. The Street A frontage includes the building facades on Blocks B, C, & D and the buildings requiring commercial storefront facades.
 2. No vehicular gates, carports, or perimeter fences are permitted on Street A, Street B, or Street C. No carports are permitted on single family lots.
 3. Leasing offices shall comply with commercial storefront requirements, except that ceiling height may be 9' minimum height.
- G. Blocks B, C, & D
1. AC equipment and other mechanical equipment shall not be located between the building façade and any private street with a public access easement.
 2. No carports shall be permitted between buildings and private streets with a public access easement.

TABLE 7.1 FAÇADE TYPES	FAÇADE A	FAÇADE B	FAÇADE C
GROUND FLOOR BUILDING STANDARDS			
DESCRIPTION OF GROUND FLOOR	COMMERCIAL STOREFRONT	DWELLING UNITS WITH INTERIOR OR EXTERIOR ENTRY	DWELLING UNITS OR GARAGE
OCCUPANCY	RESIDENTIAL OR NON-RESIDENTIAL	RESIDENTIAL	RESIDENTIAL OR GARAGE
FINISH FLOOR ABOVE SIDEWALK	NO STEPS	ONE-HALF STORY MAXIMUM	NO RESTRICTION
SEPARATION BETWEEN FLOORS	FIRE SEPARATION PER CODE	RESIDENTIAL SEPARATION	RESIDENTIAL SEPARATION
GROUND FLOOR GLASS	60% MINIMUM	20% MINIMUM	NO MINIMUM
SIGNAGE	COMPLY WITH RETAIL SIGNAGE	NO COMMERCIAL SIGNAGE	NO COMMERCIAL SIGNAGE
GROUND FLOOR ENTRY	DIRECT FROM SIDEWALK	INTERIOR CORRIDOR OR SIDEWALK	INTERIOR CORRIDOR OR SIDEWALK
FRONTAGE STANDARDS	MAY BE USED WHERE FRONTAGE TYPE A IS REQUIRED, MAY ALSO BE USED IN B, OR C FRONTAGE TYPES	MAY BE USED WHERE FRONTAGE TYPE B IS REQUIRED, MAY ALSO BE USED IN C FRONTAGE TYPES	MAY BE USED WHERE FRONTAGE TYPE C IS REQUIRED

**FIGURE 7.1
FRONTAGE PLAN**

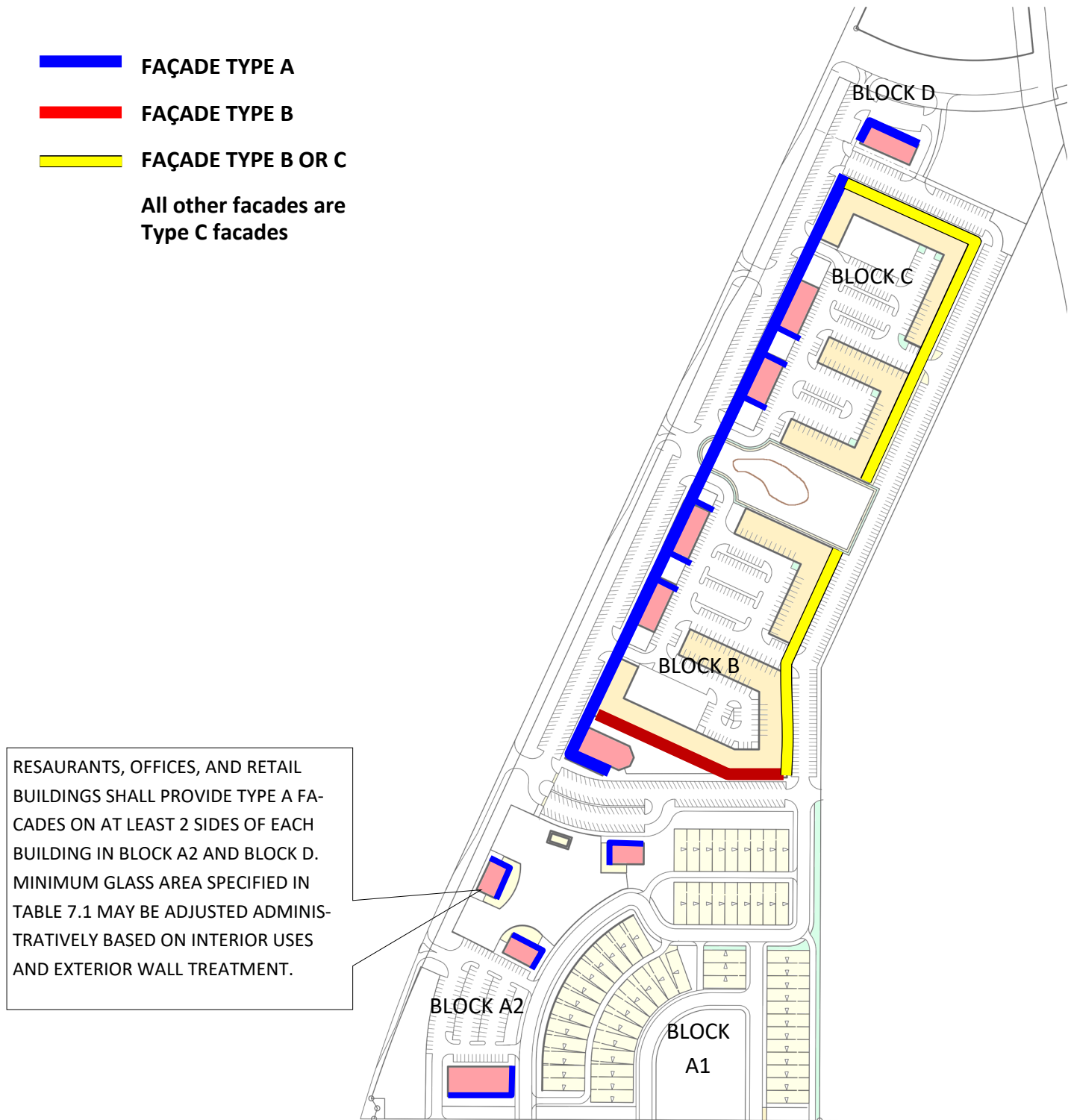


Figure 7.1: Ground floor commercial storefront standards fronting US 377



SIGN BAND
GLASS AREA MINIMUM:
Height = Window Sill to Ceiling at the store front.
Length = frontage of tenant space
Wall Area = Height x Length
Glass Area = 60% of wall area minimum
Required panels under windows: 6" min ; 36" max.

'Commercial Storefront' applies only to the appearance, not building code requirements.

TABLE 7.2 MATERIAL BUILDING STANDARDS

P= PERMITTED R= REQUIRED N=NOT PERMITTED NA= NOT APPLICABLE

ITEM	FACADE A	FACADE B	FACADE C	SF LOTS
FRONT FACADE MATERIALS				
MASONRY, minimum	80%	66%	25%	90%
EXTERIOR INSULATION AND FINISH SYSTEM maximum	20%	33%	75%	10%
HARDI-BOARD, maximum	20%	33%	75%	10%
METAL, maximum	10%	10%	10%	10%
EXPOSED CMU	N	N	N	N
EXPOSED AGGREGATE	N	N	N	N

NOTE 1: EXTERIOR MATERIALS SHALL MEET THE MINIMUM MASONRY STANDARD AS CALCULATED EXCLUDING DOORS, WINDOWS, ENTRYWAYS AND RECESSED BALCONIES.

NOTE 2: STAFF MAY APPROVE HOMES EXCEEDING THE STUCCO AND HARDI-BOARD LIMITS BASED ON ARCHITECTURAL STYLE AND QUALITY OF DESIGN.

NOTE 3: FACADE MATERIAL SHALL TRANSITION A MINIMUM OF 20' AROUND BUILDING CORNERS

NOTE 4: MASONRY MATERIALS INCLUDE BRICK, STONE, CULTURED STONE, STUCCO, AND CAST STONE, BUT EXCLUDE CMU AND EXPOSED CONCRETE.

SIGNAGE STANDARDS

SECTION 8: SIGNAGE STANDARDS

General Standards Applicable Zones 1 and 2

- A. General: The following identify general regulations for all Blocks within the Center Stage Planned Development.
- B. The Center Stage Planned Development shall comply with the Keller Regulations as established in Section 8.09 of the Keller UDC, except as described below.
- C. For the purpose of signage regulation, all businesses within the PD District shall be considered as residing on a single lot.
- D. Center Stage Planned Development fronting US 377 may consist of multiple businesses, and may include the following signage types.
- E. Landmark Signs: two Landmark Signs shall be permitted within the PD District in compliance with Section 8.03.P.4.k.3.
- F. Monument Signs: A Monument Sign not to exceed 60 square feet per side, excluding any masonry border, shall be permitted at each entry from US 377.