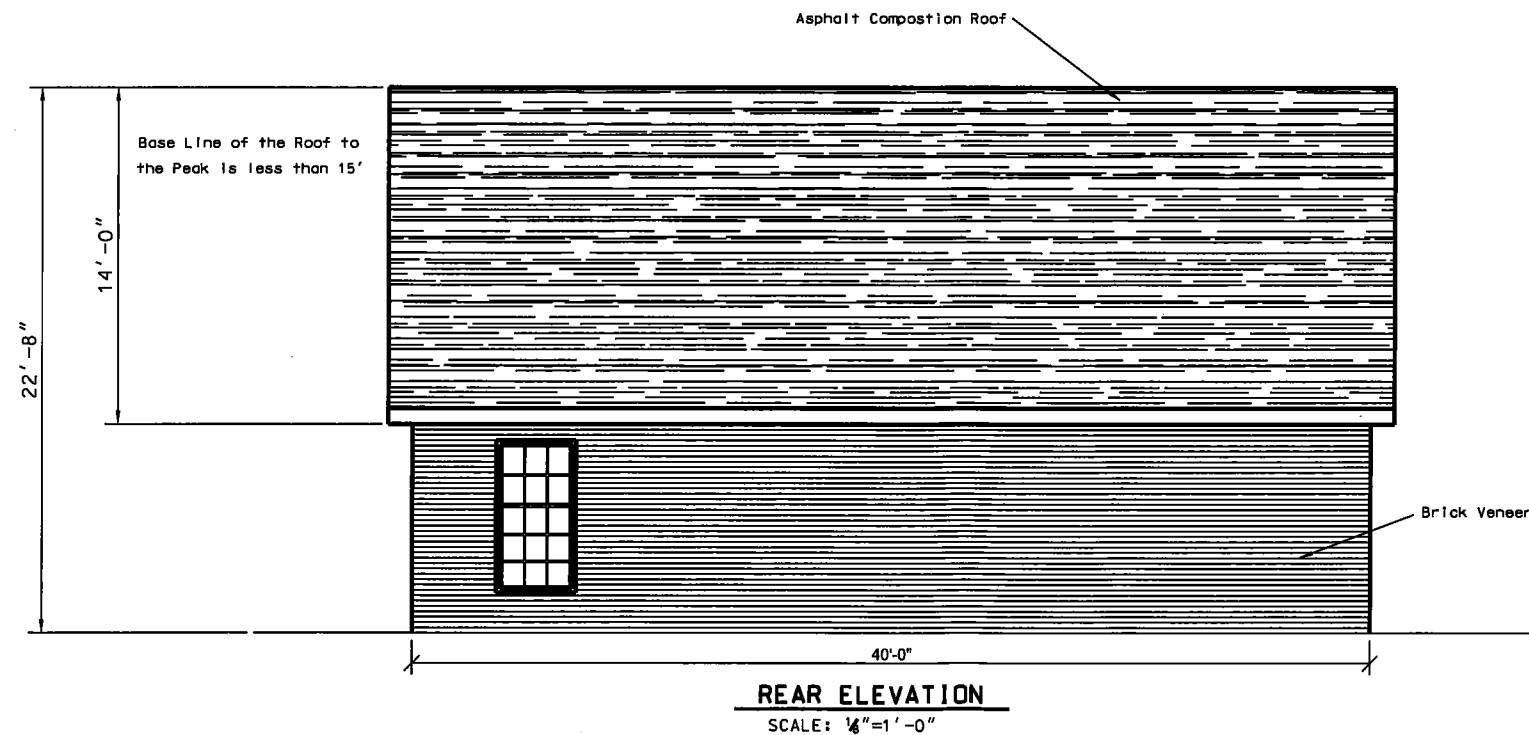
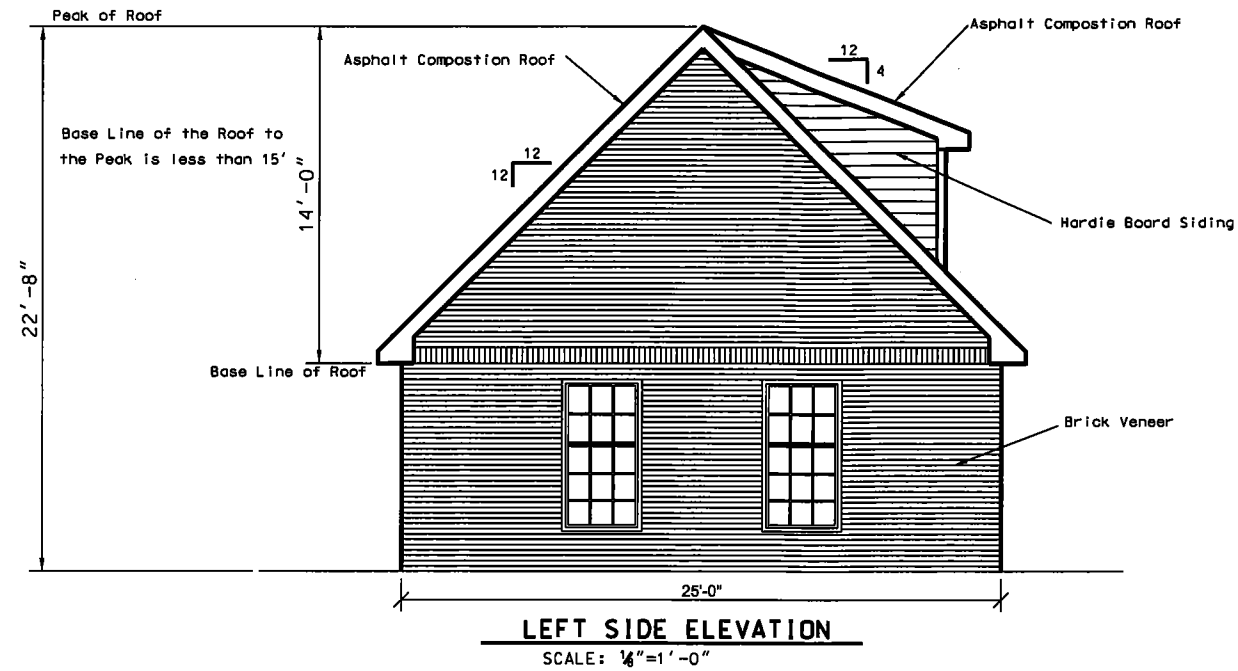


Garage Building Plan



Elliott Stovall

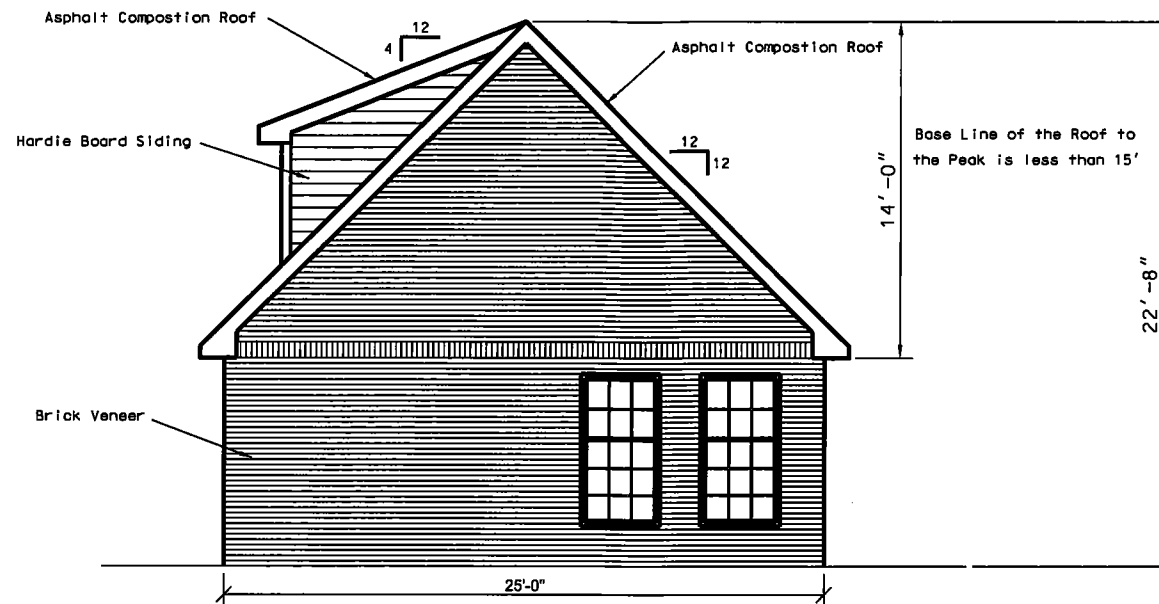
1000 HILLSIDE DRIVE - GARAGE ADDITION PLANS

Keller, Texas

ISSUE LOG:
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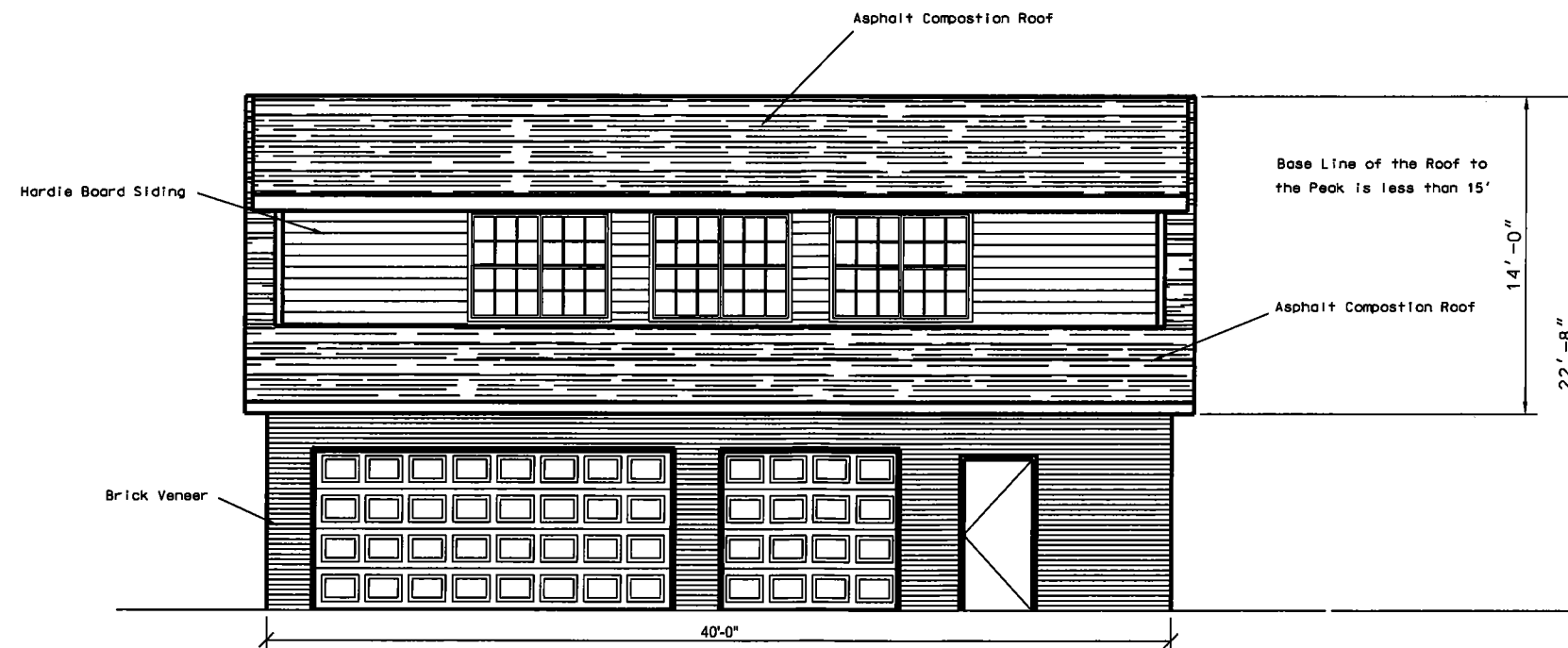
**GARAGE
ADDITION
PLANS**

DATE: 7-24-2020



RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"



FRONT ELEVATION

SCALE: 1/8"=1'-0"





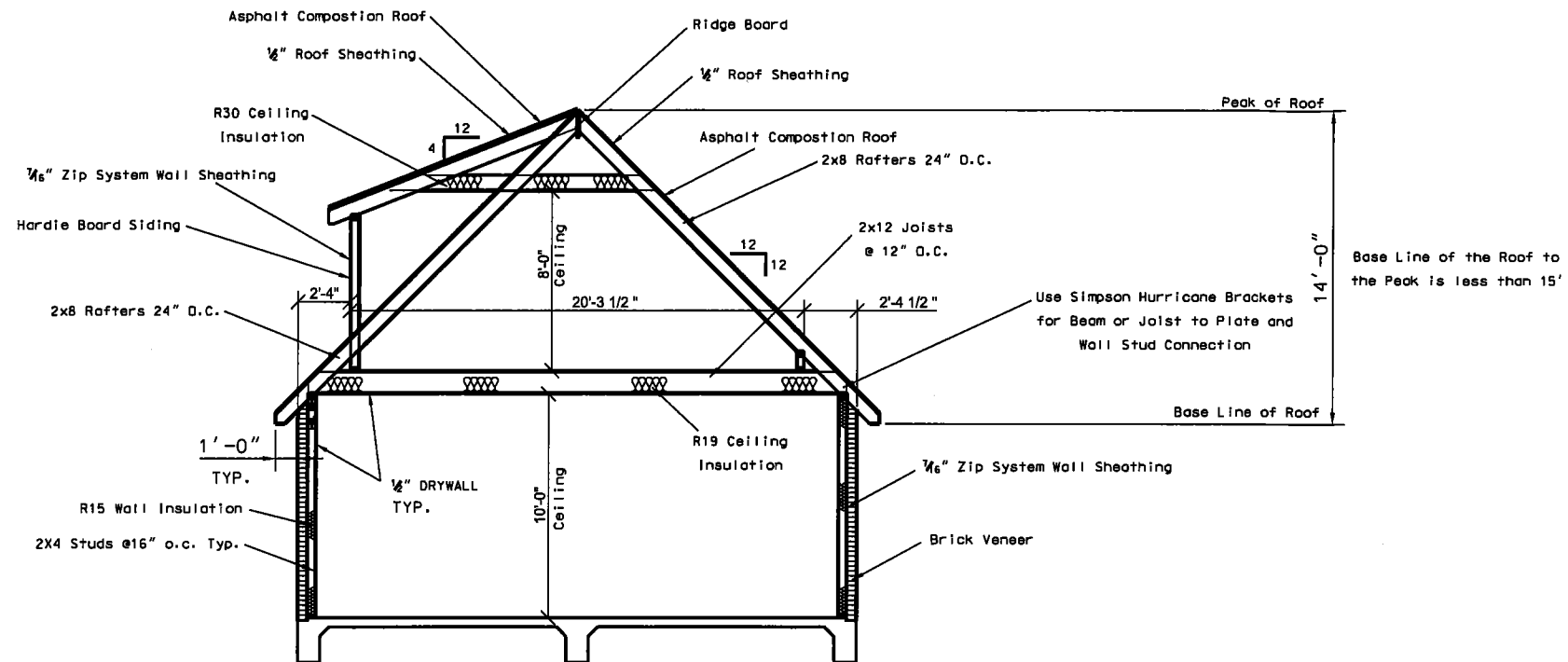
1000 HILLSIDE DRIVE - GARAGE ADDITION PLANS
Keller, Texas

ISSUE LOG:
X

GARAGE ADDITION PLANS

DATE: 7-24-2020

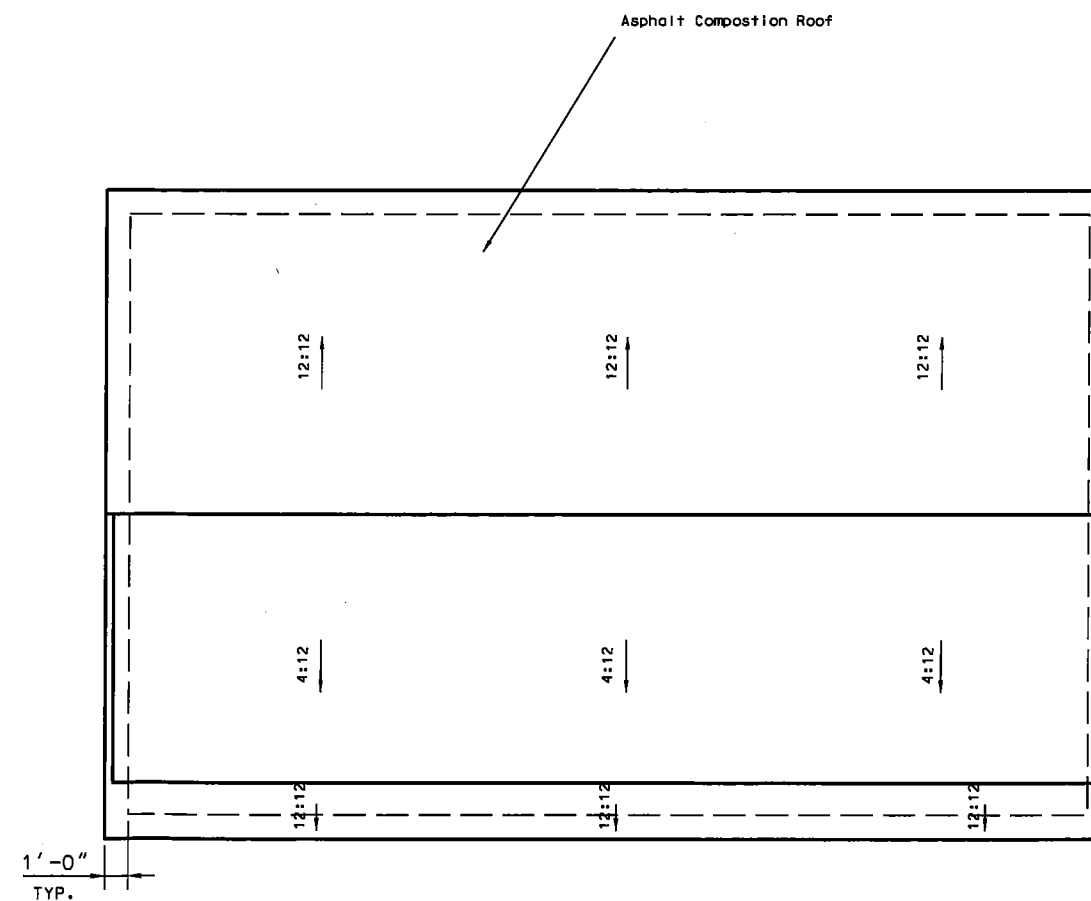
5 OF 6



FRAMING SECTION
SCALE: $\frac{1}{8}" = 1' - 0"$

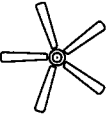
NOTE:

1. ALL ELECTRICAL, PLUMBING, AND MECHANICAL WORK SHALL CONFORM TO THE CITY OF KELLER, TX BUILDING CODES AND THE 2018 INTERNATIONAL BUILDING CODES.
2. NAILING REQUIREMENTS AND ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE CITY OF KELLER, TX BUILDING CODES AND THE 2018 INTERNATIONAL BUILDING CODES AND INDUSTRY PRACTICES.
3. PROVIDE ROOF VENTS PER CODES
4. PROVIDE GUTTERS AND DOWN SPOUTS TO DIRECT SURFACE WATER RUNOFF AWAY FROM BUILDINGS FOUNDATION.



ROOF PLAN
SCALE: $\frac{1}{8}" = 1' - 0"$

LEGEND



FAN & LIGHT



110 RECEPTACLE



LIGHT



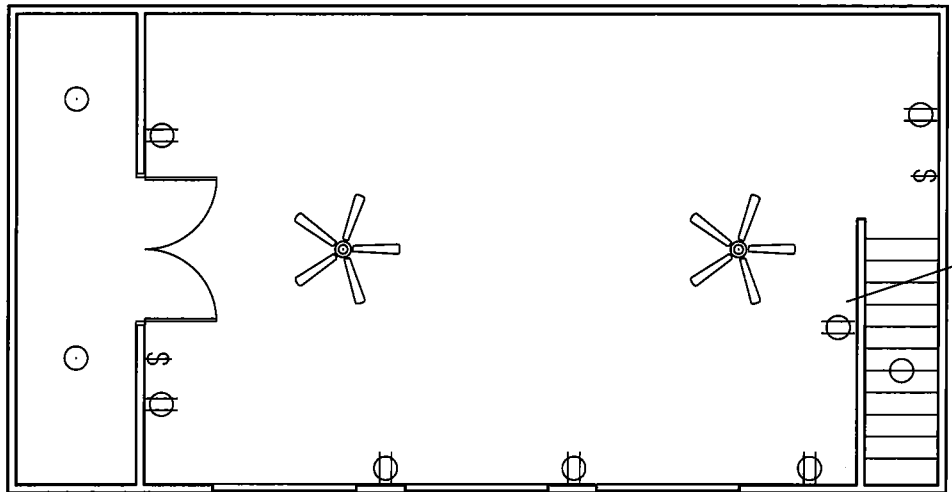
SWITCH



GROUND FAULT RECEPTACLE

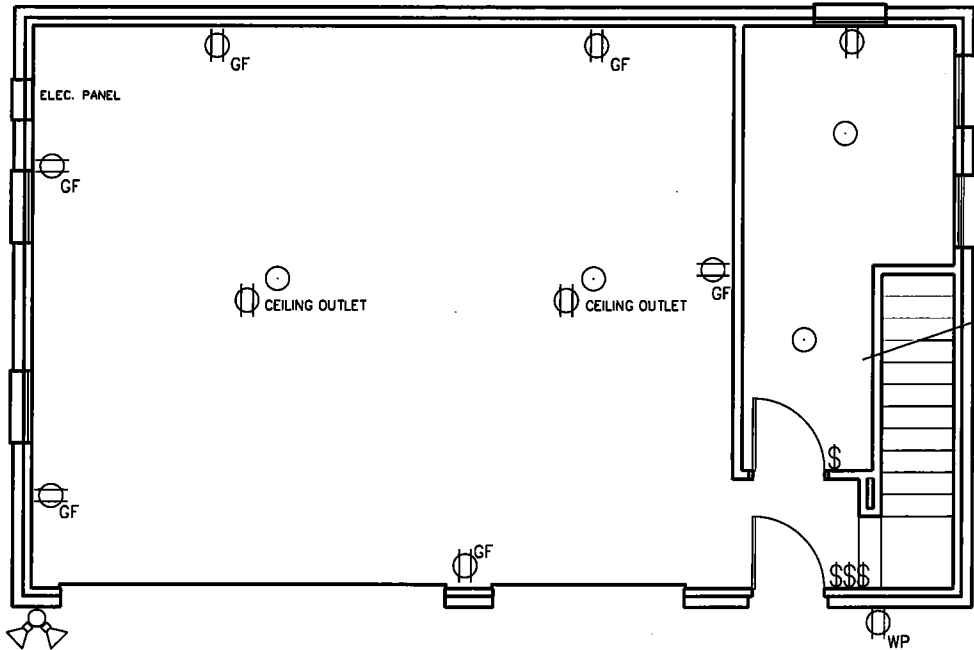


FLOOD LIGHT



ELECTRICAL PLAN 2nd FLOOR

SCALE: 1/8"=1'-0"



ELECTRICAL PLAN 1st FLOOR

SCALE: 1/8"=1'-0"

ELLIOTT STOVALL LLC
2000 WANDA WAY
ARLINGTON, TX 76001
817 879-1808
estoval3@sbcglobal.net

THE SEAL APPEARING ON THIS
DOCUMENT WAS AUTHORIZED BY
ELLIOTT STOVALL, P.E. 82774
ON 9/8/20



Elliott Stovall

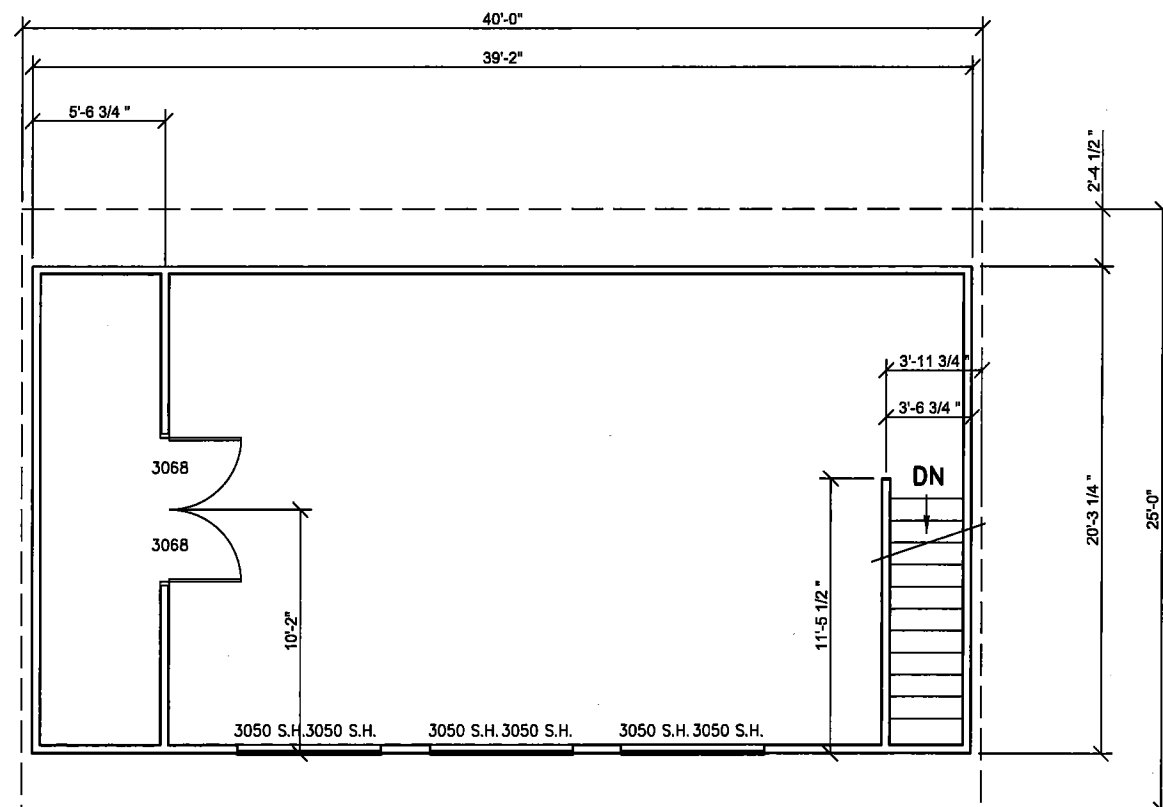
1000 HILLSIDE DRIVE - GARAGE ADDITION PLANS

Keller, Texas

ISSUE LOG:
X

GARAGE
ADDITION
PLANS

DATE: 7-24-2020

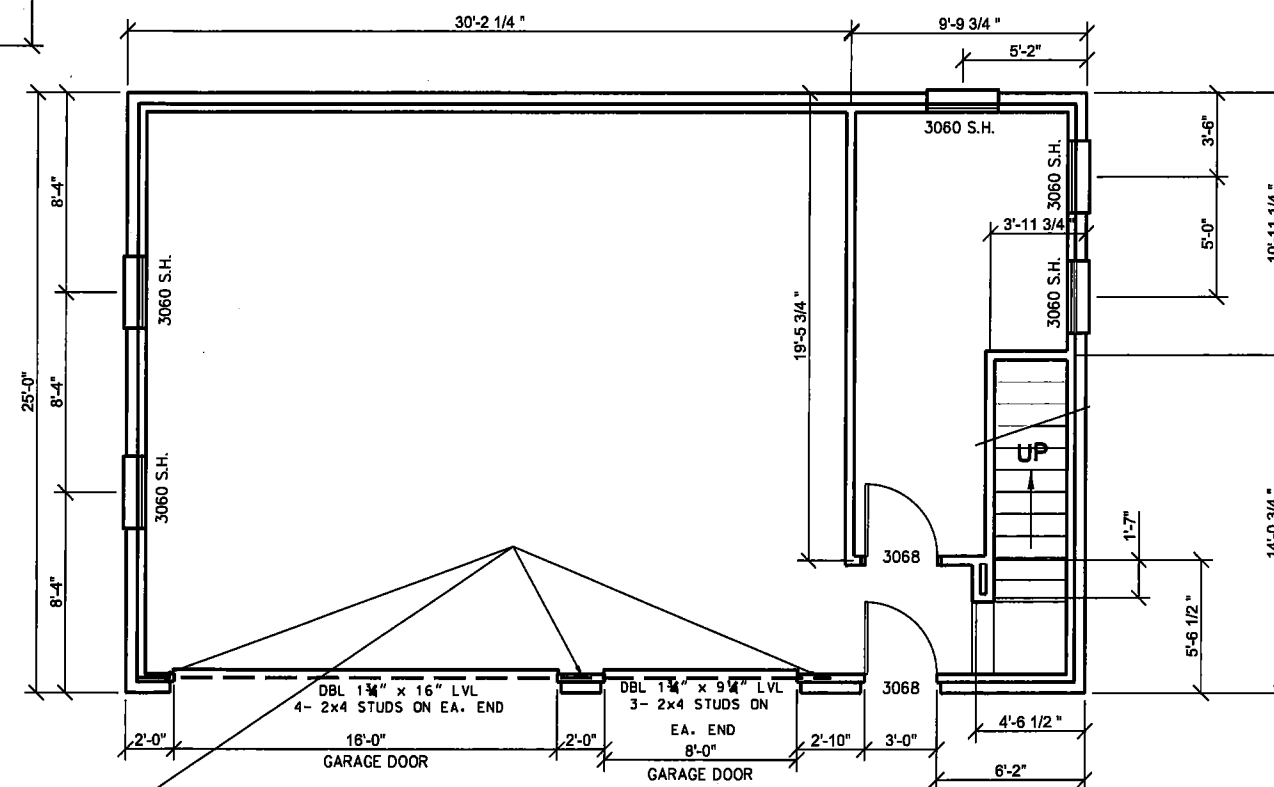


FRAMING NOTES:

1. ALL ELECTRICAL, PLUMBING, AND MECHANICAL WORK SHALL CONFORM TO THE CITY OF KELLER, TX ADOPTED 2018 EDITION OF THE INTERNATIONAL RESIDENTAL CODES.
2. NAILING REQUIREMENTS AND ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE CITY OF KELLER, TX ADOPTED 2018 EDITION OF THE INTERNATIONAL RESIDENTAL CODES.
3. ALL EXTERIOR WALLS AND INTERIOR WALLS ALONG BRACED WALL LINES SHALL BE ANCHORED TO FOUNDATION USING ANCHOR BOLTS WITH A MINIMUM OF 7" EMBEDMENT INTO SLAB IN ACCORDANCE TO BUILDING CODES.

BRACED WALL PLAN

1. USED PRESCRIPTIVE SOLUTION
2. USE METHOD 3 - CONTINUOUS SHEATHING
3. BRACED WALL PANELS NOT LESS THAN 16% OF
BRACED WALL LINES



BRACED WALL PANEL AT EACH
GARAGE DOOR LOCATION:
2 ANCHOR BOLT MIN. W/ HOLD DOWN
AT END STUDS AND TENSION STRAPS AT
TOP PLATE. OSB OR PLYWOOD
WOOD SHEATHING ON EXTERIOR.
W/ DRYWALL ON INTERIOR.
SHEATHING NAILLED AT 3" O.C. AT 60665
FOR HOLD DOWNS USE SIMPSON-
STRONG-TIE HOLD DOWN MIN.
3,000 LBS TENSION



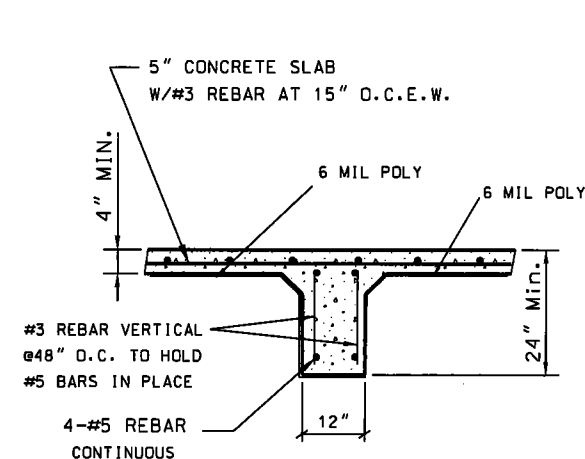
1000 HILLSIDE DRIVE - GARAGE ADDITION PLANS

Keller, Texas

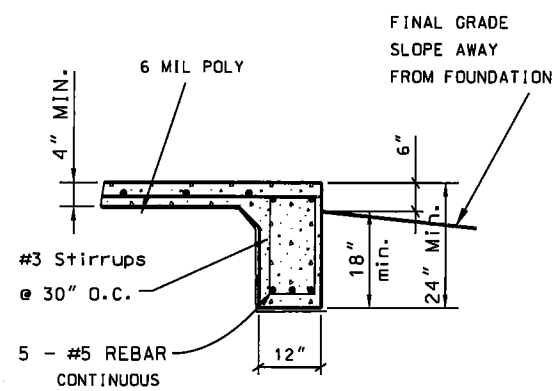
ISSUE LOG:
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GARAGE
ADDITION
PLANS

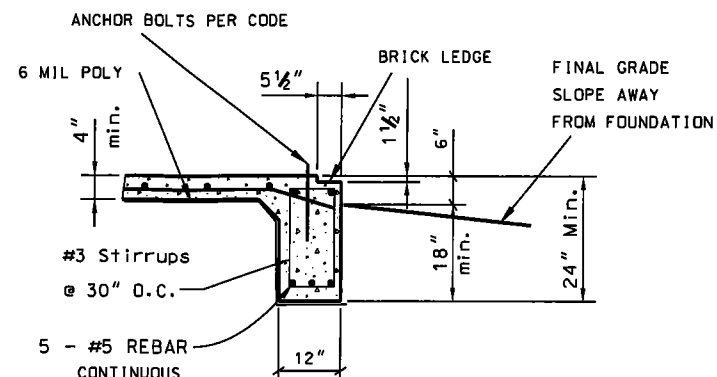
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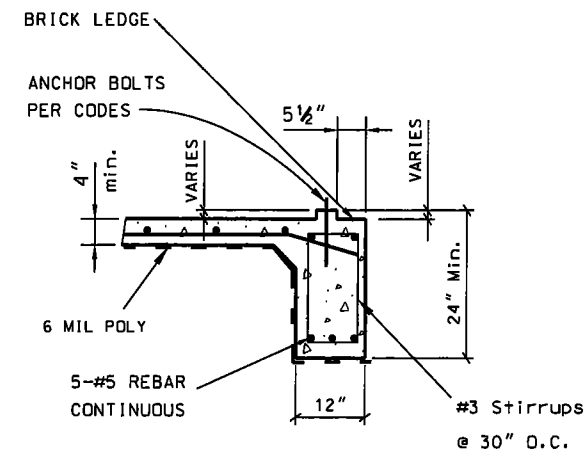
B INTERIOR GRADE BEAM



C EXTERIOR GRADE BEAM



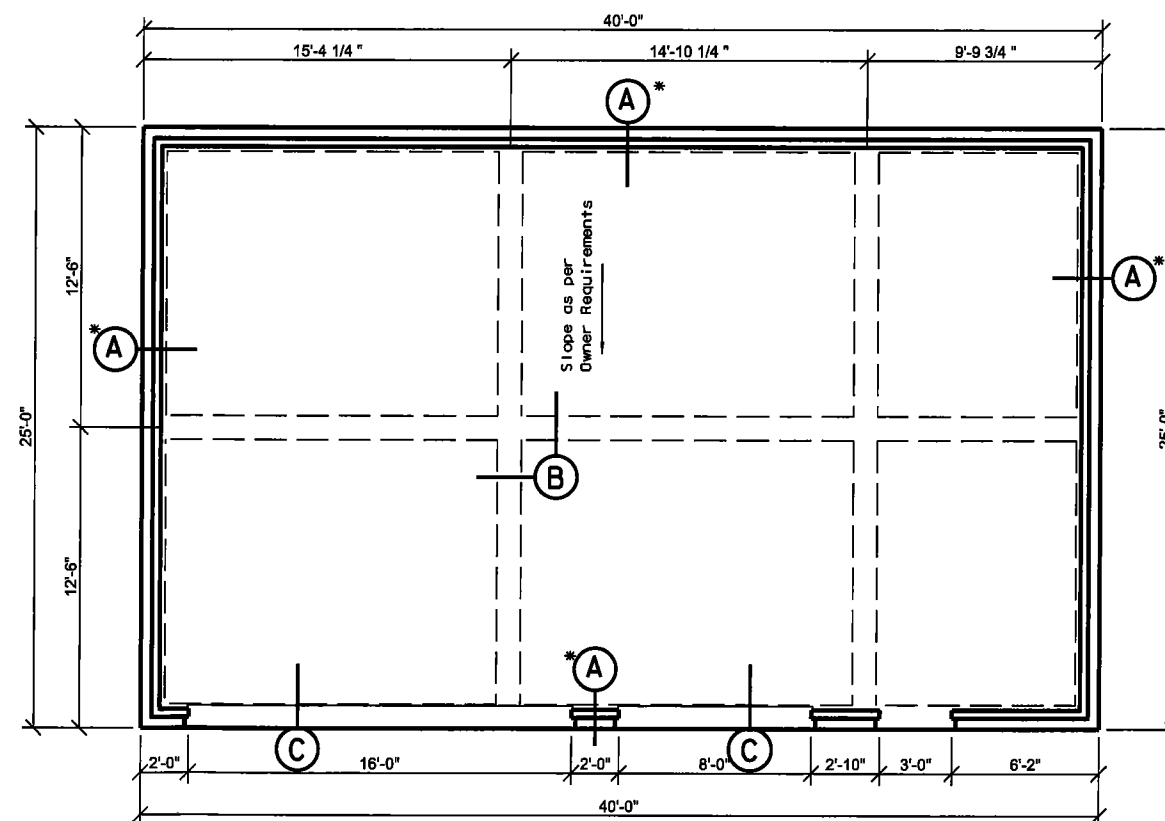
A EXTERIOR GRADE BEAM



D EXTERIOR GRADE BEAM
(IF SLOPE IN GARAGE FLOOR)

FOUNDATION NOTES:

1. THE DESIGN OF THIS FOUNDATION IS IN ACCORDANCE WITH ACCEPTABLE INDUSTRY PRACTICES AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 P.S.I. AT 28 DAYS.
3. STEEL REINFORCEMENT SHALL BE GRADE 60, EXCEPT #3'S AND STIRRUPS OR TIEBARS IF USED MAY BE GRADE 40. BAR LAPS SHALL BE 40 DIA. MIN.
4. BOTTOM OF GRADE BEAM TO BE FOUNDED 8" MIN. INTO UNDISTURB SOIL OR COMPACTED BACKFILL.
5. SITE GRADING AND DRAINAGE AROUND THE FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT UNDER OR ADJACENT TO THE FOUNDATION.
6. FILL MATERIAL SHALL BE SELECT FILL AND COMPACTED TO 95% PROCTOR AT OPTIMUM MOISTURE CONTENT.



*Use Section D if slope in garage floor.

FOUNDATION PLAN

SCALE: 1/8"=1'-0"